



Franklin County
Board of Commissioners

**ECONOMIC DEVELOPMENT
& PLANNING**

Franklin County Planning Commission

Michael J. Dorrian Building
369 South High Street
1st Floor, Commissioners Hearing Room
Columbus, OH 43215

Wednesday, April 9, 2025
1:30

1. Call to Order (Chair)
2. Call roll for Board Members (Clerk)
 - a. Board of Commissioner Members/Alternate Designee(s)
 - b. Regular Planning Commission Members
 - c. Acknowledgement of Quorum
3. Introduction of Staff (Planning Administrator)
4. Approval of minutes from the March 12, meeting
 - a. Motion to Approve Minutes (Chair)
 - b. Discussion of Minutes
 - c. Roll Call on Vote to Approve Minutes (Clerk)
5. New Business
 - i. Administrative Matter: 777-FP Raimere Fitzpatrick

Owner/Applicant:	Bob Webb VIII LLC
Township:	Jefferson
Site:	3115-3201 Reynoldsburg-New Albany Rd (PID# 170-000696)
Acreage:	32.38 Acres
Utilities:	Private water/wastewater
Zoning:	Restricted Suburban Residential (RSR)
Request:	–Requesting approval of a final plat to create 58 single-family residential lots and 7 preserves for private roads, drainage facilities, and floodplain management.

- a. Swear in Staff (Clerk)
- b. Staff Presentation
- c. Request for Applicant Presentation (Chair)
- d. Swear in Applicant (Clerk)
- e. Applicant Testimony
- f. Call for Motion to Accept Staff’s Report and Presentation and Applicant Testimony into Record (Chair)
- g. Roll Call on Motion/Vote (Clerk)
- h. Call for Motion to Recommend Approval/Denial (Chair)
- i. Roll Call on Motion/Vote (Clerk)

ii. Administrative Matter: 790-V Austin Workman

Owner/Applicant:	Aleksandr and Nina Zhuchenya
Township:	Prairie
Site:	Dallas Dr. (PID# 240-004137)
Acreage:	13.93 Acres
Utilities:	Private water/wastewater
Zoning:	Limited Suburban Residential District (R-2)
Request:	Requesting a variance request from Section 501.05 of the Franklin County Subdivision Regulations to exceed the maximum lot depth to width ratio.

- a. Swear in Staff (Clerk)**
- b. Staff Presentation**
- c. Request for Applicant Presentation (Chair)**
- d. Swear in Applicant (Clerk)**
- e. Applicant Testimony**
- f. Call for Motion to Accept Staff's Report and Presentation and Applicant Testimony into Record (Chair)**
- g. Roll Call on Motion/Vote (Clerk)**
- h. Call for Motion to Recommend Approval/Denial (Chair)**
- i. Roll Call on Motion/Vote (Clerk)**

iii. Legislative Matter: JEFF-25-01 Kayla Johnson

Owner/Applicant:	Judy Williams/Logan Buehrer
Township:	Jefferson
Site:	Mulberry St (PID# 170-000398)
Acreage:	.048 Acres
Utilities:	Private water/wastewater
Zoning:	Community Service District (CS)
Request:	Request for Franklin County Planning Commission recommendation to Jefferson Township Zoning Commission to rezone 0.48 acres from the Township's Community Service District to the Suburban Office District.

- a. Staff Presentation (Staff)**
- b. Applicant Presentation**
- c. Call for Motion to Recommend Approval/Denial (Chair)**
- d. Roll Call on Motion/Vote (Clerk)**

6. Motion to Adjourn Meeting to Wednesday, May 14, 2025, (Chair)

- a. Roll Call (Clerk)**

**MINUTES OF THE
FRANKLIN COUNTY PLANNING COMMISSION
Wednesday, March 12, 2025**

The Franklin County Planning Commission convened at the Franklin County Government Center, Board of Commissioners Hearing Room, 369 South High Street, 1st Floor, Columbus, Ohio 43215, on Wednesday, March 12, 2025, at 1:33 p.m.

Present were:

Chet Chaney, Chairman
Roxyanne Burrus
Ashley Hoye
Tim Guyton
Daniel Blechschmidt
Arion Owens
Katherine Page
Annie Ryznar

Franklin County Economic Development and Planning Department members:

Raimere Fitzpatrick, Planning Administrator
Tamara Ennist, Planning Administrator
Kayla Johnson, Planner
Austin Workman, Planner
Tre Wolf, Planning Project Coordinator
Sean Karns, Planning Administrative Assistant
Emanuel Torres, Assistant Director
Franklin County Prosecutor's Office members:
Jesse Armstrong, Assistant Prosecuting Attorney
Devin Bartlett, Assistant Prosecuting Attorney

Other attendees:

Michael Ruehrmund, Franklin County Deputy Clerk
Sharon Lynch, Franklin County Administrative Secretary
Lisa Vivens, Applicant
Stanley Vivens, Sr., Applicant
Scott N. Schaeffer, Esq., Kemp, Schaeffer & Rowe, Co., LPA

Chairman Chaney opened the hearing. The first order of business was roll call of the Planning Commission members. The next order of business was the introduction of staff and members of the Franklin County Prosecutor's Office. The next order of business was approval of the minutes from the February 12, 2025 meeting. A motion was made by Mr. Blechschmidt, seconded by Ms. Burrus, to approve the minutes from the February 12, 2025 meeting. The motion passed by a vote of eight yeases, zero nos, and zero abstentions.

NEW BUSINESS:

The next order of business was to postpone Case No. ZON-25-02 to the May 14, 2025 meeting so that the applicant could make revisions to the requested zoning district. A motion was made by Mr. Guyton, seconded by Ms. Page, to postpone Case No. ZON-25-02 until the May 14, 2025 meeting. The motion passed by a vote of eight yeases, zero nos, and zero abstentions. The next order of business was to hear Case No. ZON-25-03. The owners/applicants were Lisa and Stanley Vivens. The site is located in Franklin Township at 2623 Clime Road. It is 1.52 acres in size and served by public water and wastewater. The applicant was requesting to rezone from the Rural and Community Service districts to the Neighborhood Commercial district. Staff recommended approval with conditions. The conditions of approval were as follows: No. 1: Apply for and receive approval of a certificate of commercial zoning compliance from the Franklin

County Planning Department prior to the initiation of any commercial use on the property, to include details of the required parking, screening, and other development requirements of the zoning district. No. 2: Prior to zoning compliance approval, dedicate additional right-of-way to meet the Franklin County Thoroughfare Plan of 60 feet from the centerline of Clime Road through quitclaim deed to the Franklin County Commissioners. No. 3: Prior to zoning compliance approval, obtain approval of a variance from the Franklin County Engineer's Office for any additional proposed driveways to the site. No. 4: Apply for and receive approval of a building permit from the State of Ohio Department of Commerce for the proposed change of use of the residential structure. Mr. and Mrs. Vivens were sworn in and testified to the background and future use of the property. A motion was made by Mr. Blechschmidt, seconded by Ms. Burrus, to approve Case No. ZON-25-03 with the four staff recommendations. Condition No. 4 was amended to state, "Apply for and receive approval of a building permit from Franklin Township for the proposed change of use of the residential structure." The motion passed by a vote of eight yeses, zero nos, and zero abstentions. The next order of business was to hear an administrative action for Case No. 780-FP. The applicant was requesting an extension for the approval of the final plat of the Pegasus Estates subdivision. Mr. Fitzpatrick and Mr. Schaeffer were sworn in before providing testimony. Mr. Schaeffer testified to the reason for the extension request. A motion was made by Mr. Guyton, seconded by Ms. Burrus, to accept staff's presentation, materials, and the testimony of the applicant and/or witnesses for the applicant. The motion passed by a vote of eight yeses, zero nos, and zero abstentions. A motion was then made by Mr. Guyton, seconded by Ms. Burrus, to approve an extension of the approval for the final plat of the Pegasus Estates subdivision to October 11, 2025, at the applicant's request. The motion passed by a vote of eight yeses, zero nos, and zero abstentions. There being no further business to come before the Planning Commission, a motion was made by Ms. Burrus, seconded by Mr. Guyton, to adjourn 20 the meeting. The meeting was adjourned at 2:06 p.m.

The minutes of the March 12, 2025
Franklin County Planning Commission were approved
this _____ day of ____, 2025.



STAFF REPORT

Planning Commission
April 9, 2025

Case: 777-FP

Prepared by: Raimere Fitzpatrick

Owner/Applicant:	Bob Webb VIII LLC
Engineer:	EP Ferris and Associates
Subdivision:	Woodland Preserve
Township:	Jefferson Township
Location:	3115-3201 Reynoldsburg-New Albany Road (PID # 170-000696-00, 170-000495-00, 170-000504-00, 170-000502-00 & 170-000503-00)
Acreage:	32.38-acres
Utilities:	Public water and wastewater
Request:	Requesting final plat approval to allow the creation of 58 single-family lots and 7 reserves for private roads, stormwater management, and open space.

Request

The applicant is requesting final plat approval to allow the creation of 58 single-family lots and 7 reserves designated for private streets and open space in the Jefferson Township Planned Suburban Residential District (PSRD).

Overview and Analysis:

The Preliminary Plan for the Woodland Preserve subdivision was conditionally approved on July 12, 2023. The 32.38-acre Preliminary Plan included:

- 58 single-family residential lots on 12.51-acres
- One (1) 3.754-acre reserve for private streets to be owned and maintained by a homeowners association
- Three (3) reserves for 15.378 acres of open space and stormwater management facilities to be owned and maintained by Jefferson Township

The Final Plat generally conforms to the approved Preliminary Plan. The Final Plat locates the 15.378-acres open space/stormwater management facilities in 6 reserves rather than three (3) as depicted on the preliminary plan to accommodate stormwater management easements. The division of the reserves does not alter the lot/roadway layout or overall subdivision boundaries.

An approved Subdivider's Agreement and construction cost estimates/sureties will be coordinated by the Franklin County Engineer's Office at the time of plat recordation.

Technical Review Committee agencies' concerns have been addressed by the applicant, and the Final Plat conforms to the approved Preliminary Plan.

Staff Recommendation:

Staff recommends approval of the Final Plat for Woodland Preserve subdivision.

- As per Section 205.25 of the Franklin County Subdivision Regulations, the final plat must be recorded within 6 months of the date of approval.

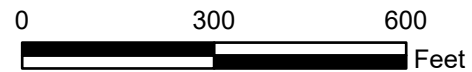
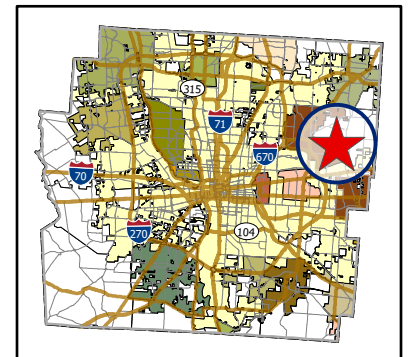


777-FP

Requesting final plat approval to allow the creation of 58 single-family lots and 7 reserves for private roads, stormwater management and open space.

Acres: 32.38-acres
 Township: Jefferson Township

- Streets
- Parcels
- 3115-3201 Reynoldsburg-New Albany Road



1 inch = 300 feet



Franklin County
Board of Commissioners

**ECONOMIC DEVELOPMENT
& PLANNING**

Economic Development & Planning Department
James Schimmer, Director

Application for
**Subdivision
Final Plat**
Page 1



Property Information

Site Address:
3115-3201 Reynoldsburg-New Albany Road

Parcel ID(s):
170-000696-00, 170-000495-00, 170-000504-00, 170-000502-00 & 170-000503-00

Total Acreage: 32.38	Current Zoning: Restricted Suburban Residential ("RSR")
Township Jefferson	School District:
Fire Department:	Police Department:

Subdivision Summary

General

Subdivision Name:
Woodland Preserve

Total Number of Lots: 58	Number of Reserves: 7
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Non-Residential Areas		Typical Lot Characteristics	
Reserve Areas:	19.132 acres	Width:	65 ft
Open Space:	15.378 acres	Depth:	125 ft
Streets:	3.754 acres	Typical Lot Area:	0.187 acres

Roadways

Existing Access Roads	Proposed New Streets
<input type="checkbox"/> State	<input type="checkbox"/> Public
<input checked="" type="checkbox"/> County	<input checked="" type="checkbox"/> Private
<input type="checkbox"/> Township	<input type="checkbox"/> Both
<input type="checkbox"/> Not Applicable	<input type="checkbox"/> Not Applicable

Stormwater Infrastructure

Will there be Stormwater Detention/Retention?

