



Commissioner John O'Grady • Commissioner Paula Brooks • Commissioner Marilyn Brown
President

Economic Development & Planning Department
James Schimmer, Director

Franklin County Board of Zoning Appeals

Franklin County Courthouse
Commissioner's Hearing Room – 26th Floor
Columbus, OH 43215

Tuesday, February 19, 2013
1:30 p.m.

1. Call roll for board members
2. Introduction of staff
3. Swearing in of witnesses
4. Approval of minutes from the December 17, 2012 meeting
5. New Business:

A. VA-3785 – Anthony Hray

Applicant:	South-Western City School District
Owner:	Franklin County Commissioners
Agent:	Mark Waller – South-Western City School District
Township:	Franklin Township
Site:	1861 Gantz Road (PID #140-004139)
Acreage:	79.547-acres
Request:	Requesting variances from Sections 302.047, 501.012, 501.024, 505.02, 670.08 and 705.022(8) of the Franklin County Zoning Resolution to allow for the development of a public school that will exceed the maximum height, fail to meet the fencing height, location and material requirements, fail to meet all dumpster requirements, fail to meet all development standards of the Smart Growth Overlay, and fail to meet the requirements of the Franklin County Stormwater Drainage Manual in an area zoned Rural.

6. Approval of By-Laws
7. Election of Chair and Vice-Chair
8. Adjournment of Meeting to March 18, 2013



Commissioner John O'Grady • **Commissioner** Paula Brooks • **Commissioner** Marilyn Brown
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MINUTES OF THE FRANKLIN COUNTY BOARD OF ZONING APPEALS

Monday, December 17, 2012

The Franklin County Board of Zoning Appeals convened on the 26th Floor, Franklin County Courthouse, 373 South High Street, Columbus, Ohio, 43215, on Monday, December 17, 2012.

Present were:

Gary Dever
Christopher Baer
Tim Guyton
Nancy Hunter

Franklin County Economic Development and Planning Department:
Matt Brown, Planner/Floodplain Manager
Scott Ulrich, Planner

Chairperson Dever opened the meeting.

The first order of business being the approval of the minutes of the October 15, 2012, Franklin County Board of Zoning Appeals meeting. Ms. Hunter made a motion to approve the minutes. It was seconded by Mr. Guyton. The minutes were approved by a four-to-zero vote.

Mr. Matt Brown swore in all witnesses.

OLD BUSINESS:

The next order of business being Appeal Case AP-3781. The owner is Hotspur, Inc. The township is Clinton Township. The site is located at 3708 Cleveland Avenue. The applicant is requesting to table until the February 19, 2013, meeting. Mr. Guyton made a motion to take Case No. AP-3781 off the table. It was seconded by Mr. Baer. The motion was approved by a four-to-zero vote.

Mr. Guyton made a motion to table Case No. AP-3781 until the February 19, 2013, meeting. It was seconded by Mr. Baer. The motion was approved by a four-to-zero vote.

The next order of business being Variance Case VA-3783. The owner and applicant is Hotspur, Inc. The agent is David Hodge. The township is Clinton Township. The site is located at 3708 Cleveland Avenue. The applicant is requesting a variance from Section 328.021 to allow an adult entertainment establishment to continue to operate within 500 feet of a residential zone.

Mr. Scott Ulrich read and presented the case to the Franklin County Board of Zoning Appeals. Mr. Guyton made a motion to conditionally approve Variance Case VA-3783 with the following conditions:

1. The applicant must receive an approved Certificate of Zoning Compliance from the Franklin County Economic Development and Planning Department, for the previously erected fence and canopy, pending staff's determination of whether applicant has previously received such Certificate for said improvements.
2. The applicant must immediately remove (not disconnect) any outdoor speakers on the property.

It was seconded by Ms. Hunter. The motion was approved by a four-to-zero vote.

There being no further business to come before the Franklin County Board of Zoning Appeals, a motion was made by Mr. Guyton to adjourn the meeting. It was seconded by Mr. Baer.

And, thereupon, the meeting adjourned at 2:15 p.m.

Minutes of the December 17, 2012, Franklin County Board of Zoning Appeals were approved this 19th day of February, 2013.

Signature



Commissioner John O'Grady • Commissioner Paula Brooks • Commissioner Marilyn Brown
President

Economic Development & Planning Department
James Schimmer, Director

STAFF REPORT

Board of Zoning Appeals
February 19, 2013

Case VA-3785

Prepared by: Anthony Hray

Applicant:	South-Western City School District
Owner:	Franklin County Commissioners
Agent:	Mark Waller – South-Western City School District
Site:	1861 Gantz Road (PID #140-004139)
Zoning:	Rural
Acreage:	79.547-acres
Request:	Requesting variances from Sections 302.047, 501.012, 501.024, 505.02, 670.08 and 705.022(8) of the Franklin County Zoning Resolution to allow for the development of a public school that will exceed the maximum height, fail to meet the fencing height, location and material requirements, fail to meet all dumpster requirements, fail to meet all development standards of the Smart Growth Overlay, and fail to meet the requirements of the Franklin County Stormwater Drainage Manual in an area zoned Rural.

Summary

The applicant is requesting variances to allow the construction of a public school (Harmon Elementary) that will exceed the maximum height permitted and fail to meet all requirements pertaining to fences, dumpsters, the Smart Growth Overlay and the Franklin County Stormwater Drainage Manual. The proposal satisfies the criteria required to approve a variance; staff recommends **approval with conditions**.

Description of the Request

The applicant is proposing to construct a new two-story school building and associated facilities (play areas and ballfield) that will accommodate 500-600 students, pre-kindergarten through fourth grade. The applicant is currently in the process of planning and constructing 13 new elementary schools and one new high school throughout the district. The subject site has been selected based on its location to provide improved neighborhood connectivity; better serving the needs of students, parents and the community. The proposed building design is an economical approach intended to maximize efficiency by significantly reducing operational and maintenance costs.

The subject site is primarily vacant, aside from several paved trails and access drives. The applicant is acquiring 16.26-acres of the site through a land exchange agreement with the Franklin County Commissioners. In exchange for this site, the County Commissioners will receive the former Harmon Elementary School site, an 11.29-acre parcel located at 2090 Frank Road.

A 41.62-acre conservation easement, located immediately to the west of the proposed development, was granted to the Franklin Soil and Water Conservation District in 2010. The easement protects the portion of the property which contains the Early Run and Big Run Creeks and their floodplain boundaries.

Surrounding Area

Direction	Zoning	Land Use
North	Rural Suburban Apartment Residential (R-24)	Single-Family Subdivision (Westbrook)
East	Limited Manufacturing (LM) - Columbus	T. Marzetti Company – Food Processing Plant
South	Rural	Single-Family Homes
West	Rural	Vacant - Conservation Easement Office – Franklin County Children Services

Comprehensive Plan

The Southwest Area Plan (adopted in 2009) recommends this area for office and park land uses. Appropriate uses in the office category include business, professional and financial offices, as well as offices for individuals and non-profit organizations. Appropriate uses in the park category include public parks and recreational areas such as playgrounds, sports fields and buildings commonly associated with the principal activity, including recreation centers.

The plan recommends the use of urban design standards to enhance the visual quality of the built environment through implementation of commercial zoning overlays; such as the Smart Growth Overlay (SGO) which was adopted for this particular area of Franklin Township in 2011. New commercial and mixed-use development should incorporate enhanced building design elements, improved pedestrian infrastructure, relocated parking to the side or rear of buildings and upgraded landscaping.

The proposal complies with recommendations of the plan.

Staff Review

Variance from 302.047 – Maximum Height:

- The maximum height of a principal building in the Rural District is 38 feet, measured from the average grade on the lowest side of the structure to the peak of the roof.
 - o The proposed building will measure 40 feet, two (2) inches
 - A variance of two (2) feet, two (2) inches is required

Variance from 501.012 – Fence Height:

- No fence or wall between a street and a principal structure shall be more than three and one-half feet in height.
 - o The applicant has proposed a four (4) foot fence located between the principal structure and Gantz Road
 - The fencing encloses a small outdoor play area and the height requested is a standard height for this type of activity.

Variance from 501.024 – Fence Materials:

- No fence or wall between a street and a principal structure shall be composed of chain-link.
 - o The applicant has proposed a four (4) foot galvanized chain-link fence between the principal structure and Gantz Road. The fence will enclose a play area.
 - The fence will be screened by shrubs to lessen its visual impact.

Variance from 505.022(a) - Dumpster Location and Height:

- Dumpsters must be located to the side or rear of the building served
 - o The dumpsters serving this site are proposed to be located in front of the principal building along Frank Road

Variance from 505.024(a) - Dumpster Screening and Maintenance:

- Dumpsters must be screened on all sides with a durable, weather resistant material that complies with Section 501.012 – Fence Materials, or a combination of such fencing and natural vegetation; provided however, that if natural vegetation is used, it must comply with the screening requirements of this Section within one (1) year from the date of issuance of the applicable zoning certificate.
 - o The applicant has proposed to screen the dumpster enclosure on three (3) sides with an eight (8) foot masonry wall that is compatible with the principal building.
 - o The fourth side of the enclosure will be screened from Frank Road through the use of evergreen shrubs, six feet in height at the time of planting, located along the property frontage.
 - The proposed evergreen screening will not entirely screen the enclosure per the intent of these regulations. The applicant would need to install a gate that meets the opacity and materials requirements of Section 505.024 to effectively screen the enclosure.