<input checked="" type="checkbox"/> Yes	If yes, you will be required to join the County Drainage Maintenance Program for all drainage infrastructure within the proposed development
<input type="checkbox"/> No	If no, you must explain how stormwater will be handled for the proposed development
<input type="checkbox"/> Other	

Staff Use Only

Case #
777-FP

Hearing Date: 4/9/2025

Date Filed: 3/3/2025

Fee Paid: \$7,250.00

Receipt #
25-00542

Received By: TREE WOLF

Date of Preliminary Plan Approval

Have all required improvements been installed?

- Yes
- No

If no, include detailed estimates of cost and a statement relative to the method of improvement guarantee. All of the estimates must be approved by the responsible county officials.

Checklist

- Completed Application
- Fee Payment (checks only)
- Final Plat - 5 Copies folded
- Final Plat - One 11"x17"
- Electronic Copy in PDF and CAD
- Subdividers Agreement



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Subdivision Final Plat Page 3



Applicant Signature

To the best of my/our knowledge and belief, information and materials submitted as a part of this Final Plat application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes.

James Schimmer

Applicant

2/24/2025

Date

Engineer

Date

Ben Bell

Property Owner (Signature must be notarized)

2/27/25

Date

Property Owner (Signature must be notarized)

Date



LAUREN GRIZZLE
Notary Public, State of Ohio
My Commission Expires:
April 21, 2029

Lauren Grizzle 2-27-25

Appendix B

SUBDIVIDER'S AGREEMENT – COUNTY OF FRANKLIN, OHIO

To be signed and submitted with the Construction Plan

NOTE: The county engineer must approve form and content of actual agreement.

This Agreement, between Bob Webb VIII, LLC, the subdivider, and the County of Franklin concerning the Woodland Preserve subdivision plat, shall set out conditions, requirements and considerations relative to the construction of required improvements and the issuance of county zoning, building and health permits for lots and reserves in the above named subdivision. This Agreement shall be binding on the subdivider(s) and his/her/their personal representatives, heirs and assigns, upon the submission and approval of the construction plan and shall be subject to the following:

- A. All improvement plans (street, drainage, storm water management, sanitary, water, erosion and sedimentation control, grading, etc.) shall be signed by the subdivider's engineer. Improvement plans approved by the county engineer, county drainage engineer, county sanitary engineer, or Franklin County Public Health shall be a part of this Agreement.
- B. Requirements and provisions of the subdivision plat and Subdivision Regulations of Franklin County, Ohio shall be a part of this Agreement.
- C. No county zoning, building or health permits shall be issued for development of lots or reserves in this subdivision until all required improvements have been properly completed to the satisfaction of the county engineer and the Franklin County Economic Development and Planning Department.
- D. The Subdivider further agrees that any violation of, or unsatisfactory compliance with, any provision, stipulation, or requirement of this Agreement, the subdivision plat, or the Subdivision Regulations of Franklin County, Ohio shall constitute a breach of contract and may subject the Subdivider and subdivision to enforcement measures such as, but not limited to: stop work orders, use of surety, forfeiture of deposited funds, moratoria on development permits, fines, revocation of approvals or permits, plat recall, etc.
- E. All work shall be performed within a 1 Year period from the approval date of the Final Plat. However, an extension of time may be granted if approved by the Board of Franklin County Commissioners.

Ed LaTorre
First Witness (print)

Brandon Belli
Subdivider (Print)

8/21/24
Date

[Signature]
First Witness (Sign)

[Signature]
Subdivider (Sign)

8/21/24
Date

Franklin County Engineer

Date

PRELIMINARY PLAN FOR WOODLAND PRESERVE JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO 2023

OWNER/DEVELOPER INFORMATION
BOB WEBB WOODLAND PRESERVE LLC
7662 NORTH CENTRAL DRIVE
LEWIS CENTER, OHIO 43035
CONTACT: BRANDON BELL
PHONE: (614) 207-1574
EMAIL: brandon.bell@bobwebb.com

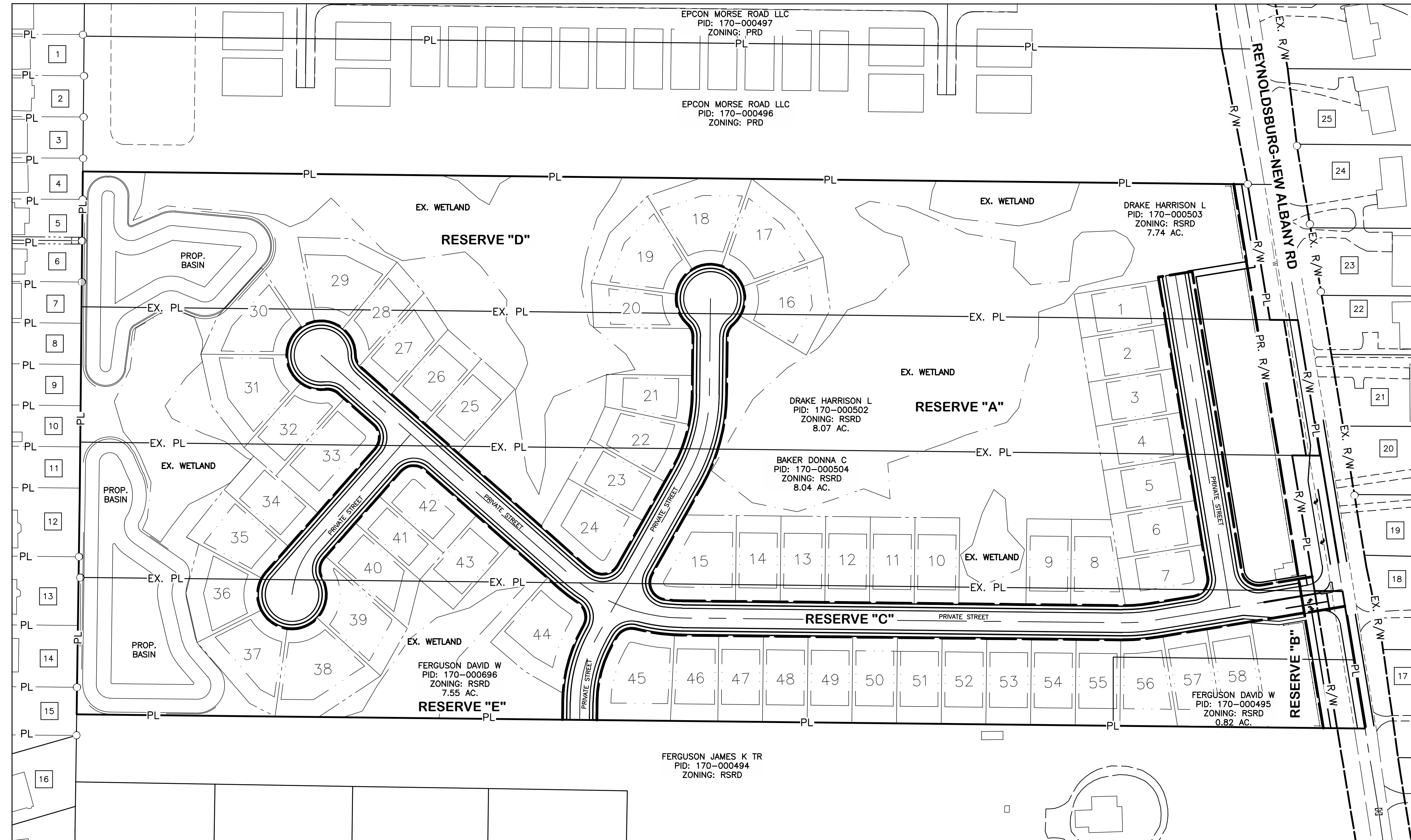
CIVIL ENGINEER INFORMATION
E.P. FERRIS & ASSOCIATES, INC.
2130 QUARRY TRAILS DRIVE, 2ND FLOOR
COLUMBUS, OHIO 43228
CONTACT: MATT POINDEXTER, P.E.
PHONE: (614) 299-2999
EMAIL: mpoindexter@epferris.com



LOCATION MAP
NOT TO SCALE

NOTES:

1. PER FEMA FLOOD INSURANCE MAPS 39049C0212K, DATED 06/17/08 & 39049C0216K, DATED 06/17/2008; THE SITE IS ZONED X, OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN
2. WETLAND & STREAM DELINEATION COMPLETED BY CIVL & ENVIRONMENTAL CONSULTANTS, INC. IN SEPTEMBER 2019.
3. RESERVES "A", "B", "D", AND "E" TO BE OWNED BY JEFFERSON TOWNSHIP AND MAINTAINED BY THE WOODLAND PRESERVE HOME OWNERS ASSOCIATION. RESERVE "C" SHALL BE OWNED AND MAINTAINED BY THE WOODLAND PRESERVE HOME OWNERS ASSOCIATION INCLUDING PRIVATE STREETS AND STORMWATER FACILITIES.
4. RESERVES "A", "D", AND "E" WILL ALSO CONTAIN CONSERVATION EASEMENTS. THE INTENTION OF THESE EASEMENTS IS TO PRESERVE AND PROTECT EXISTING WETLANDS ON-SITE. MOWING, SPRAYING, AND CLEARING ARE PROHIBITED WITHIN EASEMENT BOUNDS.
5. PER THE GROUND WATER POLLUTION POTENTIAL REPORT NO. 40, THE SITE IS LOCATED WITHIN AREA 7A63 WHICH HAS A POLLUTION POTENTIAL INDEX RANGE OF 110-119.
6. ROAD TYPICAL PAVEMENT WIDTH 28'. PARKING SHALL BE ALLOWED ON THE SIDE OF THE ROAD OPPOSITE OF THE FIRE HYDRANTS.
7. TOPOGRAPHIC INFORMATION SHOWN OUTSIDE OF PROPOSED PROJECT AREA FROM FRANKLIN COUNTY AUDITOR'S GIS.
8. A MINIMUM 30' EASEMENT WILL BE PROVIDED TO AND AROUND THE PROPOSED STORMWATER MANAGEMENT BASINS FOR FRANKLIN COUNTY ACCESS AND MAINTENANCE PURPOSES ONLY.
9. PROPOSED STORMWATER MANAGEMENT BASINS SHALL BE ON FRANKLIN COUNTY DITCH MAINTENANCE PETITION.
10. MAIL KIOSK LOCATIONS ARE SUBJECT TO THE US POSTAL SERVICE REVIEW AND APPROVAL.
11. LOTS 10-15, 18, 19, 24, 38-40, 43, 44, 47, 48, 50-53 ARE LOCATED WITHIN PEWAMO (Pm) POORLY DRAINED SOILS AREA. NO BASEMENTS ARE PERMITTED ON THESE LOTS.
12. JEFFERSON TOWNSHIP REQUIRES 4'-RAIL BLACK FENCE ALONG THE ENTIRE FRONTAGE OF THE DEVELOPMENT.



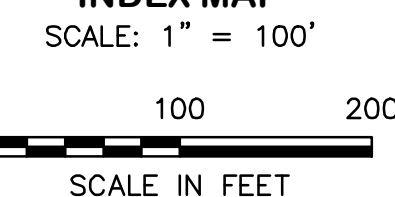
SHEET INDEX

TITLE	1
EXISTING CONDITIONS PLAN	2-3
SITE LAYOUT	4-5
UTILITY PLAN	6-7
GRADING PLAN	8-9

GENERAL ZONING INFORMATION

EXISTING ADDRESS	3201 REYNOLDSBURG-NEW ALBANY ROAD, JEFFERSON TOWNSHIP, OH 43054
PARCEL NUMBERS	170-000502; 170-000503; 170-000504; 170-000696; 170-000495
TAX DISTRICT	170 - JEFFERSON TOWNSHIP
SCHOOL DISTRICT	GAHANNA-JEFFERSON CSD
EXISTING ZONING CLASSIFICATION/DISTRICT	PLANNED RESIDENTIAL DISTRICT (PRD)
TOTAL PROPOSED SINGLE FAMILY RESIDENTIAL LOTS	58 (65' WIDTH AT FRONT BUILDING LINE x 125' DEPTH FROM BACK OF CURB TYP.)
GROSS SITE AREA (FT OR ACRES)	32.38 AC.
EXISTING RIGHT-OF-WAY ACREAGE	0.277 AC.
PROPOSED RIGHT-OF-WAY ACREAGE	0.277 AC.
LOT ACREAGE	12.75 AC.
RESERVE ACREAGE	16.63 AC.
RESERVE "A"	7.64 AC.
RESERVE "B"	0.53 AC.
RESERVE "C"	3.80 AC.
RESERVE "D"	4.66 AC.
OPEN SPACE	12.73 AC.
PRIVATE STREET	3.80 AC.