Variance from 670.083(a) – Front Setback Along a Primary Street:

- The front building line setback for a building or structure shall be 25 feet, +/- two (2) feet
 - o The subject site fronts Frank Road which is classified as a primary street
 - o The proposed setback of the school from Frank Road is 182.39 feet
 - A variance of 157.39 feet is required

Variance from 670.083(b) – Setback Along a Non-Primary Street:

- Along a street that is not a primary street, the setback for a building or structure shall be a minimum of 10 feet and a maximum of 25 feet
 - o The subject site also fronts Gantz Road which is classified as a non-primary street
 - o The proposed setback of the school from Gantz Road is 86.77 feet
 - A variance of 61.77 feet is required

Variance from Section 670.083(f) – Width:

- The width of a principal building along a primary building frontage shall be a minimum of 60 percent of the lot width
 - o The minimum primary building frontage along Frank Road is 402 feet
 - o The proposed primary building frontage is 152 feet in width
 - A variance of 250 feet is required

Variance from Section 670.083(g) – Entrance:

- A primary building frontage shall incorporate a primary entrance door.
 - o The primary building frontage is that which is oriented to Frank Road
 - o The applicant has proposed the primary entrance door on the east side of the building, oriented to Gantz Road (non-primary building frontage).

Variance from Section 670.083(h(4)) – Facade:

- A building frontage that exceeds a width of 50 feet shall include vertical piers or other vertical visual elements to break the plane of the building frontage. The vertical piers or vertical elements shall be spaced at intervals of 15 feet to 35 feet along the entire building frontage.
 - The proposed building frontage exceeds 50 feet on both Frank and Gantz Road
 - The applicant has proposed some vertical elements to break the plan of the building; however they fail to meet the spacing intervals required.

Variance from Section 670.083(h(5)) – Canopy:

- A canopy shall be attached to the principal building and be located behind or to the side of the building
 - The applicant is proposing a canopy to be located between the principal building and Gantz Road.

Variance from Section 670.088(a) – Landscaping and Screening:

- The front yard shall be planted with live vegetation and shade trees, except for areas designed expressly for vehicular or pedestrian use. One shade tree is required for each 50 lineal feet, or fraction thereof, of frontage.
 - The applicant will fail to provide the required ratio of shade trees along Gantz Road
 - The frontage along Gantz Road measures 1,433 feet +/-
 - The required shade tree planting is 1 per 50 feet of frontage or $1,433:50 = 29$ trees
 - The applicant has proposed six (6) shade trees
 - Staff requests that the applicant plant at least 10 additional shade trees along Gantz Road

Variance from Section 670.088(g(3)) – Landscaping and Screening:

- In all surface parking areas in which more than 10 parking spaces are required to provide the following:
 - a. A landscaped island or peninsula of at least 140 square feet at least 9 feet in width left unpaved, but concrete curbed, filled with suitable topsoil and covered with either grass, groundcover, or mulch shall be provided for every 10 parking spaces, or portion thereof;
 - b. No less than one (1) shade tree of 2 inches or more in caliper shall be provided in each landscaped island or peninsula;
 - c. Every parking aisle that is bounded at an end by a traffic lane shall be terminated at such traffic lanes by such a landscaped island or peninsula;
 - d. Landscaped islands or peninsulas do not need to be uniformly spaced, but must be contained within and dispersed throughout the interior of a parking lot.
 - e. Space devoted to interior landscaping shall be in addition to any required front, side or rear yard or any required screening area.
 - f. Applicants are encouraged to incorporate openings in curbs on landscaped islands or peninsulas for stormwater infiltration. Applicants should consult with Franklin Soil and Water Conservation District and the Franklin County Engineer’s Office.
- The applicant will fail to meet these standards in respect to an event and bus parking area (27 spaces) located to the south of the principal building. The applicant will provide none of the requirements listed above.
 - This parking area is used as a hard surface play area during the school day and functions as a parking area after school hours.

Variance from Section 670.088(J) – Mechanical Equipment:

- Ground-mounted mechanical equipment shall be located behind the principal building and be screened from public view to the height of the equipment.
 - The mechanical equipment is proposed to be located within an eight (8) foot tall masonry enclosure but will be located in front of the principal building along Frank Road.

Variance from Section 670.0812(a) – Parking Setback:

- No parking lot, stacking space, loading space or circulation aisle is permitted between the principal building and the street centerline.
 - The applicant is proposing to locate parking areas, loading spaces and circulation aisles between the principal building and the street centerline of both Frank and Gantz Roads.

Variance from Section 670.0812(b) – Parking Lot Location:

- A surface parking lot shall be located behind the principal building; however, up to half the number of parking spaces provided may be located at the side of the principal building.
 - The applicant is proposing surface parking in front of the principal building between both Frank and Gantz Roads.

Variance from Section 705.022(8) – Application for Certificates of Zoning Compliance:

- Applications for Certificates of Zoning Compliance must comply with applicable local and state requirements and regulations. These may include, but are not limited to, the Franklin County Storm Water Drainage Manual if the proposal will disturb one (1) or more acres of land, Franklin County Public Health Regulations, Franklin County Sanitary Engineer requirements, Franklin County Drainage Engineer requirements, Franklin County Engineer requirements and requirements of the applicable Ohio Environmental Protection Agency Construction permit.
 - The applicant has requested to deviate from the design guidelines of the Franklin County Stormwater Drainage Manual. The applicant is proposing an extended dry detention basin without a forebay and micro-pool.
 - Please refer to the comments below from the Franklin County Engineer- Drainage for additional details.

Franklin County Engineer – Drainage

The Franklin County Stormwater Drainage Manual was approved in March of 2012 and serves as a technical guidance document in support of the Franklin County Subdivision Regulations and Franklin County Zoning Resolution. The document applies to unincorporated areas of Franklin County and is written to incorporate technical design specifications that are concurrent with the City of Columbus Stormwater Drainage Manual and Construction Materials and Specifications. The purpose of the manual is to protect existing natural stormwater resources, convey and control stormwater in a safe and responsible manner, and meet water quality goals.

The proposed development will use an extended dry detention basin to manage stormwater drainage on site. According to the manual, such basins must incorporate a forebay and micro-pool to provide stormwater quality treatment and sediment filtration during detention basin drawdown. The forebay and micro-pool hold permanent pools of water up to four (4) feet deep. This is a cause for concern of the school district considering the age of the school children at this location. Therefore, the applicant has requested that the detention basin be designed without these features to avoid a potential safety concern.

The County Engineer's office does not object to the applicant's request to remove these features. However, the Engineer's office has requested that the applicant prepare a maintenance plan detailing what alternative Best Management Practice will be used to remove sediment from the basin and maintain water quality.

Franklin County Engineer – Traffic

The traffic division has posed no concerns with this proposal.

Franklin Soil and Water Conservation District

The applicant will coordinate with the Franklin Soil and Water Conservation District to ensure all sediment and erosion control measures are properly installed prior to any earth disturbing activities. Additionally, the applicant shall take measures to accurately designate the boundary of the conservation easement on site with construction fencing or similar method prior to any earth disturbance to ensure protection of this area.

Franklin County Sanitary Engineer

The Franklin County Sanitary Engineer will provide public sanitary services to this site. A representative of the department provided comments to the applicant at the Formal Technical Review Committee meeting that was held on January 23, 2013. The applicant has since addressed these comments and will be required to apply for and receive approval of all plans and permits prior to beginning construction.

Franklin Township Fire Department

The fire department expressed no concerns with this proposal.

City of Columbus Public Utilities

The city of Columbus will supply public water to this site. The applicant must obtain approval of all plans and permits prior to construction.

Staff Analysis – Section 810.41

- 1) *Special conditions and circumstances exist which are peculiar to the structures involved which are not applicable to other structures in the same zoning district and overlay;*
 - » The presence of young children on-site creates concern with locating the building closer to the street and concentrating parking to the side and/or rear. The proposed layout is conducive to creating a safe environment where vehicles and students will have less interaction. Furthermore, the proposed site layout and building design is concentrated around an economical approach to maximize efficiency for the district and provide better service for their students, parents and the surrounding community.
- 2) *A literal interpretation of the provisions of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Zoning Resolution;*
 - » Requiring strict compliance with the provisions of the zoning resolution would not allow for a safe, functional and sustainable development considering the nature of the proposed use.
- 3) *The special circumstances and conditions of this request do not result from the action of the applicant;*
 - » The special circumstances and conditions of this request result from the use itself, not the applicant.
- 4) *Granting the variances requested will not confer on the applicant special privileges that are denied by this Zoning Resolution to other lands or structures in the same Zoning District;*
 - » Granting the variances will allow the beneficial and sustainable use of the property. Considering the nature of the use, the proposed design is necessary to create a safe and sustainable development.

- 5) *Granting the variances will not adversely affect the safety of persons residing in the vicinity of the proposed development, be materially detrimental to the public welfare and be injurious to private property in the vicinity;*
- » Granting the variances will allow development that is consistent with recommendations of the current land use policies in effect for this area and promotes the health, safety and welfare of the public.