INDEX MAP



PARCEL INDEX

1 MCCATHERN ERIC D PCL. NO. 025-012137 ZONING: SF-2	2 AGUADO HUMERTO PCL. NO. 025-012138 ZONING: SF-2	3 WU LARRY PCL. NO. 025-012139 ZONING: SF-2	4 UMAROV ELYOR PCL. NO. 025-012140 ZONING: SF-2	5 SNOWDEN JOSEPH C PCL. NO. 025-012141 ZONING: SF-2
6 TILSON KELLY RAE PCL. NO. 025-012142 ZONING: SF-2	7 COCCIA LAURA L TR PCL. NO. 025-012143 ZONING: SF-2	8 ORIS THOMAS L JR PCL. NO. 025-012144 ZONING: SF-2	9 PAUL AMY PCL. NO. 025-012145 ZONING: SF-2	10 HAUTSTUECK NICHOLAS K PCL. NO. 025-012146 ZONING: SF-2
11 CHAFFINS TODD N PCL. NO. 025-012147 ZONING: SF-2	12 MAIR DEREK M PCL. NO. 025-012079 ZONING: SF-2	13 WAGNER JILL E PCL. NO. 025-012080 ZONING: SF-2	14 WEIDEN ELLEN T TR PCL. NO. 025-012081 ZONING: SF-2	15 KESTERSON KEVIN D PCL. NO. 025-012082 ZONING: SF-2
16 WHITE MARK E PCL. NO. 025-012083 ZONING: SF-2	17 EVANS IRENE M PCL. NO. 170-001289 ZONING: RSRD	18 JERNIGAN RICHARD G PCL. NO. 170-000798 ZONING: RSRD	19 HRIC MICHAEL A PCL. NO. 170-000498 ZONING: RSRD	20 KENIMER CHARLES JOSEPH PCL. NO. 170-001207 ZONING: RSRD
21 HIRNING CAROLYN M PCL. NO. 170-001290 ZONING: RSRD	22 3146 REYN NEW ALBANY LLC PCL. NO. 170-001273 ZONING: RSRD	23 PLATTE SARAH C PCL. NO. 170-001101 ZONING: RSRD	24 FEHER KATIE PCL. NO. 170-002198 ZONING: RSRD	25 BANKS GLORIA PCL. NO. 170-000277 ZONING: RSRD

REVISIONS

NO.	DATE	DESCRIPTION	BY

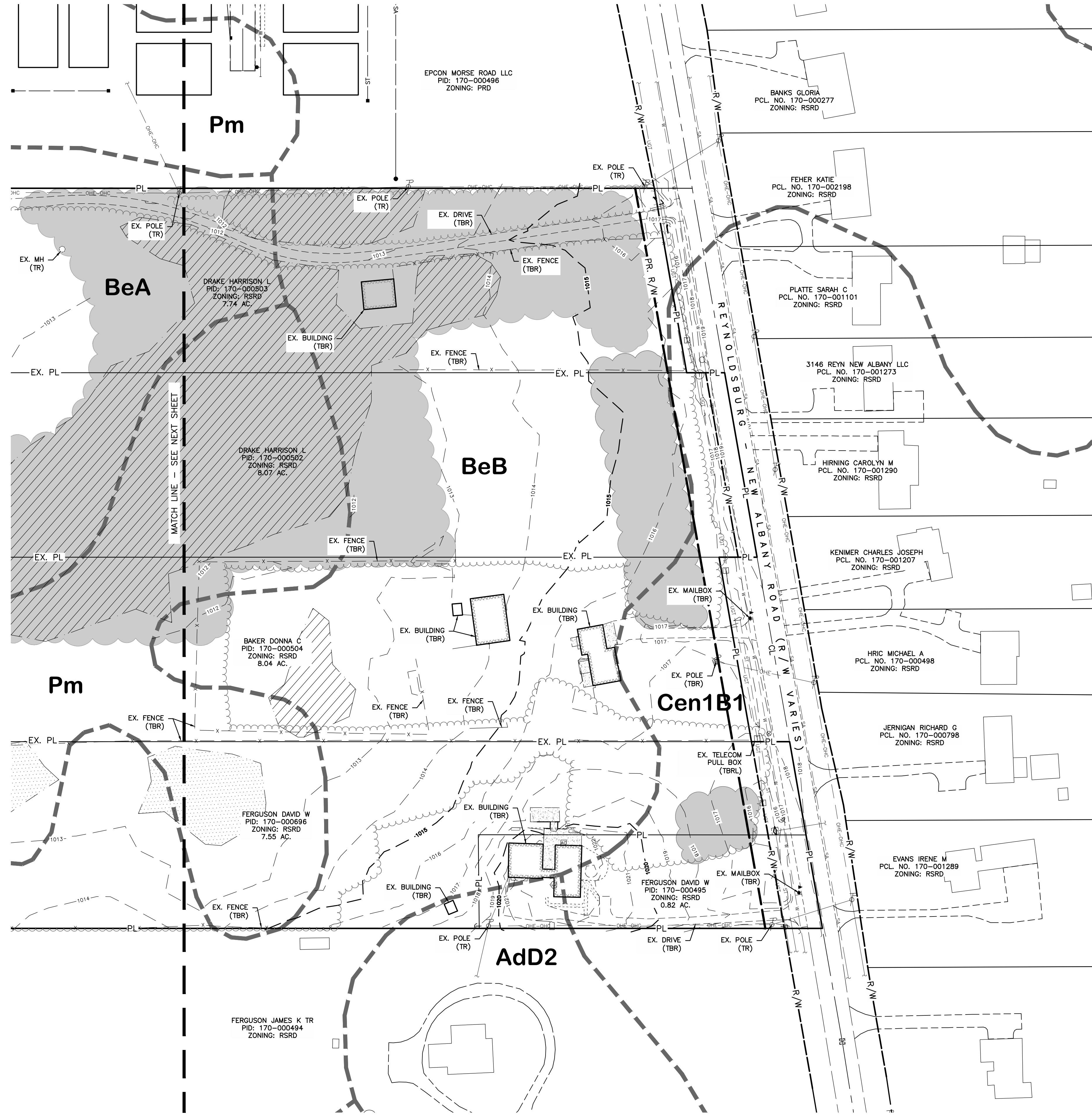
SHEET NO.	OF
1	9

E. P. FERRIS
AND ASSOCIATES
INC.

2130 QUARRY TRAILS DRIVE, 2ND FLOOR
COLUMBUS, OHIO 43228
(614) 299-2999
(614) 299-2992 (FAX)
www.EPFERRIS.com

Consulting Civil Engineers and Surveyors

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LEGEND

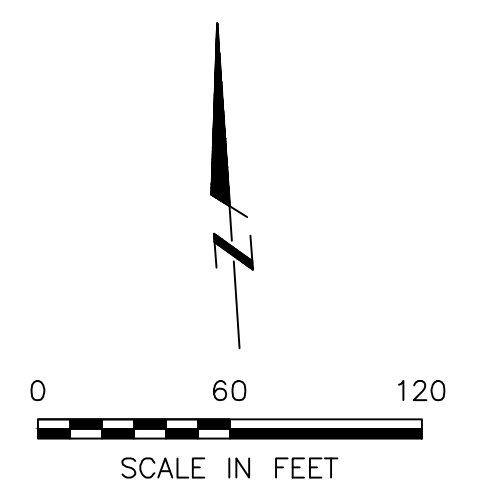
- PL ——— PROPERTY LINE
- R/W ——— EX. RIGHT-OF-WAY
- PR. PL ——— PR. PROPERTY LINE
- PR. R/W ——— PR. RIGHT-OF-WAY
- LOT LINE
- ROADWAY CENTERLINE
- EDGE OF PAVEMENT/BACK OF CURB
- EDGE OF DRIVEWAYS
- MISC. EASEMENTS
- ⊙ ——— EX. FIRE HYDRANT
- ⊙ ——— EX. WATER SERVICE VALVE
- EX. TREELINE
- ⊙ ——— EX. SANITARY MANHOLE
- ⊙ ——— EX. CATCH BASIN
- ⊙ ——— EX. STORM MANHOLE
- ⊙ ——— EX. STORM CURB INLET
- ⊙ ——— EX. UTILITY POLE
- ⊙ ——— EX. LIGHT POLE
- ⊙ ——— EX. TELEPHONE PULL BOX
- ⊙ ——— EX. AIR CONDITIONER
- ⊙ ——— EX. MAILBOX
- ⊙ ——— EX. SIGN
- EX. FENCE
- W ——— EX. WATER LINE
- UGT ——— EX. UNDERGROUND TELEPHONE
- G ——— EX. GAS
- ST ——— EX. STORM
- SA ——— EX. SANITARY
- UGE ——— EX. UNDERGROUND ELECTRIC
- OHE ——— EX. OVERHEAD ELECTRIC
- OHC ——— EX. OVERHEAD STREET LIGHTING
- TBR — TO BE REMOVED
- TBA — TO BE ABANDONED
- TBRL — TO BE RELOCATED
- DND — DO NOT DISTURB
- AB — ABANDONED
- EX. SOIL TYPE BOUNDARY
- Add2** — EX. SOIL TYPE
- TREES TO REMAIN
- WETLANDS TO REMAIN
- WETLANDS TO BE MITIGATED

TREE PRESERVATION / REMOVAL CALCULATIONS:

EXISTING TREES:	±28.08 ACRES
EXISTING TREES TO BE REMOVED:	±16.26 ACRES (57.9%)
EXISTING TREES TO REMAIN IN PRESERVES:	± 11.82 ACRES (42.1%)
EXISTING TREES TO REMAIN ON LOTS:	± 0.00 ACRES (0.00%)
TOTAL TREES TO REMAIN ON SITE:	± 11.82 ACRES (42.1%)

SOILS

Cn	Condit silt loam, 0-1 PERCENT SLOPES
AdD2	ALEXANDRIA SILT LOAM, 12-18 PERCENT SLOPES, ERODED
BeB	BENNINGTON SILT LOAM, 2-6 PERCENT SLOPES
Pm	PEWAMO SILT CLAY LOAM, LOW CARBONATE TILL, 0-2 PERCENT SLOPES
Cen1B1	CENTERBURG SILT LOAM, 0-2 PERCENT SLOPES
BeA	BENNINGTON SILT LOAM, 0-2 PERCENT SLOPES



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REVISIONS	DATE	BY	CHK.