Recommendation

Staff recommendation is that the BZA **approve** a variance from Sections 302.047, 501.012, 501.024, 505.02, 670.08 and 705.022(8) of the Franklin County Zoning Resolution to allow for the development of a public school that will exceed the maximum height, fail to meet the fencing height, location and material requirements, fail to meet all dumpster requirements, fail to meet all development standards of the Smart Growth Overlay, and fail to meet the requirements of the Franklin County Stormwater Drainage Manual with the following conditions:

1. The applicant must apply for and receive an approved Certificate of Zoning Compliance from the Franklin County Economic Development and Planning Department.
2. The applicant must obtain all required permits and inspections from the Franklin Township Building Department.
3. The applicant must obtain all required inspections from the Franklin Township Fire Department prior to occupying any building or structure.
4. The applicant must obtain all required permits and inspections from the Franklin County Sanitary Engineer's office.
5. The applicant must obtain all required permits and inspections from the City of Columbus Public Utilities Department.
6. Prior to the issuance of a Certificate of Zoning Compliance, the applicant shall file for a Notice of Intent with the Ohio EPA for coverage under the NPDES General Permit since disturbance on site will exceed one (1) acre.
7. The applicant must plant an additional 10 shade trees of the required size, within the front yard along Gantz Road.
8. All unpaved areas, including landscaped peninsulas, shall be planted with grass and vegetation per the approved landscaping plan. Mulch shall not be permitted as ground cover except for tree/shrub application and playground areas.
9. The applicant must develop and receive approval of a maintenance plan to address stormwater quality control and sedimentation removal. The applicant is encouraged to use an alternative Best Management Practice in lieu of the forebay and micro-pool. The Franklin County Engineer and Franklin Soil and Water Conservation District must review and approve of the plan prior to the issuance of a Certificate of Zoning Compliance.
10. The applicant shall install sediment and erosion control measures prior to any earth disturbing activities.
11. No disturbance shall be permitted within the conservation easement.
12. The applicant shall denote the boundary of the conservation easement with construction fencing or similar method prior to any earth disturbing activity.
13. All landscaping on-site must be native to Ohio.
14. The applicant must apply for and receive approval of a lot split (minor subdivision) from the Franklin County Economic Development and Planning Department prior to beginning construction.

Resolution

For your convenience, the following is a proposed resolution:

(a) **Proposed Resolution for Request:**

_____ moves to approve the variance from Sections 302.047, 501.012, 501.024, 505.02, 670.08 and 705.022(8) of the Franklin County Zoning Resolution to allow for the development of a public school that will exceed the maximum height, fail to meet the fencing height, location and material requirements, fail to meet all dumpster requirements, fail to meet all development standards of the Smart Growth Overlay, and fail to meet the requirements of the Franklin County Stormwater Drainage Manual as outlined in the request above for the applicant identified in Case No. VA-3785 with the conditions in staff's recommendation.

Seconded by: _____

Voting:

Findings of Fact

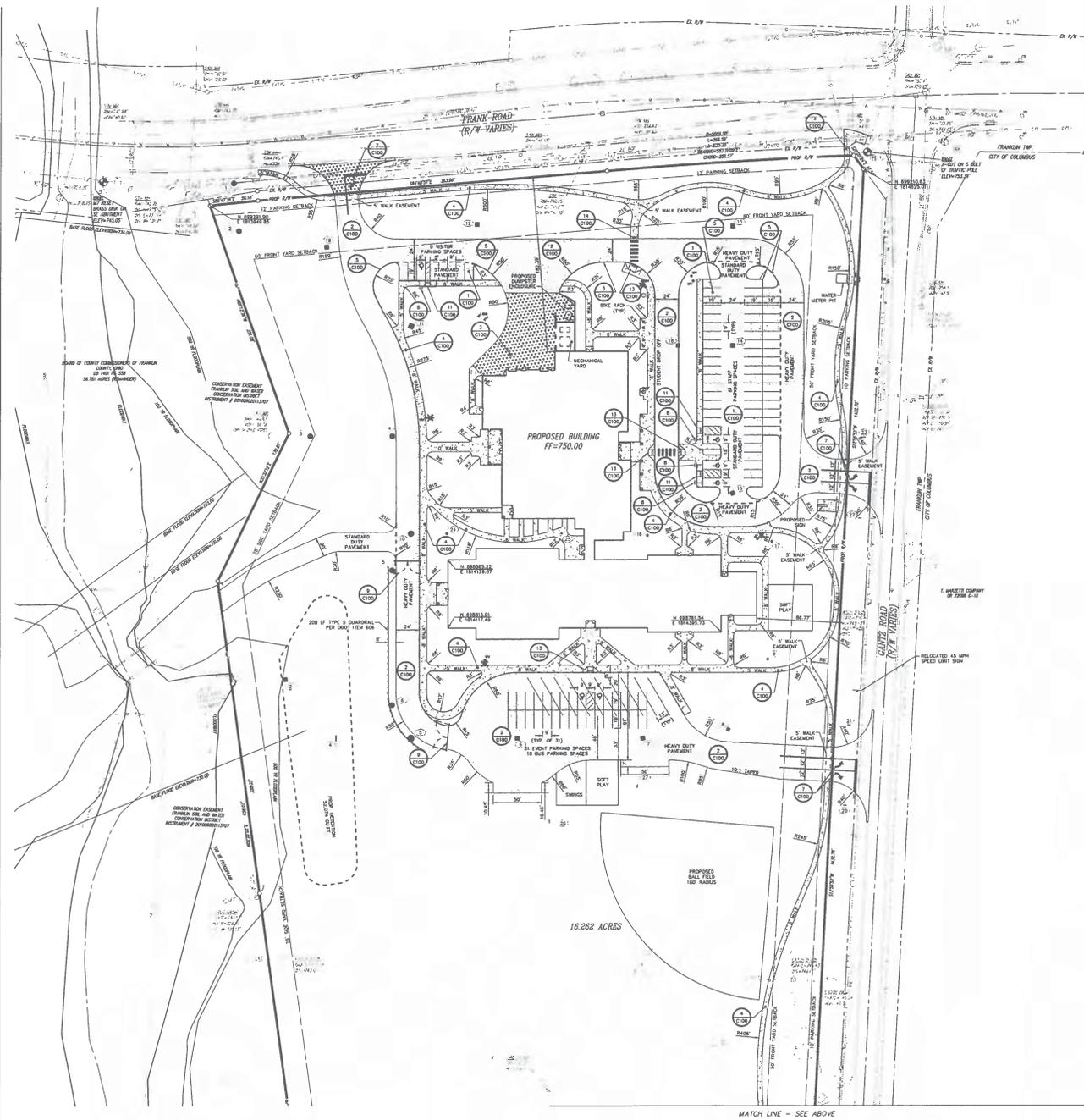
For your convenience, the following are proposed findings of fact:

If the resolution fails for lack of support, the following are proposed findings of fact for adoption by the BZA:

_____ moves that the basis for denying the applicant's request for the variances as outlined in the request above for Case No. VA-3785 results from applicant's failure to satisfy the criteria for granting a variance under Section 810.041.

Seconded by: _____

Voting:



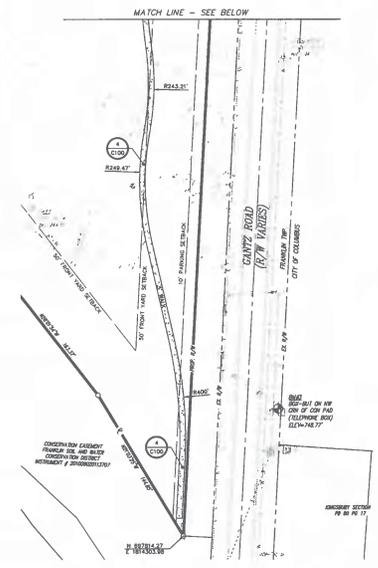
- PROPOSED SYMBOLS**
- ☒ FIRE HYDRANT
 - PROPOSED CATCH BASIN
 - PROPOSED SIGN MANHOLE
 - ⊙ PROPOSED SANITARY MANHOLE
 - PROPOSED FENCE
 - PROPOSED GUARDRAIL
 - ▨ PROPOSED CONCRETE PER DETAIL V/C100
 - ▩ PROPOSED ASPHALT PAVEMENT PER DETAIL V/C100 OR 2/C100
 - ▧ PROPOSED HEAVY DUTY CONCRETE PER DETAIL V/C100

RECEIVED

JAN 31 2013

Franklin County Planning Department
Franklin County, Ohio

VA-3785



NOTE
1. ALL RADII ARE 5' UNLESS OTHERWISE NOTED



KLEINGERS & ASSOCIATES
350 Worthington Rd. Suite B, Westerville, OH 43082
(614) 882-4311 Fax (614) 882-4479
www.kleingers.com

OHIO Utilities Protection SERVICE
Call before you dig



SHP LEADING DESIGN

**SOUTH-WESTERN CITY SCHOOL DISTRICT
HARMON ELEMENTARY SCHOOL**
2090 Frank Road, Columbus, OH 43223
SOUTH-WESTERN CITY SCHOOL DISTRICT
3805 Marlane Drive, Grove City, OH 43123

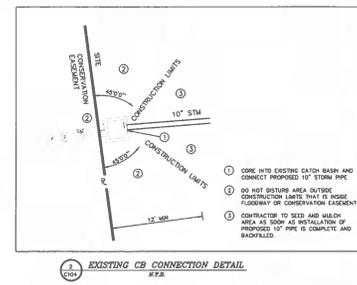
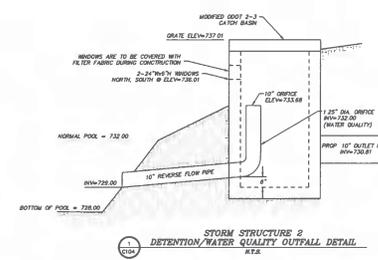
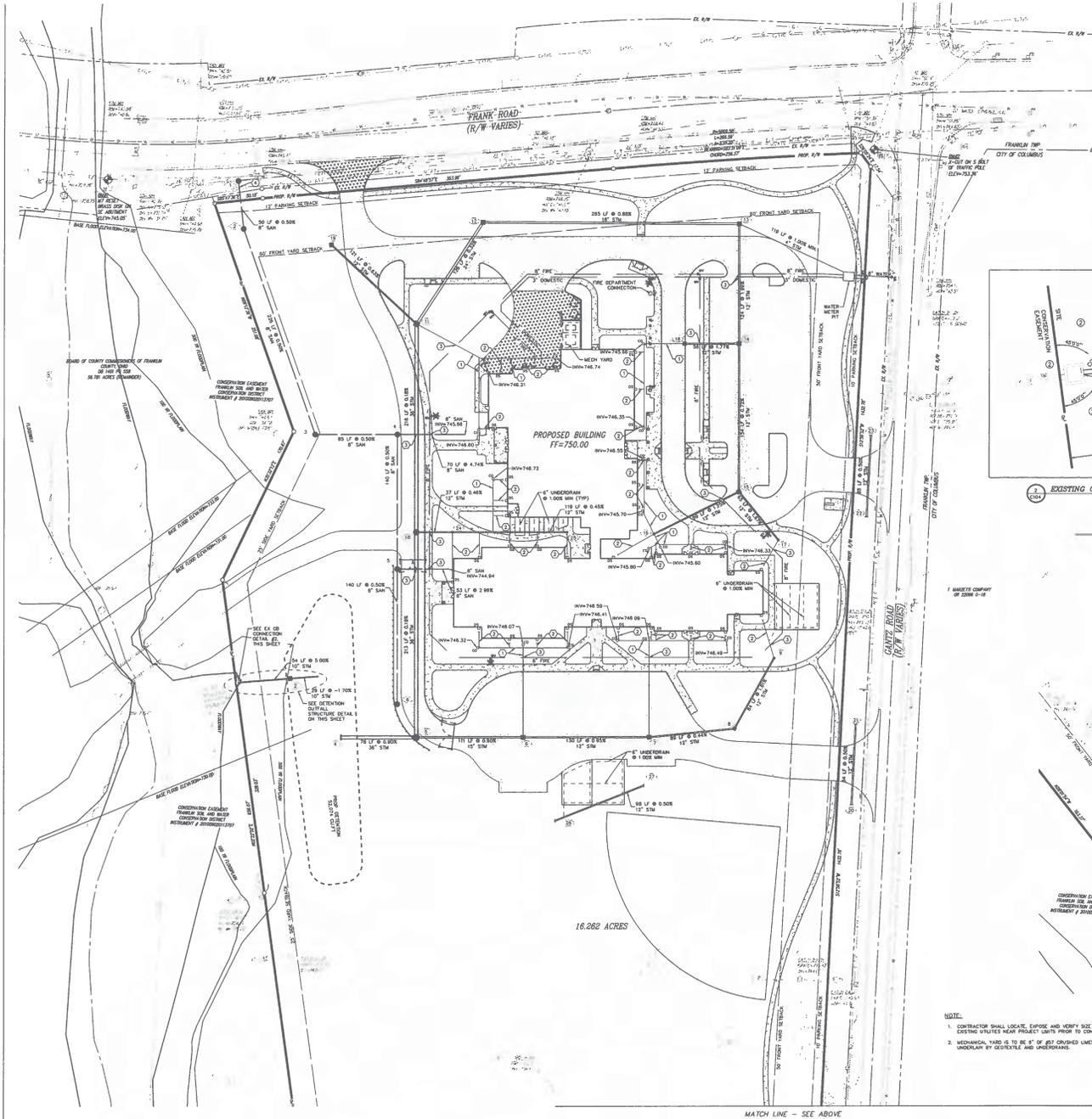
ISSUANCES

06-27-12	SCHEMATIC DESIGN
12-07-12	DESIGN DEVELOPMENT

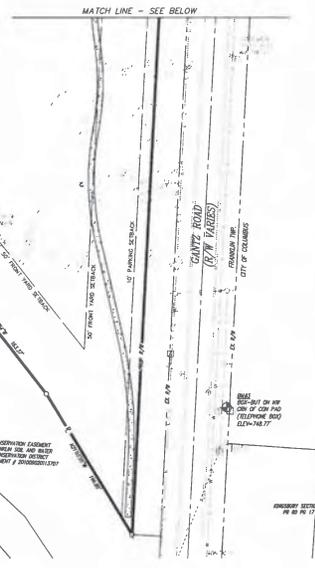
LOCATION PLAN

DATE: 02-01-2013
COMM NO: 2012014.05

C103



- CODED NOTES**
- ① 12" STM @ 0.50% MH
 - ② 8" STM @ 1.00% MH
 - ③ CONTRACTOR TO PROVIDE A MINIMUM CLEARANCE OF 18" BETWEEN PIPES
 - ④ EXPOSE CROSSING UTILITY CONTRACTOR TO USE CAUTION WHEN EXCAVATING
- LEGEND**
- STM PROPOSED STORM PIPE
 - SAN PROPOSED SANITARY PIPE
 - WATER PROPOSED WATER PIPE
 - CB PROPOSED CATCH BASIN
 - SM PROPOSED STORM MANHOLE
 - TD PROPOSED TIE DRAIN
 - SM PROPOSED SANITARY MANHOLE
 - TK FIRE HYDRANT
 - CL PROPOSED CLEANOUT
 - DN PROPOSED DOWNDROPT



- NOTE:**
1. CONTRACTOR SHALL LOCATE, EXPOSE AND VERIFY SIZE OF ALL EXISTING UTILITIES NEAR PROJECT LIMITS PRIOR TO CONSTRUCTION.
 2. MECHANICAL VAND IS TO BE 18" OF RED OXIDIZED LINEDSTONE UNDERLAY BY GEOTEXTILE AND UNDERDRAIN.



PROJECT NO. 13-001
 DRAWING NO. 13-001-001
 DATE: 02/01/2013
 SHEET NO. 13-001-001-001
 PROJECT: SOUTH-WESTERN CITY SCHOOL DISTRICT
 HARMON ELEMENTARY SCHOOL



SOUTH-WESTERN CITY SCHOOL DISTRICT
HARMON ELEMENTARY SCHOOL
 2000 Frank Road, Columbus, OH 43223
SOUTH-WESTERN CITY SCHOOL DISTRICT
 3805 Marlane Drive, Grove City, OH 43123

RECEIVED
 JAN 31 2013
 Franklin County Planning Department
 Franklin County
 VA-3785

ISSUANCES

NO.	DATE	DESCRIPTION
1	02-01-2013	DESIGN DEVELOPMENT

UTILITY PLAN

DATE: 02-01-2013
 COMM NO: 2012014.05



KLEINGERS & ASSOCIATES
 350 Worthington Rd. Suite B, Waverly, OH 43082
 (614) 882-4311 Fax (614) 882-4479
 www.KLEINGERS.com



C104

1. DESCRIPTION OF CONSTRUCTION:

NEW ELEMENTARY SCHOOL IN FRANKLIN TOWNSHIP, FRANKLIN COUNTY, OHIO... THE STORM WATER RUNOFF FROM THIS AREA MUST BE CONTROLLED...

2. AREA AFFECTED BY CONSTRUCTION:

APPROXIMATELY 1.60 ACRES

3. RUNOFF COEFFICIENTS:

PEC = 0.45 - 0.84 FOR BUILDINGS AND PARKING, 0.39 FOR OTHER AREAS...

4. ESTIMATE OF THE IMPERVIOUS AREA CREATED BY THE CONSTRUCTION ACTIVITY:

APPROXIMATELY 1.13 ACRES

5. EXISTING SOIL DATA:

M13 - HUMANELY SLOTTED LOAM, 6 TO 12 PERCENT SLOPES...

6. RECEIVING WATERS:

5000 SW RUN TO 5000 SW CREEK

7. POTENTIAL POLLUTION SOURCES:

THE MAIN POSSIBLE SOURCE OF POLLUTION WOULD COME FROM...

8. PROJECT SCHEDULE AND SEQUENCE:

BEFORE 06-01-2013

- 1. INSTALL EROSION AND SEDIMENT CONTROLS... 2. DEMONSTRATE EROSION AND SEDIMENT CONTROLS...

9. CONTROL MEASURES FOR STORM WATER RUNOFF, EROSION AND SEDIMENT:

STABILIZED CONSTRUCTION ENTRANCE (SCE)

A SCE SHALL BE CONSTRUCTED AT ALL LOCATIONS DOWN THE SLOPE...

TEMPORARY STABILIZATION

ANY DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER...

PERMANENT SEEDING AND MULCHING STABILIZATION SHALL BE PROVIDED...

TABLE 2 - PERMANENT STABILIZATION

ANY AREAS THAT WILL BE DISTURBED MUST BE RESTORED TO ORIGINAL OR BETTER...

PERMITS AND REGULATIONS

CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH ALL APPLICABLE PERMITS...

TABLE 3 - STABILIZATION OF ADDITIONAL AREAS

ANY AREAS THAT WILL BE DISTURBED MUST BE RESTORED TO ORIGINAL OR BETTER...

TABLE 4 - PERMANENT STABILIZATION

ANY AREAS THAT WILL BE DISTURBED MUST BE RESTORED TO ORIGINAL OR BETTER...

PERMITS AND REGULATIONS

CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH ALL APPLICABLE PERMITS...

TABLE 5 - STABILIZATION OF ADDITIONAL AREAS

ANY AREAS THAT WILL BE DISTURBED MUST BE RESTORED TO ORIGINAL OR BETTER...

TABLE 6 - PERMANENT STABILIZATION

ANY AREAS THAT WILL BE DISTURBED MUST BE RESTORED TO ORIGINAL OR BETTER...

PERMITS AND REGULATIONS

CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH ALL APPLICABLE PERMITS...

STORM WATER PROTECTION

THE STORM WATER RUNOFF FROM THIS AREA MUST BE CONTROLLED...

SEDIMENTATION

SEDIMENTATION SHALL BE CONTROLLED THROUGHOUT THE CONSTRUCTION...

SOIL EROSION

SOIL EROSION SHALL BE PREVENTED THROUGHOUT THE CONSTRUCTION...

SOIL STABILIZATION

SOIL STABILIZATION SHALL BE PROVIDED THROUGHOUT THE CONSTRUCTION...

SOIL PROTECTION CHART

Table with columns for month (JAN to DEC) and rows for activities like SEEDING, MULCHING, etc.