E. P. FERRIS AND ASSOCIATES INC.
Consulting Civil Engineers and Surveyors

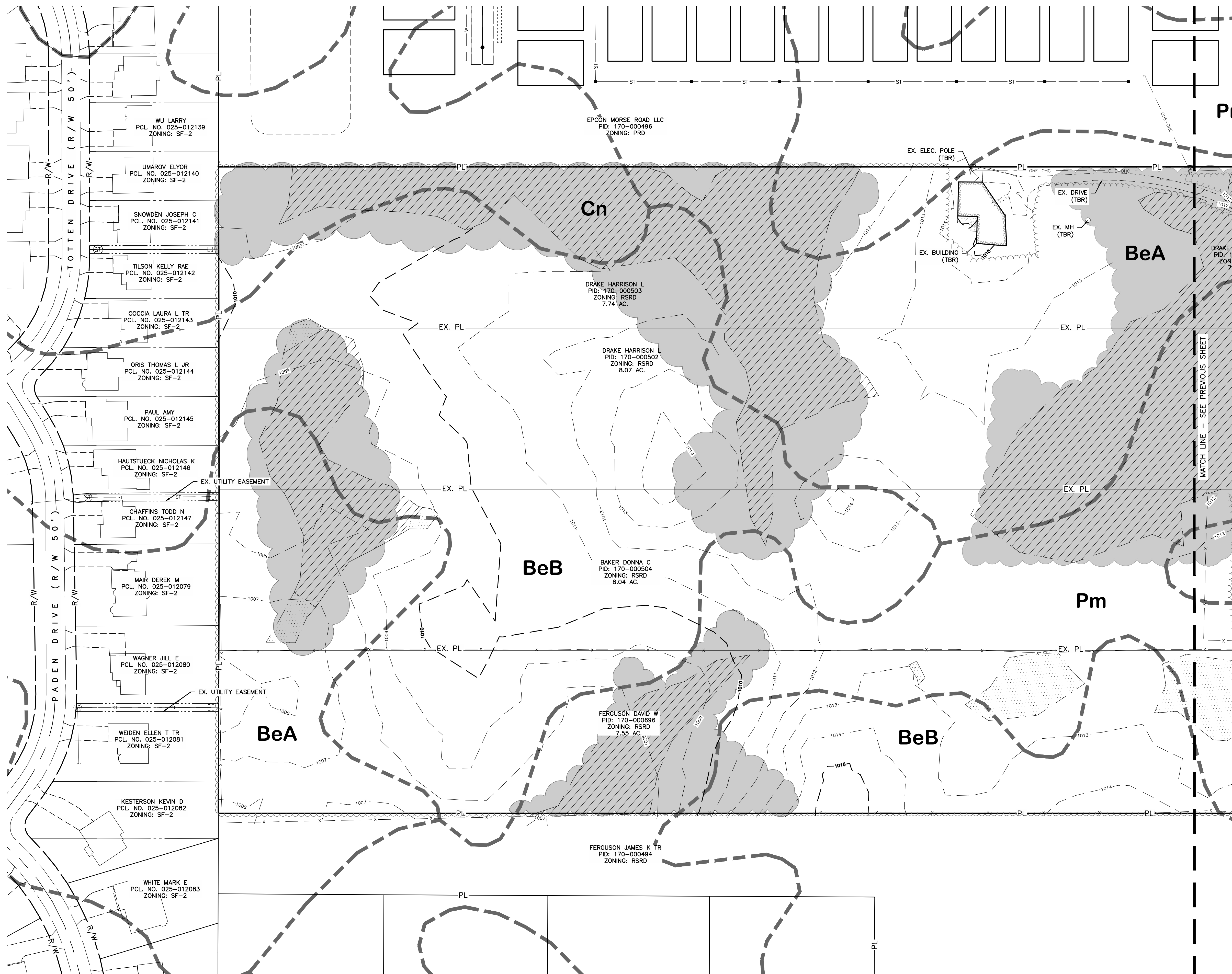
2130 QUARRY TRAILS DR,
 2ND FLOOR
 COLUMBUS, OHIO 43228
 (614) 299-2999
 (614) 299-2992 (Fax)
 www.EPFERRIS.com

JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
WOODLAND PRESERVE
 BOB WEBB HOMES

JOB NO.	1150.003
DESIGNED BY:	ERM
DRAWN BY:	ERM
CHECKED BY:	MMP
APPROVED BY:	MMP
DATE:	07/05/23

EXISTING CONDITIONS PLAN

SCALE:	1" = 60'
SHEET NO.	2
OF	9



LEGEND

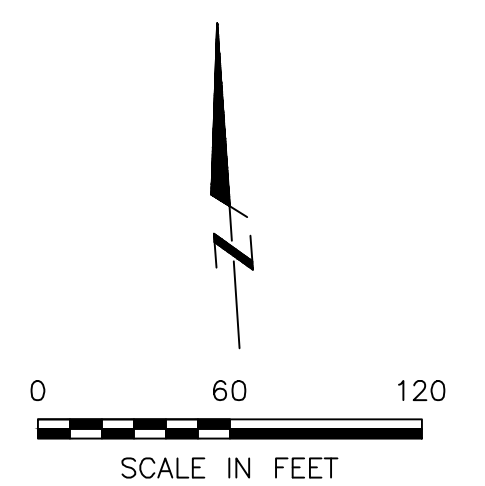
- PL PROPERTY LINE
- R/W EX. RIGHT-OF-WAY
- PR. PL PR. PROPERTY LINE
- PR. R/W PR. RIGHT-OF-WAY
- LOT LINE
- ROADWAY CENTERLINE
- EDGE OF PAVEMENT/BACK OF CURB
- EDGE OF DRIVEWAYS
- MISC. EASEMENTS
- EX. FIRE HYDRANT
- EX. WATER SERVICE VALVE
- EX. TREELINE
- EX. SANITARY MANHOLE
- EX. CATCH BASIN
- EX. STORM MANHOLE
- EX. STORM CURB INLET
- EX. UTILITY POLE
- EX. LIGHT POLE
- EX. TELEPHONE PULL BOX
- EX. AIR CONDITIONER
- EX. MAILBOX
- EX. SIGN
- EX. FENCE
- W EX. WATER LINE
- UGT EX. UNDERGROUND TELEPHONE
- G EX. GAS
- ST EX. STORM
- SA EX. SANITARY
- UGE EX. UNDERGROUND ELECTRIC
- OHE EX. OVERHEAD ELECTRIC
- OHC EX. OVERHEAD STREET LIGHTING
- TBR TO BE REMOVED
- TBA TO BE ABANDONED
- TBR/L TO BE RELOCATED
- DND DO NOT DISTURB
- AB ABANDONED
- EX. SOIL TYPE BOUNDARY
- Add2** EX. SOIL TYPE
- TREES TO REMAIN
- WETLANDS TO REMAIN
- WETLANDS TO BE MITIGATED

TREE PRESERVATION / REMOVAL CALCULATIONS:

EXISTING TREES:	±28.08 ACRES
EXISTING TREES TO BE REMOVED:	±16.26 ACRES (57.9%)
EXISTING TREES TO REMAIN IN PRESERVES:	± 11.82 ACRES (42.1%)
EXISTING TREES TO REMAIN ON LOTS:	± 0.00 ACRES (0.00%)
TOTAL TREES TO REMAIN ON SITE:	± 11.82 ACRES (42.1%)

SOILS

Cn	Cond't. silt loam 0-1 PERCENT SLOPES
Add2	ALEXANDRIA SILT LOAM, 12-18 PERCENT SLOPES, ERODED
BeB	BENNINGTON SILT LOAM, 2-6 PERCENT SLOPES
Pm	PEWAMO SILT CLAY LOAM, LOW CARBONATE TILL, 0-2 PERCENT SLOPES
Can1B1	CENTERBURG SILT LOAM, 0-2 PERCENT SLOPES
BeA	BENNINGTON SILT LOAM, 0-2 PERCENT SLOPES



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REVISIONS	DATE	BY	CHK.

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2ND FLOOR
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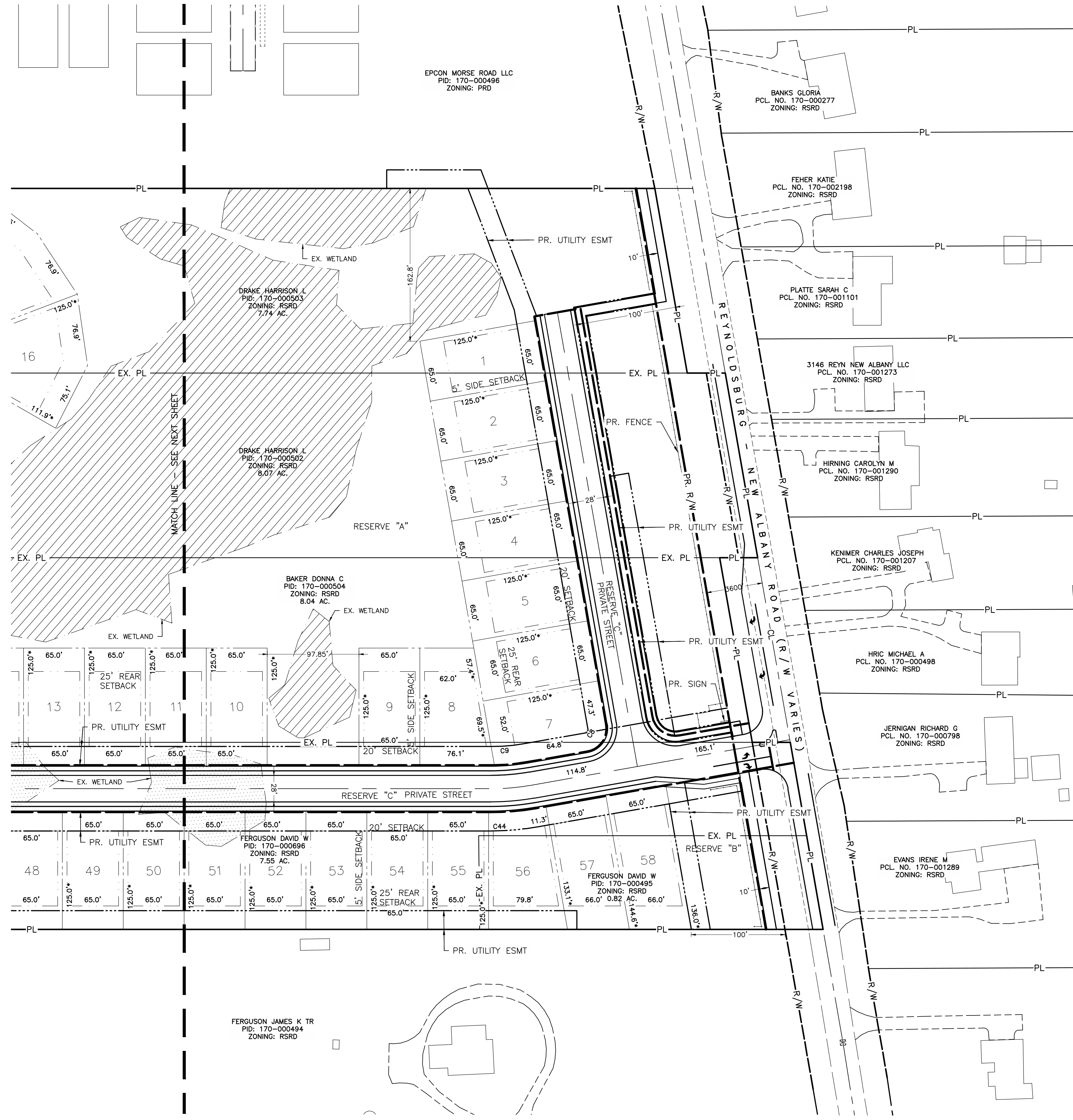
JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
WOODLAND PRESERVE
BOB WEBB HOMES