STABILIZED CONSTRUCTION ENTRANCE (SCE)

A SCE SHALL BE CONSTRUCTED AT ALL LOCATIONS DOWN THE SLOPE...

TEMPORARY STABILIZATION

ANY DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER...

PERMANENT SEEDING AND MULCHING STABILIZATION SHALL BE PROVIDED...

TABLE 2 - PERMANENT STABILIZATION

ANY AREAS THAT WILL BE DISTURBED MUST BE RESTORED TO ORIGINAL OR BETTER...

PERMITS AND REGULATIONS

CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH ALL APPLICABLE PERMITS...

TABLE 3 - STABILIZATION OF ADDITIONAL AREAS

ANY AREAS THAT WILL BE DISTURBED MUST BE RESTORED TO ORIGINAL OR BETTER...

TABLE 4 - PERMANENT STABILIZATION

ANY AREAS THAT WILL BE DISTURBED MUST BE RESTORED TO ORIGINAL OR BETTER...

PERMITS AND REGULATIONS

CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH ALL APPLICABLE PERMITS...

TABLE 5 - STABILIZATION OF ADDITIONAL AREAS

ANY AREAS THAT WILL BE DISTURBED MUST BE RESTORED TO ORIGINAL OR BETTER...

TABLE 6 - PERMANENT STABILIZATION

ANY AREAS THAT WILL BE DISTURBED MUST BE RESTORED TO ORIGINAL OR BETTER...

PERMITS AND REGULATIONS

CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH ALL APPLICABLE PERMITS...

TABLE 7 - STABILIZATION OF ADDITIONAL AREAS

ANY AREAS THAT WILL BE DISTURBED MUST BE RESTORED TO ORIGINAL OR BETTER...

TABLE 8 - PERMANENT STABILIZATION

ANY AREAS THAT WILL BE DISTURBED MUST BE RESTORED TO ORIGINAL OR BETTER...

PERMITS AND REGULATIONS

CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH ALL APPLICABLE PERMITS...

TABLE 9 - STABILIZATION OF ADDITIONAL AREAS

ANY AREAS THAT WILL BE DISTURBED MUST BE RESTORED TO ORIGINAL OR BETTER...

TABLE 10 - PERMANENT STABILIZATION

ANY AREAS THAT WILL BE DISTURBED MUST BE RESTORED TO ORIGINAL OR BETTER...

PERMITS AND REGULATIONS

CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH ALL APPLICABLE PERMITS...

CONSTRUCTION

THE WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME...

VEGETATION PRACTICES

THE FOLLOWING CHART APPLIES WHEN ESTABLISHING TEMPORARY SEEDINGS...

TEMPORARY SEEDING & MULCHING FOR EROSION CONTROL

Table with columns for seeding dates and rows for species like FESCUE, PERENNIAL, etc.

SEEDING METHOD

SEEDING METHOD - SEED SHALL BE APPLIED UNIFORMITY WITH A CYLINDER...

PERMANENT SEEDING & MULCHING FOR EROSION CONTROL

Table with columns for seed mix and rows for species like FESCUE, PERENNIAL, etc.

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Project information including school name (HARMON ELEMENTARY SCHOOL), location (2600 Frank Road, Columbus, OH 43223), and contact details for SLP LEADING DESIGN.

PRELIMINARY - NOT FOR CONSTRUCTION

DATE: 01-08-13
COMM NO.: 2012014-02

1000 Development Road
Franklin, Ohio 43001
1-800-393-6343
Fax: 614-885-1244
www.southwesterncityschools.org

SHP
LEADING DESIGN

**SOUTH-WESTERN CITY SCHOOL DISTRICT
HARMON ELEMENTARY SCHOOL**
2000 Frank Road, Columbus, OH 43223
SOUTH-WESTERN CITY SCHOOL DISTRICT
3805 Marietta Drive, Grove City, OH 43123

ISSUANCES
1 1/4" x 11" DESIGN DEVELOPMENT
2 21" x 11" 20% SUBMITTAL

ELECTRICAL LIGHTING SITE PLAN

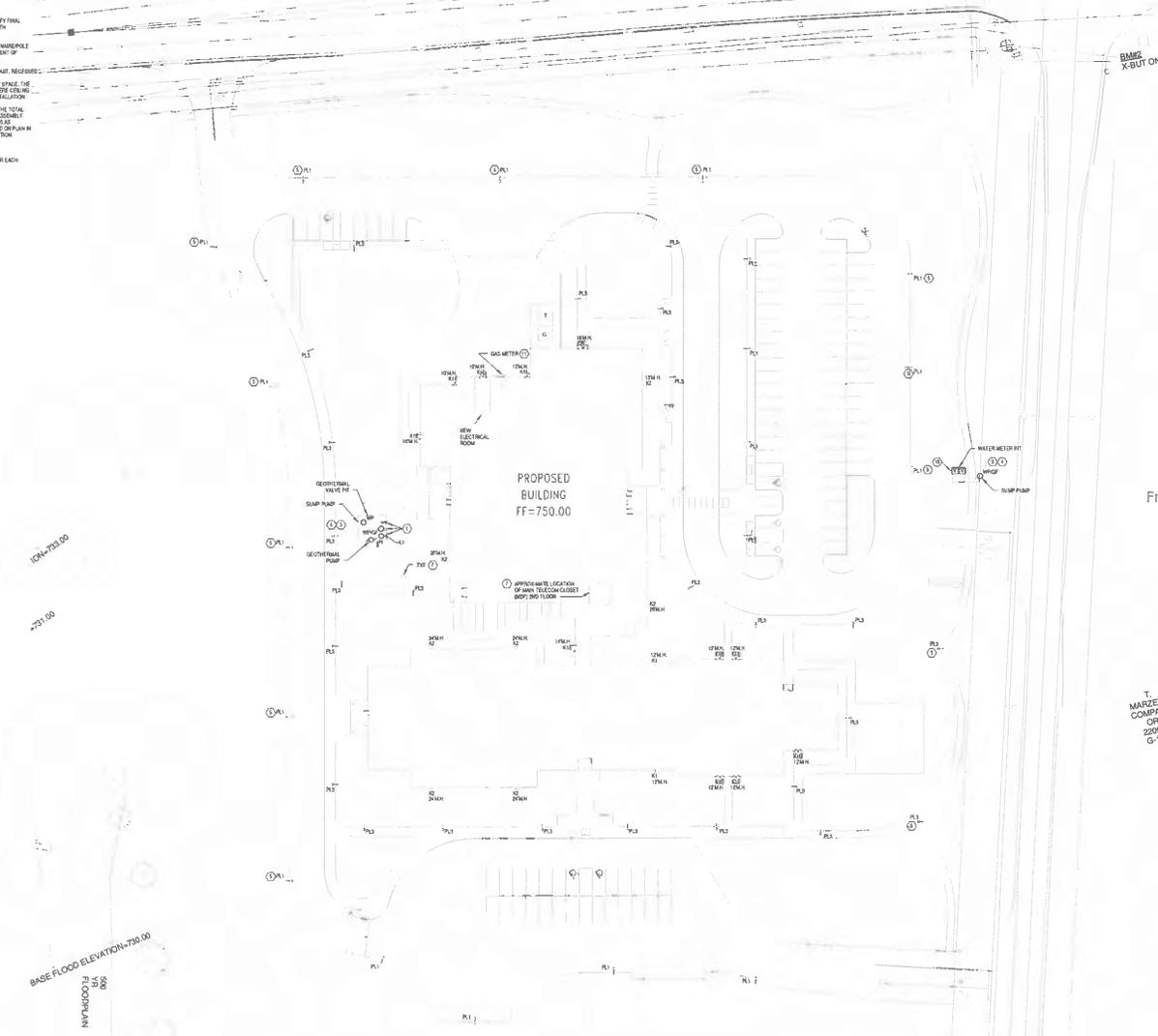
DATE: 01-08-13
COMM NO.: 2012014-02

E002B

MARK	QUANTITY	LAMP	FINISH	COLOR	LOADING	MANUFACTURER	CATALOG NO.	OTHER ACCEPTABLE MANUFACTURERS	DIFFUSING MEDIA	FINISH COLOR		MOUNTING		SIZE	
										WHITE	BLACK	HEIGHT	DEPTH	WIDTH	DEPTH
1	1	LED	1/2"	3000K	100	OSRAM	OSRAM 3035	OSRAM	OPAL	1"	1"	1"	1"	1"	1"
2	1	LED	1/2"	3000K	100	OSRAM	OSRAM 3035	OSRAM	OPAL	1"	1"	1"	1"	1"	1"
3	1	LED	1/2"	3000K	100	OSRAM	OSRAM 3035	OSRAM	OPAL	1"	1"	1"	1"	1"	1"
4	1	LED	1/2"	3000K	100	OSRAM	OSRAM 3035	OSRAM	OPAL	1"	1"	1"	1"	1"	1"
5	1	LED	1/2"	3000K	100	OSRAM	OSRAM 3035	OSRAM	OPAL	1"	1"	1"	1"	1"	1"

- NOTES**
- PROVIDE CONCRETE POLE BASE PER DETAIL '1' SHEET 0801
 - INSTALL LUMINAIRE AT MOUNTING HEIGHT AS INDICATED ON PLAN. VERIFY FINAL LOCATION WITH ARCHITECT PRIOR TO NOAH-ON TO AVOID CONFLICT WITH ARCHITECTURAL ARCHITECTURE.
 - EACH POLE SHALL BE USED TO ACCOMMODATE EPA OR COMPLETE LUMINAIRE ASSEMBLY FOR BIDDING PURPOSES OR BE OPEN AND CUSTOM WIRE CONNECTION OF 1/4" MIN. E.G. SHALL TOUCH UP ALL PAINT ON SITE AFTER INSTALLATION.
 - PROVIDE PERMANENT CEMENT WITH ONE FORMER 600 HIGHER BOLLARD. PROTECT BOLLARD AND WALL ACCESSORIES FOR COMPLETE INSTALLATION. CLEAR OR REMEDIATE. DO NOT DISTURB SMALL LIGHT TOWER AT ANY STAGE. THE E.G. SHALL BRING TO THE ATTENTION OF THE ENGINEER ANY ASIA WHERE CEILING HEIGHT HAS CHANGED LACK OF BOLLARD. CANNOT BE SET PRIOR TO INSTALLATION.
 - MANUFACTURER SHALL SUBMIT POINT TO POINT DRAWING OF THE TOTAL PROJECT WITH INCLUDING CONNECTION OF EACH LUMINAIRE OPTIC ASSEMBLY ORIENTATION INDICATED ON PLAN REFLECT TO CONNECTION OF LUMINAIRE AS REFERENCED TO A SPECIFIC POINT. LOCATE ASSEMBLY AS INDICATED ON PLAN IN CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS OPTIC ORIENTATION.
 - PROVIDE CONCRETE POLE BASE PER DETAIL '1' SHEET 0801
 - PROVIDE DUPLEX RECEPTACLE IN POLE BRACE Y ABOVE HANDHOLE FOR EACH ASSEMBLY.
 - PROVIDE 1/2" DIA. WITH COLLAR HIGHER BOLLARD.