JOB NO.	1150.003
DESIGNED BY:	ERM
DRAWN BY:	ERM
CHECKED BY:	MMP
APPROVED BY:	MMP
DATE:	07/05/23

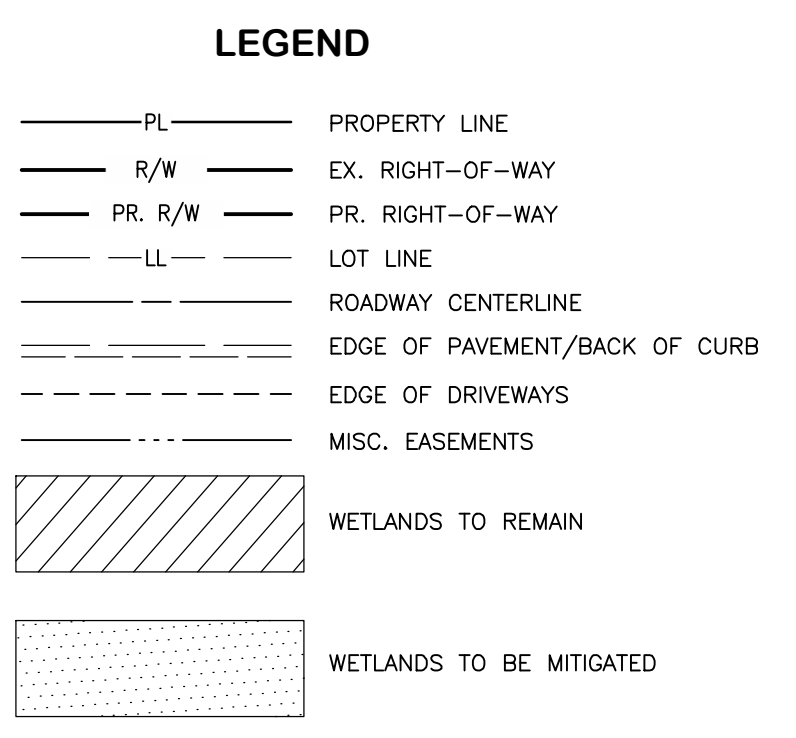
EXISTING CONDITIONS PLAN

SCALE:	1" = 60'
SHEET NO.	3
OF	9

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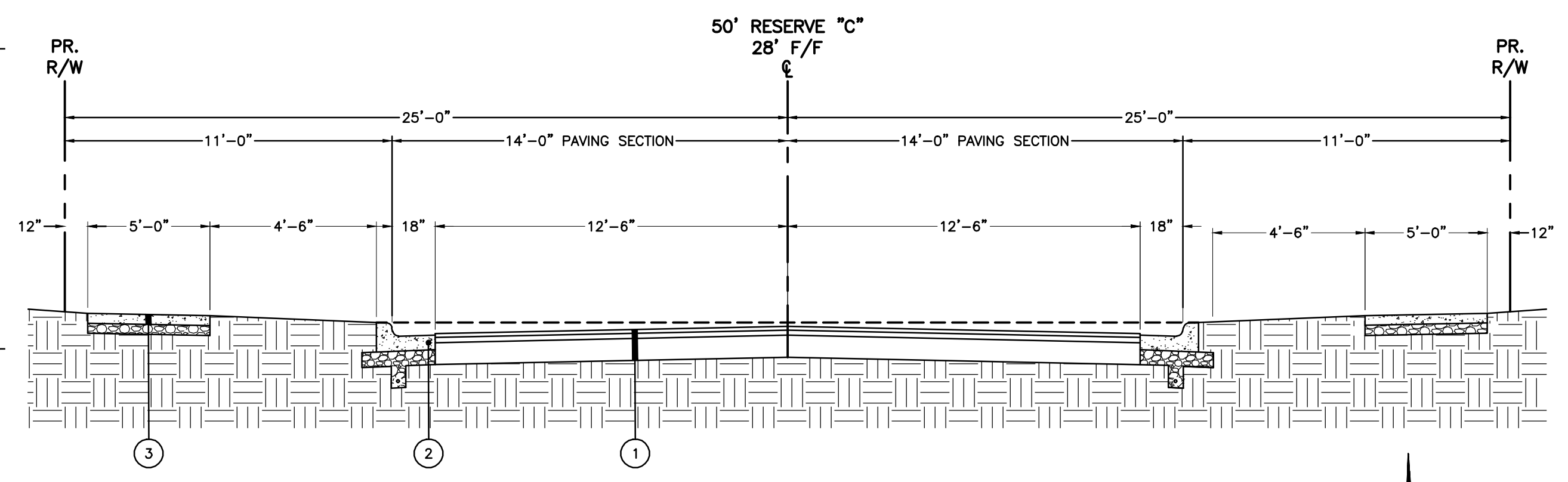
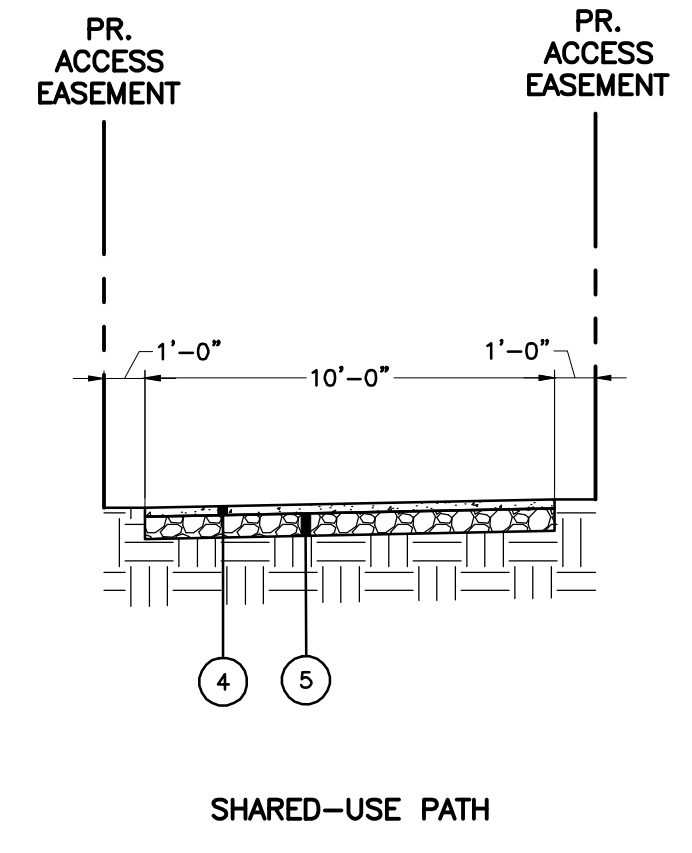
CURVE TABLE					
NO.	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C3	99.40'	250.00'	022°46'49"	98.74'	S74°43'50"E
C4	78.68'	250.00'	018°01'56"	78.36'	S54°19'27"E
C8	7.85'	5.00'	090°00'28"	7.07'	N38°54'07"E
C9	35.40'	205.00'	009°53'35"	35.35'	N88°51'04"E
C10	22.88'	205.00'	006°23'40"	22.87'	S82°55'25"E
C11	9.81'	5.00'	112°25'09"	8.31'	S23°31'01"E
C12	62.01'	70.00'	050°45'14"	60.00'	N08°23'44"E
C13	62.01'	70.00'	050°45'14"	60.00'	N42°21'30"W
C14	62.01'	70.00'	050°45'14"	60.00'	S86°53'16"W
C15	62.01'	70.00'	050°45'14"	60.00'	S36°08'02"W
C16	55.81'	70.00'	045°40'42"	54.34'	S12°04'56"E
C17	40.58'	205.00'	011°20'29"	40.51'	N09°33'00"E
C18	62.51'	205.00'	017°28'19"	62.27'	N23°57'24"E
C19	8.45'	5.00'	096°48'45"	7.48'	N81°05'56"E
C20	18.56'	205.00'	005°11'12"	18.55'	S47°54'05"E
C21	4.21'	5.00'	048°11'23"	4.08'	S21°12'48"E
C22	7.11'	70.00'	005°49'08"	7.11'	N00°01'40"W
C23	54.45'	70.00'	044°34'17"	53.09'	N25°13'22"W
C24	61.56'	70.00'	050°23'24"	59.60'	N72°42'13"W
C25	67.60'	70.00'	055°19'41"	65.00'	S31°21'48"W
C26	64.70'	70.00'	052°57'27"	62.42'	S22°46'45"E
C27	54.05'	70.00'	044°14'24"	52.72'	S71°22'40"E
C28	4.21'	5.00'	048°11'23"	4.08'	N69°24'11"W
C29	7.85'	5.00'	090°00'00"	7.07'	N00°18'29"W
C30	15.75'	70.00'	012°53'16"	15.71'	S38°14'53"W
C31	67.60'	70.00'	055°19'41"	65.00'	S04°08'24"W
C32	67.60'	70.00'	055°19'41"	65.00'	S51°11'17"E
C33	67.60'	70.00'	055°19'41"	65.00'	N73°29'03"E
C34	87.55'	70.00'	071°39'25"	81.95'	N09°59'30"E
C35	6.15'	5.00'	070°31'44"	5.77'	S09°25'39"W
C36	7.85'	5.00'	090°00'00"	7.07'	S89°41'31"W
C37	38.43'	295.00'	007°27'48"	38.40'	S49°02'23"E
C38	7.46'	5.00'	085°27'51"	6.79'	N10°02'22"W
C39	100.74'	245.00'	023°33'31"	100.03'	S20°54'48"W
C40	77.95'	155.00'	028°48'48"	77.13'	S18°17'09"W
C41	6.57'	5.00'	075°16'15"	6.11'	S70°19'41"W
C42	61.38'	295.00'	011°55'18"	61.27'	S77°59'51"E
C43	11.13'	295.00'	002°09'45"	11.13'	S85°02'22"E
C44	53.72'	295.00'	010°26'00"	53.64'	N89°07'17"E



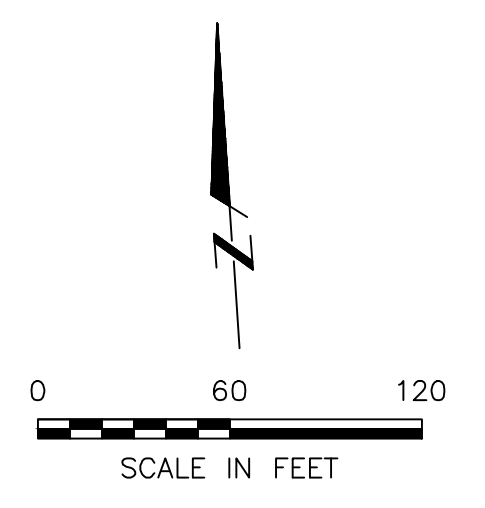
NOTES:

- * LOT DEPTH TAKEN FROM BACK OF CURB
- ** LOT WIDTH TAKEN AT FRONT BUILDING LINE

ALL TREES IN THE STREET RESERVE SHALL BE OHIO NATIVE VARIETIES PER FRANKLIN COUNTY SUBDIVISION REGULATIONS SECTION 502.05



- ① PAVEMENT COMPOSITION TO FOLLOW FRANKLIN COUNTY SUBDIVISION REGULATIONS
- ② COMBINED CURB AND GUTTER DWG NO 1250 OR MOUNTABLE CURB DWG NO 1255
- ③ CONCRETE WALK, ITEM 608
- ④ ASPHALT CONCRETE ACCEPTANCE, ITEM 448
- ⑤ ASPHALT CONCRETE BASE, ITEM 301



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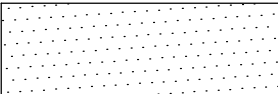
JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
WOODLAND PRESERVE
BOB WEBB HOMES

JOB NO.	1150.003
DESIGNED BY:	ERM
DRAWN BY:	ERM
CHECKED BY:	MMP
APPROVED BY:	MMP
DATE:	07/05/23

SITE LAYOUT

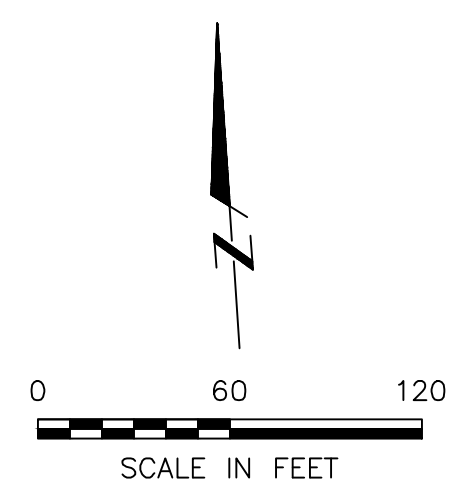
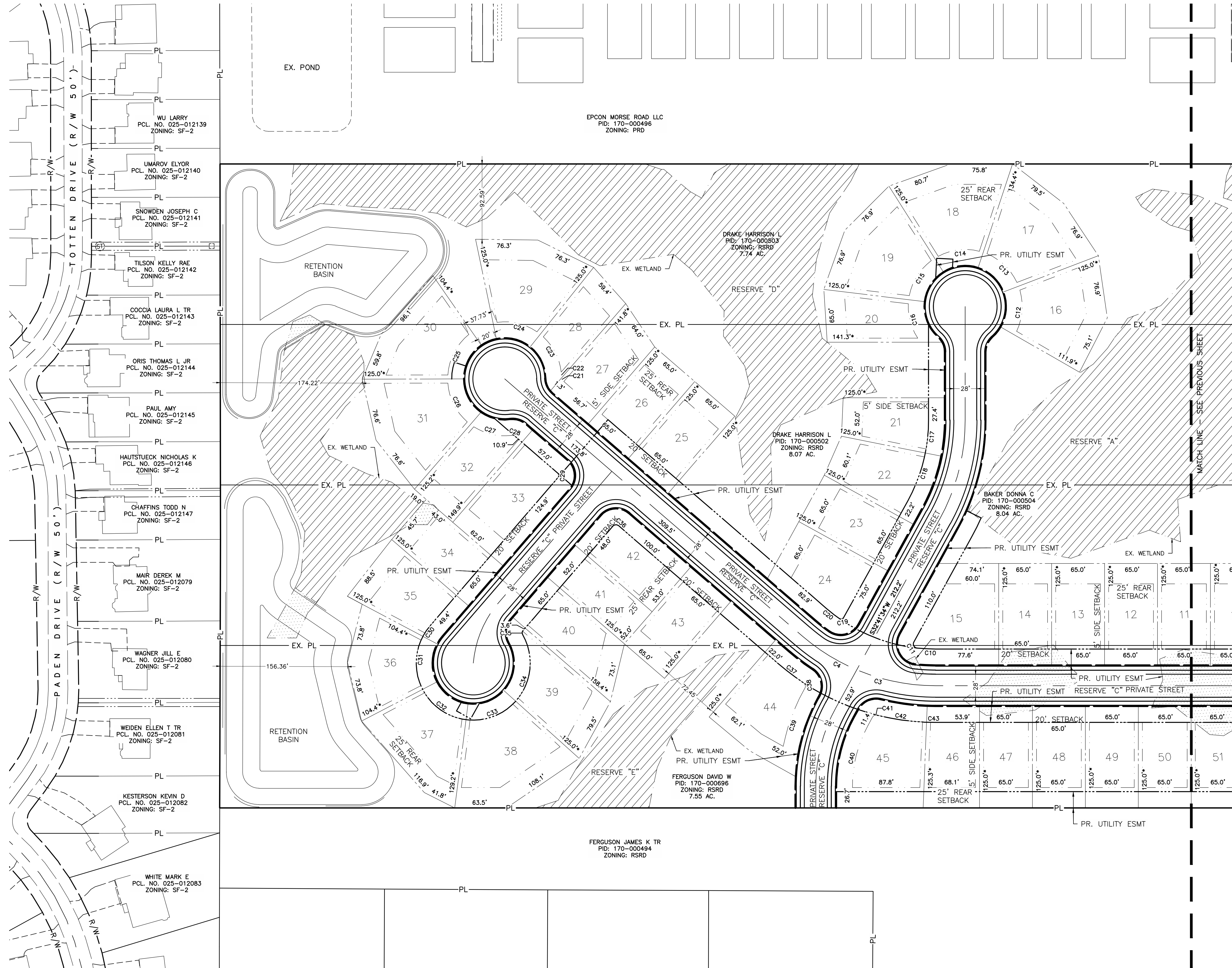
SCALE: 1" = 60'	
SHEET NO.	OF
4	9

LEGEND

- PL — PROPERTY LINE
- R/W — EX. RIGHT-OF-WAY
- PR. R/W — PR. RIGHT-OF-WAY
- LL — LOT LINE
- ROADWAY CENTERLINE
- EDGE OF PAVEMENT/BACK OF CURB
- EDGE OF DRIVEWAYS
- MISC. EASEMENTS
-  WETLANDS TO REMAIN
-  WETLANDS TO BE MITIGATED

NOTES:

- * LOT DEPTH TAKEN FROM RESERVE
- ** LOT WIDTH TAKEN AT FRONT BUILDING LINE
- ALL TREES IN THE STREET RESERVE SHALL BE OHIO NATIVE VARIETIES PER FRANKLIN COUNTY SUBDIVISION REGULATIONS SECTION 502.05
- SEE SHEET 4 FOR CURVE TABLE.



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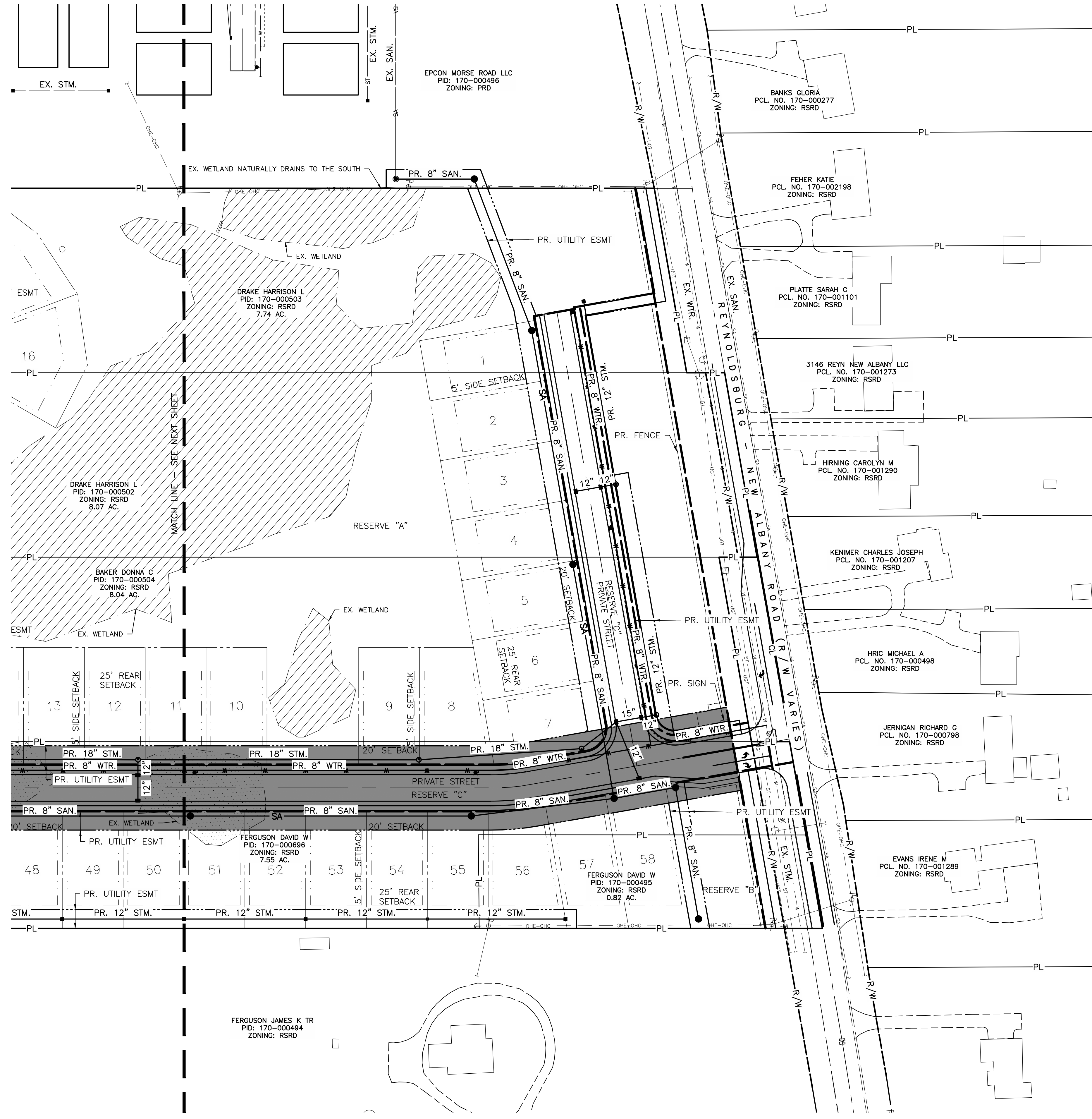
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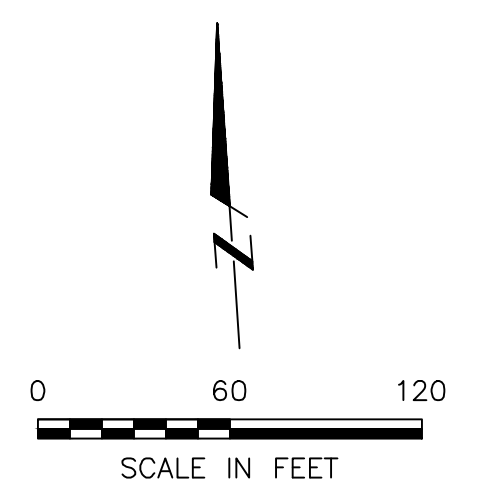
JOB NO.	1150.003
DESIGNED BY:	ERM
DRAWN BY:	ERM
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APPROVED BY:	MMP
DATE:	07/05/23

SITE LAYOUT

SCALE:	1" = 60'
SHEET NO.	5
OF	9



- LEGEND**
- EX. RIGHT-OF-WAY
 - FRONT SETBACK LINE
 - EX. ROADWAY CENTERLINE
 - EX. EDGE OF PAVEMENT
 - EX. BACK OF CURB
 - EX. SIDEWALK
 - EX. EDGE OF DRIVEWAYS
 - EX. PERMANENT EASEMENTS
 - EX. LAND HOOK
 - W --- EX. WATER LINE
 - GM --- EX. GAS
 - ST --- EX. STORM
 - SA --- EX. SANITARY
 - OHE --- EX. OVERHEAD ELECTRIC
 - OHE --- EX. OVERHEAD STREET LIGHTING
 - E --- EX. UNDERGROUND ELECTRIC
 - FO --- EX. UNDERGROUND FIBER OPTIC
 - ⊙ EX. FIRE HYDRANT
 - ⊙ EX. WATER SERVICE VALVE
 - ⊙ EX. WATER MAIN VALVE
 - ⊙ EX. PULL BOX
 - ⊙ EX. SANITARY MANHOLE
 - ⊙ EX. CATCH BASIN
 - ⊙ EX. STORM MANHOLE
 - ⊙ EX. STORM CURB INLET
 - ⊙ EX. LIGHT POLE
 - ⊙ EX. UTILITY POLE
 - ⊙ EX. TELEPHONE POLE
 - PR. PROPERTY LINE
 - PR. RIGHT-OF-WAY
 - PR. ROADWAY CENTERLINE
 - PR. EASEMENT
 - PR. CURB AND GUTTER
 - PR. SIDEWALK BY DEVELOPER
 - ST --- PR. STORM SEWER
 - W --- PR. WATER
 - SA --- PR. WATER SERVICE
 - SA --- PR. SANITARY SEWER
 - SS --- PR. SANITARY SERVICE
 - UGE --- PR. UNDERGROUND ELECTRIC CIRCUIT
 - LIMITS OF DISTURBANCE
 - ⊙ PR. WATER VALVE
 - ⊙ PR. FIRE HYDRANT
 - ⊙ PR. CATCH BASIN
 - ⊙ PR. STORM MANHOLE
 - ⊙ PR. STORM CURB INLET
 - ⊙ PR. SANITARY SEWER MANHOLE
 - ⊙ PR. LIGHT POLE
 - ▨ WETLANDS TO REMAIN
 - ▨ WETLANDS TO BE MITIGATED
 - ▨ PR. BASIN ACCESS EASEMENT