- NOTES**
- VERIFY EXACT MOUNTING LOCATION OF WORKLIGHT, SWITCH AND RECEPTACLE WITH ARCHITECT TO AVOID CONFLICT AND PROVIDE ACCORDINGLY.
 - RUN 20' DIA. 100' HIGH CONDUIT WITH 1/2" DIA. 1/2" CONDUIT TO EXTERIOR. LOCATE EXTERIOR MOUNTING ASSEMBLY. EXTERIOR FROM PULLBOX TO EXTERIOR IN MAIN ELECTRICAL ROOM AS INDICATED. PROVIDE ALL WIRING CONNECTIONS AND TERMINATIONS AT 20' FROM MANUFACTURER'S RECOMMENDATIONS.
 - ALL CONDUITS INSTALLED UNDER DRIVWAYS AND PARKING AREAS SHALL BE REMOTEABLE TRAFFIC PAVEMENT THROUGH SHALL BE CONCRETE UNPAVED.
 - PROVIDE MOUNTINGHOOK OR RECEPTACLE WITH 20' MIN. BRANCH CONDUIT WITH 20' MIN. DIA. 100' IN WATER METER TO EXISTING NEW PUMP PUMP. RUN CIRCUIT TO PANEL MOUNTED.
 - PROVIDE HOUSE SIDE SHEILD ON THIS LUMINAIRE.
 - FLUSH GRADE PULLBOX ENCLOSURE WITH GREEN GARDEET COVER WITH APPROXIMATE 100' FROM THE C. SHEET 0801
 - FLUSH GRADE PULLBOX PER NOTE 6. THIS SHEET. PULLBOX CONTAINS ALL EXTERIOR LUMINAIRE RECEPTACLE. EXTERIOR FROM PULLBOX TO EXTERIOR FROM THIS PULLBOX TO MAIN ELECTRICAL ROOM TO EXISTING EXTERIOR LIGHTING AND EXISTING 1/2" CONDUIT FROM THIS PULLBOX TO EXISTING EXTERIOR RECEPTACLE CIRCUITS. PROVIDE ORDER PLATE ABOVE PULLBOX TO IDENTIFY THE LIGHTING AND RECEPTACLE CIRCUITS AND PROVIDE LABELS ON WIRING TERMINATE BRANCH CIRCUITS. REFER TO NOTES ON THIS SHEET.
 - RUN MAIN WIRE WITH LIGHTING CIRCUIT WITH 1/2" DIA. 100' IN CONDUIT TO CONDUIT WITH RECEPTACLE CIRCUIT TO EXTERIOR LIGHTING PULLBOX NOTE 11. THIS SHEET. EXTERIOR BRANCH CIRCUITS FROM MAIN ELECTRICAL ROOM AS INDICATED. MAIN LIGHTING BRANCH CIRCUITS THROUGH EXTERIOR LIGHTING CONTROL PANEL AS SHOWN ON SHEET 0801.
 - PROVIDE STRAPPED 1/2" CONDUIT WITH PULLBOX CAPED AT 30' BELOW GRADE. PROVIDE WITH FLUSH GRADE LOCATOR PIN.
 - E.G. SHALL PROVIDE 1/2" WITH FIRE ALARM WIRING FROM FIRE ALARM DEVICES MOUNTED IN SHEILD METERS TO BOLLARD AND MAIN FIRE ALARM PANEL FOR IDENTIFYING FIRE ALARM DEVICES WIRE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - PROVIDE 1/2" DIA. CONDUIT WITH PULL WIRE FROM GAS METER TO MAIN METEY. LOCATE EXTERIOR LOCATION OF GAS METER AND SIZE OF RUN WITH 20' CONDUIT FROM TO ROUGH-IN LABEL EACH END OF PULLWIRE TO READ GAS METER.



1 ELECTRICAL SITE PLAN
SCALE: 1/8" = 1'-0"

RECEIVED

JAN 10 2013

Franklin County Planning Department
Franklin County, Ohio

VA-3785

T. MARZET
COMPAI
OR
2009
G-11

2 WORKING DAYS
CALL BEFORE YOU DIG
CALL TOLL FREE 800-368-2766
OHIO UTILITIES PROTECTION SERVICE

GENERAL NOTES:

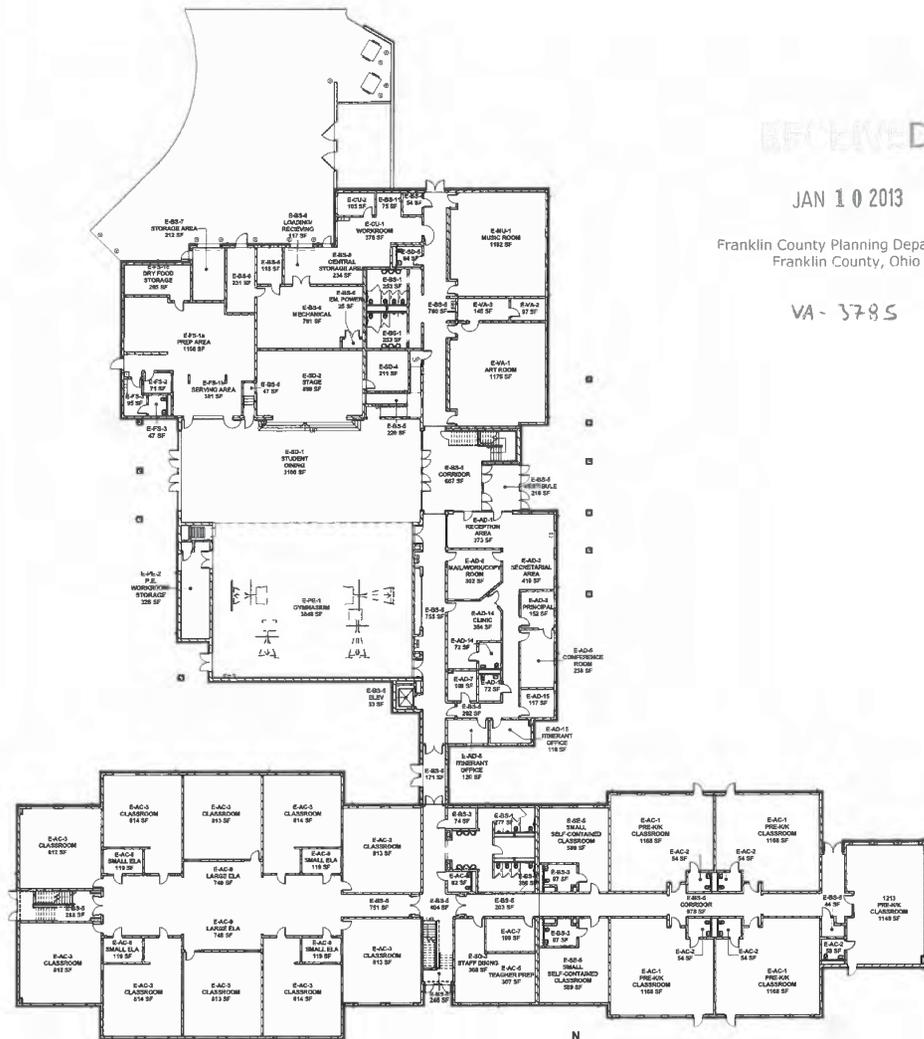
- ALL UNDERGROUND CONDUITS AND DUCTWORK SHALL BE DIRECT BURIED PER DETAIL D ON SHEET 0801 UNLESS INDICATED OTHERWISE. ALL PRIMARY AND SECONDARY CONDUITS AND DUCTWORK SHALL BE CONDUIT UNDERGROUND. ALL CONDUITS BURIED UNDER DRIVWAYS SHALL BE CONDUIT UNDERGROUND. ALL CONDUITS BURIED UNDER DRIVWAYS SHALL BE CONDUIT UNDERGROUND. ALL CONDUITS BURIED UNDER DRIVWAYS SHALL BE CONDUIT UNDERGROUND. ALL CONDUITS BURIED UNDER DRIVWAYS SHALL BE CONDUIT UNDERGROUND.
- E.G. SHALL PROVIDE EXTERIOR MOUNTING HEADS WITH FIRE ALARM DEVICES SERVICE ON THE OUTSIDE OF THE BUILDING AS DIRECTED BY LOCAL FIRE DEPARTMENT. REFER TO SPEC SECTION 21-10.
- ALL PRIMARY CONDUCTORS, LOAD BREAK BOLLARDS, TERMINATIONS AT BOLLARD, ALL EXTERIOR LIGHTING TERMINALS, AND ALL CONDUITS SHALL BE IDENTIFIED WITH POWER CO. ALL WORK SHALL BE COORDINATED WITH SOUTHWEST CITY SCHOOLS AND THE POWER CO.

RECEIVED

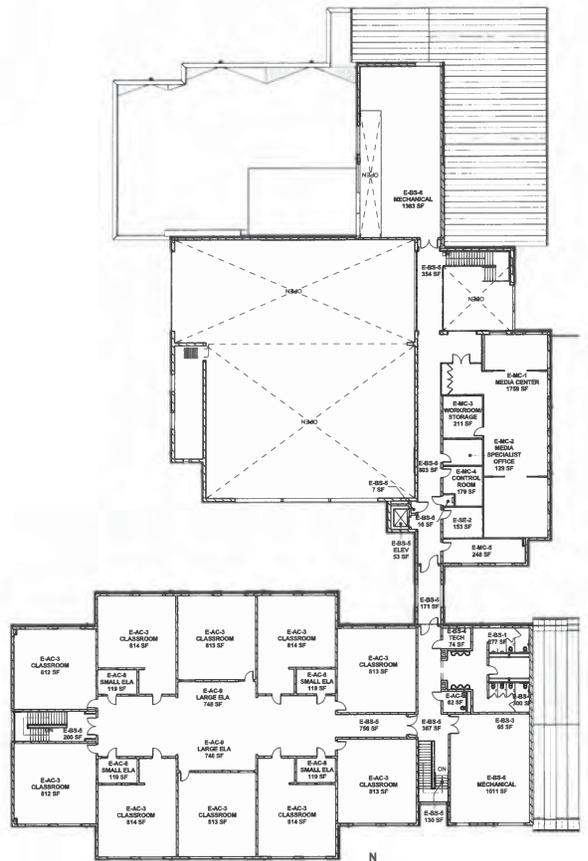
JAN 10 2013

Franklin County Planning Department
Franklin County, Ohio

VA-3785



1 FIRST FLOOR OSFC PLAN
1/8" = 1'-0"



2 SECOND FLOOR OSFC PLAN
1/8" = 1'-0"

OSFC DEPARTMENT SCHEDULE (NET AREA)		
DEPARTMENT	AREA	POR SF
ACADEMIC CORE	28932 SF	27140 SF
ADMINISTRATIVE SPACES	2497 SF	2480 SF
BUILDING SERVICES	15308 SF	15643 SF
CUSTODIAL SPACES	481 SF	500 SF
FOOD SERVICE SPACES	1997 SF	2315 SF
MEDIA CENTER SPACES	2520 SF	2520 SF
MUSIC SPACES	1192 SF	1200 SF
PHYSICAL EDUCATION SPACES	4186 SF	4400 SF
SPECIAL EDUCATION SPACES	1524 SF	1550 SF
STUDENT DINING	4582 SF	4480 SF
VISUAL ARTS SPACES	1416 SF	1450 SF
	62571 SF	63878 SF

OSFC GROSS BUILDING AREA	
BUILDING AREA	AREA (GROSS)
FIRST FLOOR GRADES 1-4 (600 STUDENTS)	15007 SF
SECOND FLOOR GRADES 1-4 (600 STUDENTS)	14814 SF
FIRST FLOOR CORE (600 STUDENTS)	23929 SF
SECOND FLOOR CORE (600 STUDENTS)	9425 SF
PK-K WING (600 STUDENTS)	9465 SF
	69839 SF
POR GSF DEVELOPED	69884 SF

PROJECT: OSFC DEPARTMENT SCHEDULE
DATE: 10/20/12
DRAWN: J. H. HARRIS
CHECKED: J. H. HARRIS
SCALE: AS SHOWN
SHEET: 1 OF 2

SHP
LEADING DESIGN

SOUTH-WESTERN CITY SCHOOL DISTRICT
HARMON ELEMENTARY SCHOOL
1951 Granite Road, Grove City, OH 43123
SOUTH-WESTERN CITY SCHOOL DISTRICT
3805 Marlane Drive, Grove City, OH 43123

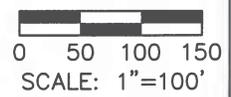
ISSUANCES

10/20/12	ISSUED FOR PERMIT
10/20/12	DESIGN DEVELOPMENT
10/20/12	FINAL SUBMITTAL

OSFC DATA PLANS

DATE: 10/20/12
COMM NO.: 201210.02

X101



INLET #	AREA (ac)	C	Tc (min)
6	0.58	0.85	10
7	0.52	0.88	10
8	0.34	0.48	10
9	0.21	0.46	10
11	0.62	0.69	10
12	0.79	0.41	10
13	1.22	0.66	10
14	0.29	0.92	10
15	0.38	0.78	10
16	0.31	0.78	10
17	0.14	0.51	10
18	0.23	0.76	10
19	0.59	0.64	10
21	0.33	0.42	10
23	0.30	0.42	10
25	0.44	0.82	10
27	0.47	0.57	10

RECEIVED

JAN 31 2013

ranklin County Planning Department
Franklin County, Ohio

VA-3735

KLEINGERS & ASSOCIATES
356 Worthington Rd. Columbus, OH 43229
(614) 477-1000
www.kleingers.com

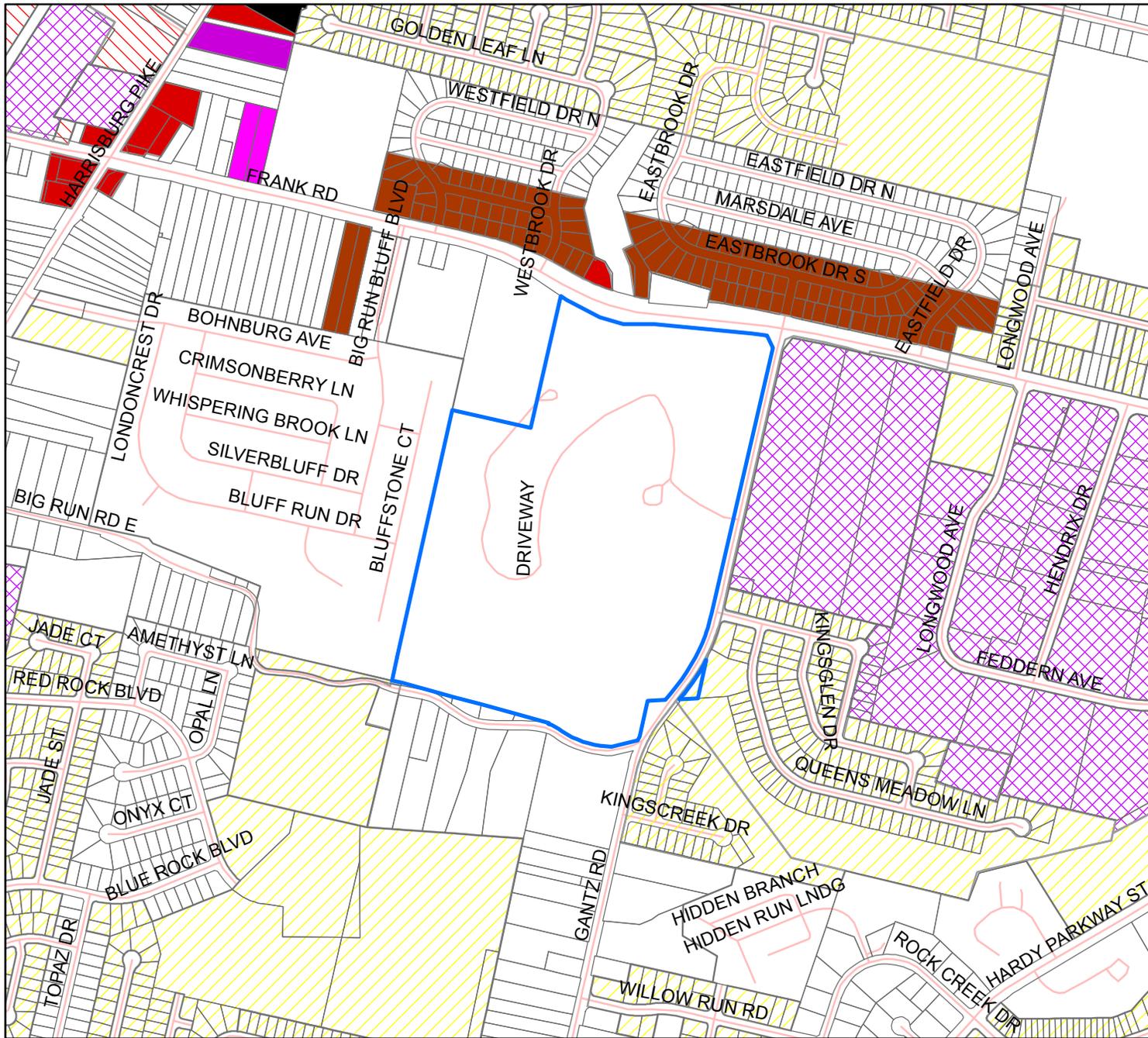
REVISIONS

NO.	DATE	DESCRIPTION

LOCAL DRAINAGE MAP
HARMON ELEMENTARY SCHOOL
2090 FRANK ROAD, COLUMBUS, OH 43223

SCALE: 1"=100'
DATE: 12/12/12
DRAWN: ZBG
DESIGNED: KLW
CHECKED: MAC
XREF:
JOB NO.: 120150

HARMON ES
Page
1
Of
1

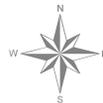
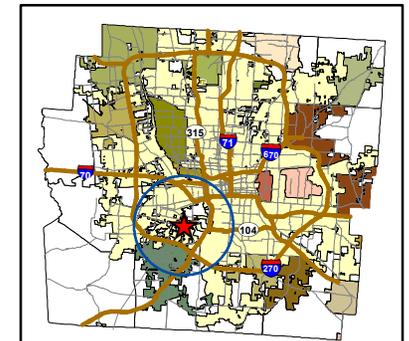


VA-3785

Requesting variances from Sections 302.047, 501.012, 501.024, 505.02, 670.08 and 705.022(8) of the Franklin County Zoning Resolution to allow for the development of a public school that will exceed the maximum height, fail to meet the fencing height, location and material requirements, fail to meet all dumpster requirements, fail to meet all development standards of the Smart Growth Overlay, and fail to meet the requirements of the Franklin County Stormwater Drainage Manual in an area zoned Rural.