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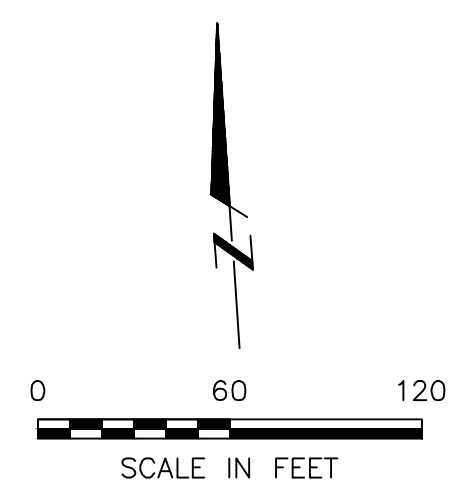
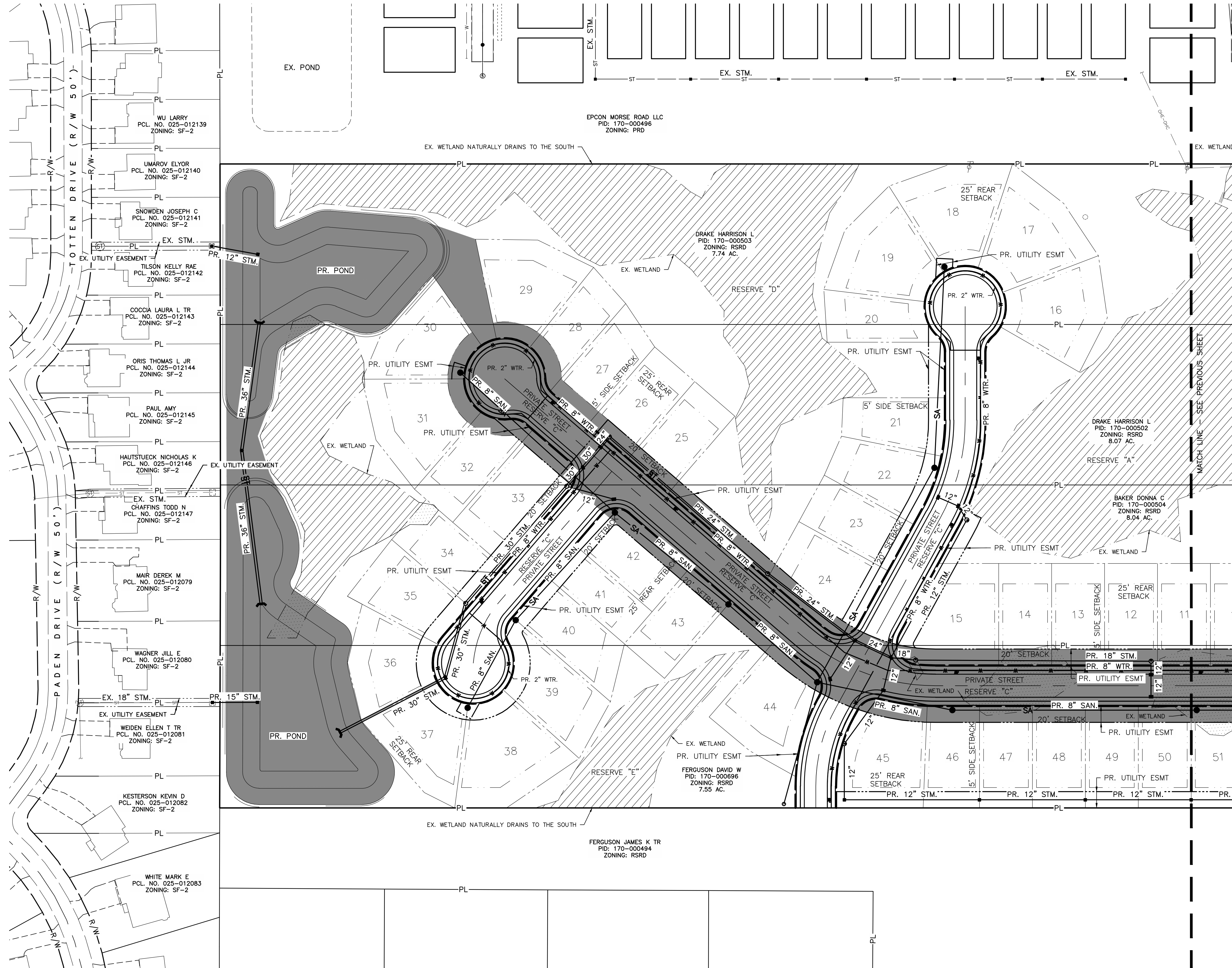
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DATE:	07/05/23

UTILITY PLAN

SCALE:	1" = 60'
SHEET NO.	6
OF	9

LEGEND

- EX. RIGHT-OF-WAY
- FRONT SETBACK LINE
- EX. ROADWAY CENTERLINE
- EX. EDGE OF PAVEMENT
- EX. BACK OF CURB
- EX. SIDEWALK
- EX. EDGE OF DRIVEWAYS
- EX. PERMANENT EASEMENTS
- EX. LAND HOOK
- EX. WATER LINE
- EX. GAS
- EX. STORM
- EX. SANITARY
- EX. OVERHEAD ELECTRIC
- EX. OVERHEAD STREET LIGHTING
- EX. UNDERGROUND ELECTRIC
- EX. UNDERGROUND FIBER OPTIC
- EX. FIRE HYDRANT
- EX. WATER SERVICE VALVE
- EX. WATER MAIN VALVE
- EX. PULL BOX
- EX. SANITARY MANHOLE
- EX. CATCH BASIN
- EX. STORM MANHOLE
- EX. STORM CURB INLET
- EX. LIGHT POLE
- EX. UTILITY POLE
- EX. TELEPHONE POLE
- PR. PROPERTY LINE
- PR. RIGHT-OF-WAY
- PR. ROADWAY CENTERLINE
- PR. EASEMENT
- PR. CURB AND GUTTER
- PR. SIDEWALK BY DEVELOPER
- PR. STORM SEWER
- PR. WATER
- PR. WATER SERVICE
- PR. SANITARY SEWER
- PR. SANITARY SERVICE
- PR. UNDERGROUND ELECTRIC CIRCUIT
- LIMITS OF DISTURBANCE
- PR. WATER VALVE
- PR. FIRE HYDRANT
- PR. CATCH BASIN
- PR. STORM MANHOLE
- PR. STORM CURB INLET
- PR. SANITARY SEWER MANHOLE
- PR. LIGHT POLE
- WETLANDS TO REMAIN
- WETLANDS TO BE MITIGATED
- PR. BASIN/VEHICLE ACCESS EASEMENT



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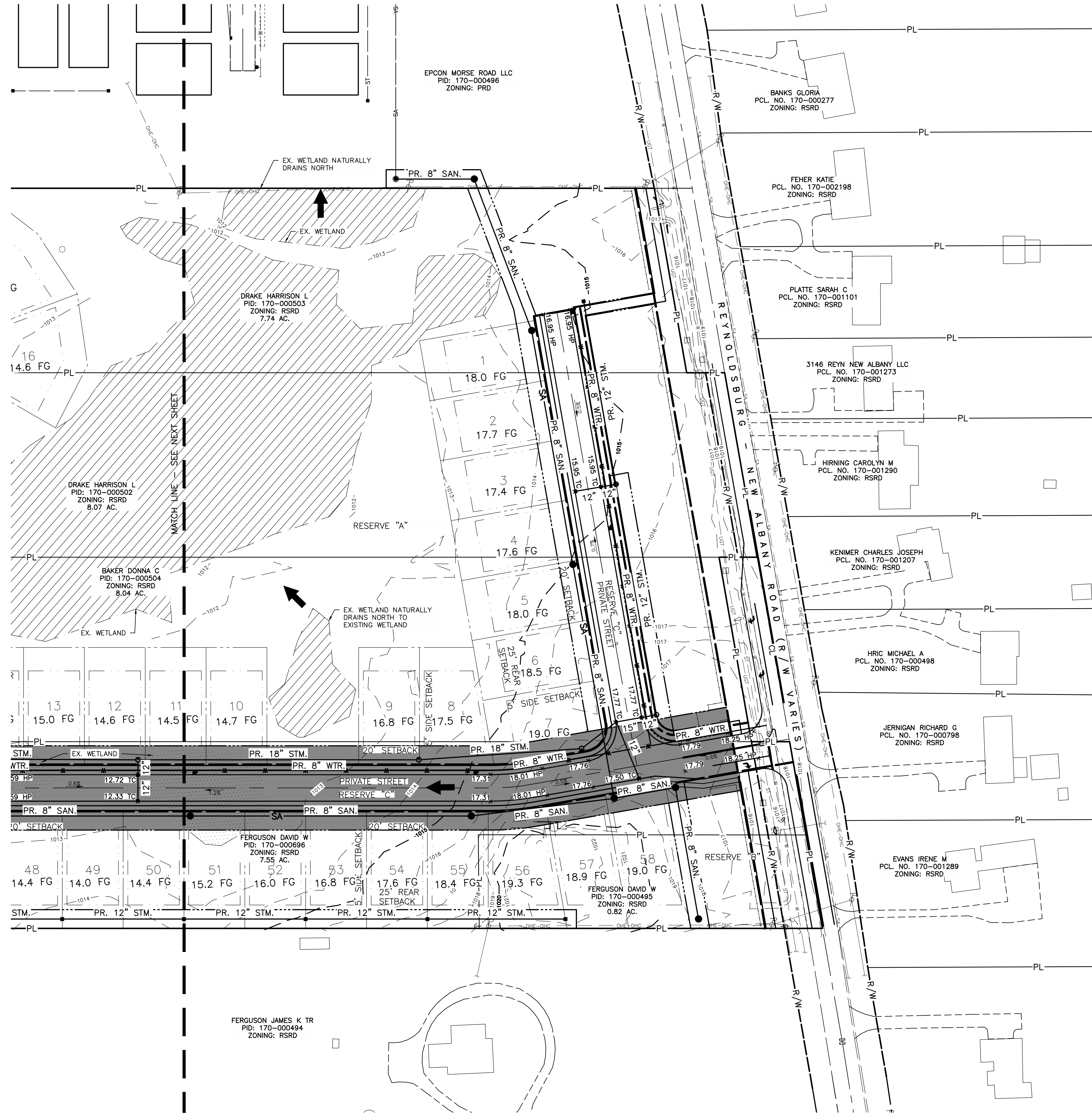
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 BOB WEBB HOMES

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UTILITY PLAN

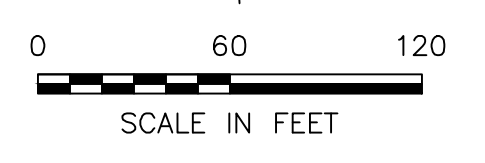
SCALE:	1" = 60'		
SHEET NO.	7	OF	9



LEGEND

- EX. RIGHT-OF-WAY
- FRONT SETBACK LINE
- EX. ROADWAY CENTERLINE
- EX. EDGE OF PAVEMENT
- EX. BACK OF CURB
- EX. SIDEWALK
- EX. EDGE OF DRIVEWAYS
- EX. PERMANENT EASEMENTS
- EX. LAND HOOK
- W --- EX. WATER LINE
- GM --- EX. GAS
- ST --- EX. STORM
- SA --- EX. SANITARY
- OHE --- EX. OVERHEAD ELECTRIC
- E --- EX. UNDERGROUND ELECTRIC
- FO --- EX. UNDERGROUND FIBER OPTIC
- EX. FIRE HYDRANT
- ⊗ EX. WATER SERVICE VALVE
- ⊕ EX. WATER MAIN VALVE
- ⊞ EX. PULL BOX
- ⊙ EX. SANITARY MANHOLE
- ⊚ EX. CATCH BASIN
- ⊛ EX. STORM MANHOLE
- ⊜ EX. STORM CURB INLET
- ⊝ EX. LIGHT POLE
- ⊞ EX. UTILITY POLE
- ⊟ EX. TELEPHONE POLE
- PR. PROPERTY LINE
- PR. RIGHT-OF-WAY
- PR. ROADWAY CENTERLINE
- PR. EASEMENT
- PR. CURB AND GUTTER
- PR. SIDEWALK BY DEVELOPER
- ST --- PR. STORM SEWER
- W --- PR. WATER
- SA --- PR. WATER SERVICE
- SS --- PR. SANITARY SEWER
- UGE --- PR. SANITARY SERVICE
- UGE --- PR. UNDERGROUND ELECTRIC CIRCUIT
- LIMITS OF DISTURBANCE
- PR. WATER VALVE
- PR. FIRE HYDRANT
- ⊙ PR. CATCH BASIN
- ⊚ PR. STORM MANHOLE
- ⊛ PR. STORM CURB INLET
- ⊜ PR. STORM MANHOLE
- ⊝ PR. LIGHT POLE
- ➔ PR. FLOOD ROUTE
- TC 76.00 TOP OF CASTING
- x 76.00 HP HIGH POINT ELEVATION
- x 76.00 BACK OF CURB ELEVATION
- ▨ WETLANDS TO REMAIN
- ▤ WETLANDS TO BE MITIGATED
- PR. BASIN ACCESS EASEMENT

- NOTES**
1. ADD 1000 FEET TO ALL SPOT ELEVATIONS FOR NAV88 DATUM ELEVATIONS.
 2. ALL SPOT ELEVATIONS AT CURB ARE BACK OF CURB ELEVATIONS UNLESS OTHERWISE NOTED. SUBTRACT 6" FOR EDGE OF PAVEMENT ELEVATION ALONG CURB LINES.
 3. PER MORSE CIRCLE SOUTH STORMWATER MANAGEMENT REPORT DATED APRIL 10, 2023, THE WETLANDS OFFSITE DRAINAGE TO THE NORTH IS ACCOUNTED FOR IN THE MORSE CIRCLE SOUTH DEVELOPMENT'S STORMWATER MANAGEMENT SYSTEM.