79.547-acres
Franklin Township

- | | |
|-----------------|------------------------|
| 1861 Gantz Road | County Zoning |
| Parcels | Rural |
| Streets | R-24 |
| | Neighborhood Com. |
| | Community Service |
| | Limited Industrial |
| | Exceptional Use |
| | Columbus Zoning |
| | Residential |
| | Commercial |
| | Manufacturing |



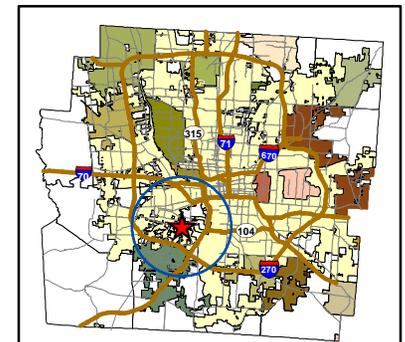


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79.547-acres
Franklin Township

-  1861 Gantz Road
-  Approximate Footprint of Development
-  City of Columbus
-  Parcels
-  Streets
-  1 % Annual Chance Flood Hazard Area
-  Floodway



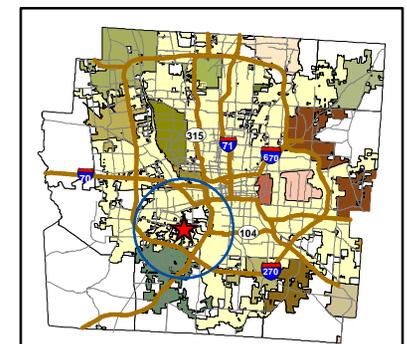


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Franklin Township

-  1861 Gantz Road
-  Approximate Footprint of Development
-  City of Columbus
-  Parcels
-  Streets
-  1 % Annual Chance Flood Hazard Area
-  Floodway



**FRANKLIN COUNTY, OHIO
BOARD OF ZONING APPEALS
(By Laws)**

A. MEMBERS AND OFFICERS

1. The Board of Zoning Appeals, herein after referred to as the BZA, shall consist of five (5) members and two (2) at-large members appointed by the Franklin County Board of County Commissioners as provided by Section 303.013 of the Ohio Revised Code. Each member and/or successor shall serve a term for a period of five (5) years with terms that expire each year. Each member shall maintain residence in unincorporated Franklin County.
2. Each January the BZA shall organize by electing a Chairperson and a Vice-Chairperson. Officers shall serve for one (1) year or until a successor is appointed. Officers are entitled to vote.
3. Upon expiration of a BZA member's term, such member may continue to serve until a successor is appointed.
4. The Chairperson shall encourage regular and timely attendance by each BZA member. Each BZA member is responsible for attending each meeting or notifying the Planning Administrator of the Franklin County Economic Development and Planning Department or the Planning Administrator's staff person of the inability to attend. Four (4) total unexcused absences in one year, or three (3) consecutive unexcused absences shall be grounds for removal of a member by a majority vote of the Board, or, at their discretion, grounds for the attending majority of the Board to request the offending members resignation (02/22/00). The Executive Secretary shall determine what constitutes an unexcused absence. Grounds to be considered an unexcused absence would be failure to notify the Executive Secretary before the meeting of an inability to attend, or repeated absences without medical or appropriate personal excuses.
5. The Planning Administrator of the Franklin County Economic Development and Planning Department or the Planning Administrator's designee shall serve as secretary of the BZA.

B. MEETINGS

1. The BZA shall meet on the third (3rd) Monday of each month. If the third (3rd) Monday is a holiday, the meeting shall be on the following day.
2. Each regular meeting shall be held at 1:30 PM in an appropriate room of the Franklin County Courthouse.
3. The BZA shall publish and mail notices as required by Section 303.15 of the Ohio Revised Code. The BZA herein defines “parties of interest”, as it is used in the ORC, to mean owners of property within and contiguous to and directly across the street from the area subject to the variance or conditional use request. This definition is equivalent to the one used in ORC Section 303.12 regarding notice for rezoning petitions. As a courtesy, the BZA will also attempt to mail notice to all remaining property owners within 300 feet of the subject property. A copy of the abutter list shall be retained in each respective case file and shall be available for public inspection at the Franklin County Economic Development and Planning Department (02/16/98) (02/20/07).
4. All meetings of the BZA shall be open to the public and no action shall take place in Executive Session or by vote prior to any meeting.
5. All meetings shall be conducted in accordance with Roberts Rules of Order, newly revised. A quorum shall consist of three (3) members of the BZA. If a quorum is lacking, the meeting shall be postponed or canceled. The Board of Zoning Appeals is unable to guarantee full attendance at each hearing. As such, any decision made by quorum of BZA is final. The BZA shall consider and deliberate upon any request for delay should an applicant desire to do so, but because of the dynamic development issues present in Franklin County, such request for delay shall only be considered to a date certain not to exceed six months (02/22/00).
6. There are two (2) designated at-large alternates. The alternates shall have the right to vote and participate in all proceedings and actions of the Board of Zoning Appeals at that meeting as if the at-large alternate were a full voting member (02/19/08).
7. All motions before the BZA shall be presented in the affirmative (to approve). If a motion is defeated, this constitutes a denial of the application. Passage shall require the affirmative vote of a majority of votes cast (02/20/07). For an appeal to be denied, a motion of denial must pass. For an appeal to be approved, a motion of approval must pass (04/20/09).
8. The Chairperson may limit the number of persons who wish to speak regarding any agenda item to not fewer than three (3) for and three (3) persons against. The Chairperson may not limit the time for a person to speak to less than five (5) minutes. The Chairperson, in the alternative, may limit the total amount of time for support of an agenda item to fifteen (15) minutes and the total amount of time for the opposition to fifteen (15) minutes.
9. All persons wishing to speak at a meeting must register to do so with the secretary of the BZA prior to the meeting. Speaker slips will be available for this purpose.

The Chairperson will inquire prior to each meeting or prior to each individual case as to whether or not the applicant or the appropriate representative is present. If there is not representation for a specific application, the amendment shall be denied without prejudice and the applicant will be required to reapply. If an applicant or agent reapplies and again does not attend the scheduled meeting, the Board may choose to approve or deny the application based on the merits of the case (02/18/97). Applications with motions to continue or dismiss shall be heard first. Applications requiring a full presentation to the BZA shall be heard in the order of filing (02/22/00).

C. POWERS AND DUTIES

The BZA shall consider request for:

1. Administrative Review. To hear and decide appeals where it is alleged there is error in any order, requirement, or decision, or determination made by the Administrative Officer in the enforcement of the Zoning Resolution.
2. Conditional Use: To authorize only such Conditional Uses as the BZA is specifically authorized to pass on by the terms of the Franklin County Zoning Resolution.
3. Variances: To hear and decide in specific cases such Variances from the terms of the Franklin County Zoning Resolution as will not be contrary to the public interest where, owing to special conditions on the land, a literal enforcement of the provisions of this zoning resolution would result in unnecessary hardship. In granting such Variance, the BZA shall prescribe appropriate conditions and safeguards to maintain the intent and the spirit of the zoning district in conformity with this zoning district.
4. If a proposed variance or conditional use request is denied by the BZA, another application for variance or conditional uses that relies on the same set of facts and affects any portion of the land included in the disapproved application shall not be heard. The Board may consider this position if any applicant can clearly demonstrate that new facts and/or previously unconsidered circumstances or agreements warrant reconsideration (02/16/99).

D. BZA STAFF

1. The Franklin County Economic Development and Planning Department shall receive, process, recommend and present applications for Administrative Appeals, Variances and Conditional Uses to the BZA.
2. The Franklin County Economic Development and Planning Department staff shall review applications for Variance and Conditional Use and submit a written report to the BZA before the public meeting. Such reports shall recommend approval, modification, or disapproval of the application.
3. The Economic Development and Planning Department shall maintain a record of the BZA proceedings and respond to all Praecepta for appeal.

4. It is the responsibility of the Executive Secretary to issue to every applicant the final order or journal entry. Said final order shall include written notification of the BZA decision rendered and shall be issued no later than five (5) days following each scheduled Board meeting. Absent any action to appeal a BZA decision; the Board continues to have thirty (30) days following entry of the final order in which to reconsider a case. Once thirty (30) days has elapsed, the appeal time has lapsed and reconsideration is not possible. In special circumstances and upon just and reasonable finding, the Chairperson may elect to instruct the Executive Secretary to withhold or stay, (02/20/07) for a period not to exceed thirty (30) days, the final order if one (1) or more Board members desires to reopen a case for reconsideration. A request to order a stay assumes that any party to the proceeding would not be prejudice to such a delay (02/18/97).

E. SUSPENSION OR AMENDMENT OF RULES

1. These rules and regulations may be suspended only upon the affirmative vote of no fewer than four (4) members.
2. These rules and regulations may be amended from time to time by a majority vote of the BZA membership. Such amendments shall be effective thirty (30) days after an affirmative vote.

SIGNATURE PAGE

Chairperson

Vice-Chairperson

Member

Member

Member

Date Adopted