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WOODLAND PRESERVE

BOB WEBB HOMES

JOB NO.	1150.003
DESIGNED BY:	ERM
DRAWN BY:	ERM
CHECKED BY:	MMP
APPROVED BY:	MMP
DATE:	07/05/23

GRADING PLAN

SCALE: 1" = 60'

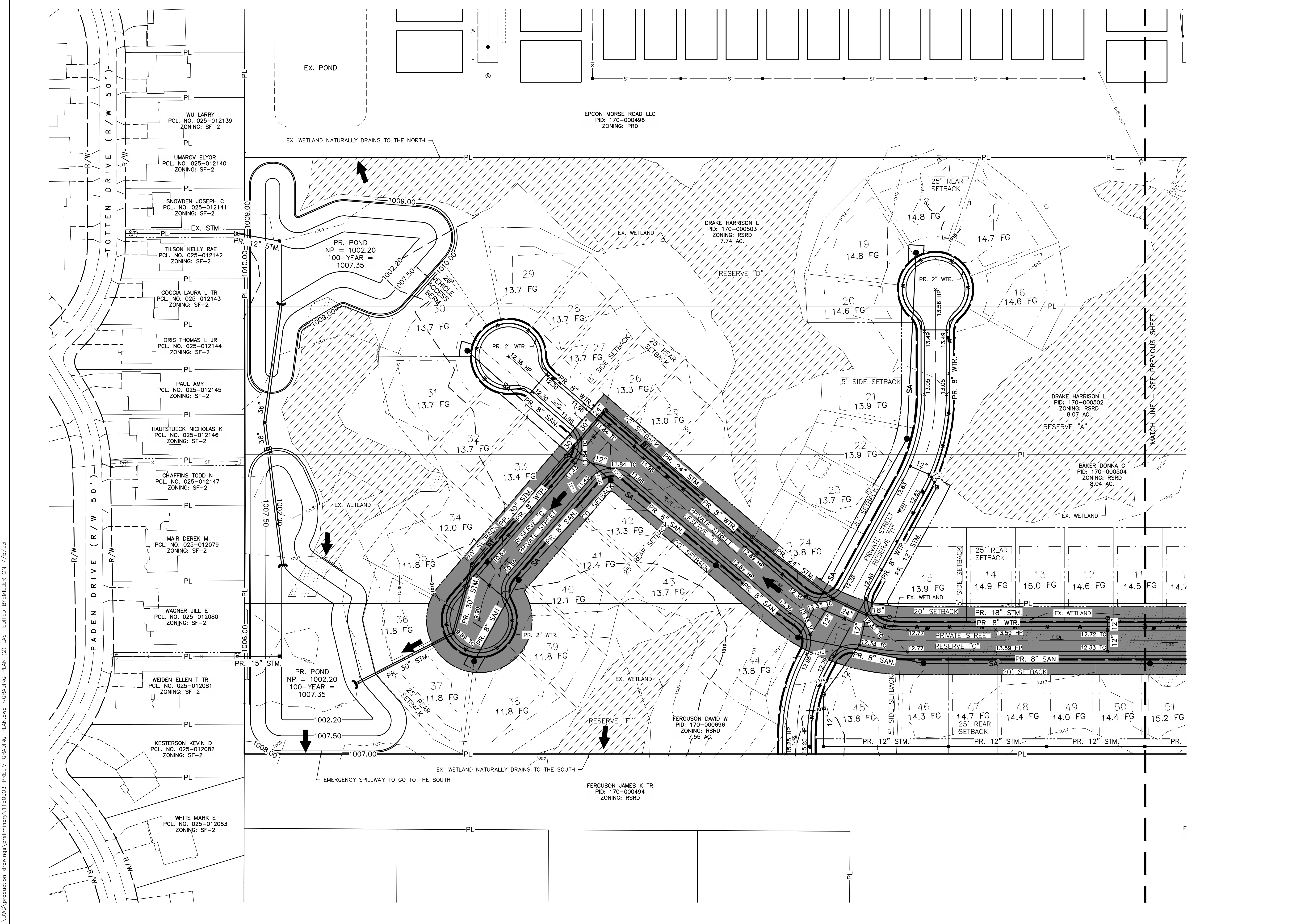
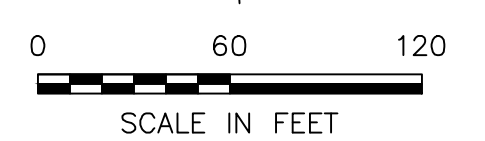
SHEET NO.	OF
8	9

LEGEND

- EX. RIGHT-OF-WAY
- FRONT SETBACK LINE
- EX. ROADWAY CENTERLINE
- EX. EDGE OF PAVEMENT
- EX. BACK OF CURB
- EX. SIDEWALK
- EX. EDGE OF DRIVEWAYS
- EX. PERMANENT EASEMENTS
- EX. LAND HOOK
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- EX. UNDERGROUND ELECTRIC
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- PR. STORM SEWER
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- PR. WATER VALVE
- PR. FIRE HYDRANT
- PR. CATCH BASIN
- PR. STORM MANHOLE
- PR. STORM CURB INLET
- PR. SANITARY SEWER MANHOLE
- PR. LIGHT POLE
- PR. FLOOD ROUTE
- TC 76.00
TOP OF CASTING
- 76.00 HP
HIGH POINT ELEVATION
- 76.00
BACK OF CURB ELEVATION
- WETLANDS TO REMAIN
- WETLANDS TO BE MITIGATED
- PR. BASIN/VEHICLE ACCESS EASEMENT

NOTES

1. ADD 1.00 FEET TO ALL SPOT ELEVATIONS FOR NAV88 DATUM ELEVATIONS.
2. ALL SPOT ELEVATIONS AT CURB ARE BACK OF CURB ELEVATIONS UNLESS OTHERWISE NOTED. SUBTRACT 6" FOR EDGE OF PAVEMENT ELEVATION ALONG CURB LINES.
3. PER MORSE CIRCLE SOUTH STORMWATER MANAGEMENT REPORT DATED APRIL 10, 2023, THE WETLANDS OFFSITE DRAINAGE TO THE NORTH IS ACCOUNTED FOR IN THE MORSE CIRCLE SOUTH DEVELOPMENT'S STORMWATER MANAGEMENT SYSTEM.



REVISIONS	DATE	BY	CHK.

E. P. FERRIS AND ASSOCIATES INC
 Consulting Civil Engineers and Surveyors
 2130 QUARRY TRAILS DR, 2ND FLOOR
 COLUMBUS, OHIO 43228
 (614) 299-2999
 (614) 299-2992 (Fax)
 www.EPFERRIS.com

JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
WOODLAND PRESERVE
 BOB WEBB HOMES

JOB NO.	1150.003
DESIGNED BY:	ERM
DRAWN BY:	ERM
CHECKED BY:	MMP
APPROVED BY:	MMP
DATE:	07/05/23

GRADING PLAN

SCALE: 1" = 60'

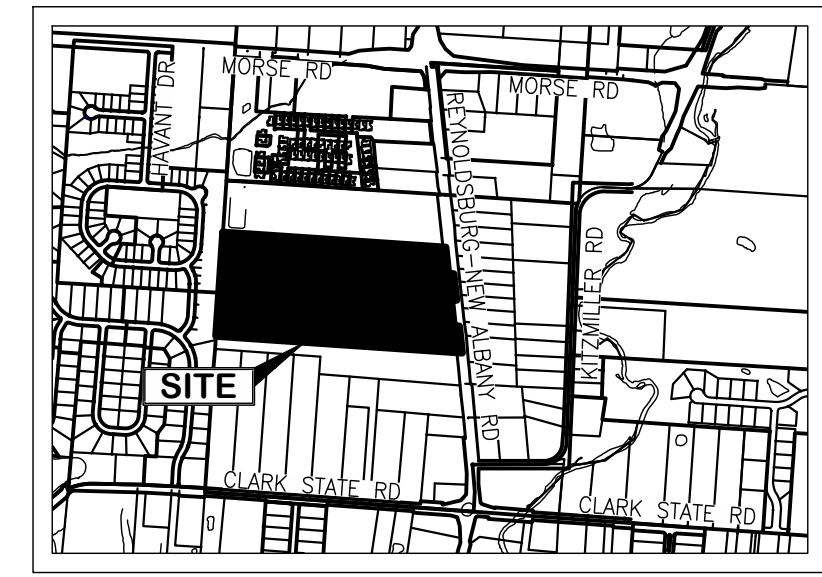
SHEET NO.	OF
9	9

FINAL PLAT

WOODLAND PRESERVE

TOWNSHIP OF JEFFERSON, FRANKLIN COUNTY, OHIO

UNITED STATES MILITARY LANDS



Situate in the County of Franklin, Township of Jefferson, State of Ohio, and being part of Quarter Township 1, Township 1 North, Range 16 West, United States Military District, containing 32.379 acres and being the same tracts as conveyed to Bobb Webb VIII, LLC as described in Instrument Number 202309050090657, Instrument Number 202309130094274, and Instrument Number 202309130094278, all being of record in the Recorder's Office, Franklin County, Ohio.

The undersigned, **Bob Webb VIII, LLC**, an Ohio Corporation, by _____ owner of the lands platted herein, duly authorized in the premises, does hereby certify that this plat correctly represents its "**Woodland Preserve**", a subdivision containing lots numbered 1-58 and Reserves "A"- "G" inclusive, does hereby accept this plat of same and dedicates to public use, as such, all of Reynoldsburg-New Albany Road shown hereon and not heretofore dedicated.

Reserve "C" shall be owned and maintained by the Woodland Preserve Homeowners Association including private streets and stormwater facilities.

Easements are hereby reserved in, over, and under areas designated on this plat as "UTILITY EASEMENT" (U.E.) or "DRAINAGE EASEMENT" (D.E.) for the construction, operation, and maintenance of all public and quasi-public utilities above, beneath, and on the surface of the ground and, where necessary, for the construction, operation, and maintenance of service connections to all adjacent lots and lands and for storm water management.

Easements are hereby reserved in, over, and under areas designated on this plat as "STORMWATER MANGAGMENT EASEMENT", for the access and maintenance of all pond areas and, where necessary, for the construction, operation, and maintenance of said pond areas. An association comprised of the owners of the fee simple lots for "Woodland Preserve" subdivision(s) shall be responsible for the construction and aesthetic maintenance of stormwater facilities while the Franklin County Drainage Engineer shall maintain the functionality of said facilities.

In witness whereof, **Bob Webb VIII, LLC**, an Ohio Corporation, _____ of **Bob Webb VIII, LLC**, has hereunto set his hand this ____ day of _____, 20____.

SIGNED AND ACKNOWLEDGED
IN THE PRESENCE OF: **Bob Webb VIII, LLC**

BY: _____
Owner/Representative

STATE OF OHIO
COUNTY OF FRANKLIN

Before me a Notary Public in and for said county personally came _____ of **Bob Webb VIII, LLC**, an Ohio Corporation, who acknowledged the signing of the foregoing instrument to be their voluntary act and deed for uses and purposes therein expressed.

In witness whereof I have hereunto set my hand and affixed my official seal this _____ day of _____, _____

My commission expires _____
Notary Public, State of Ohio

The undersigned certifies that this subdivision plat conforms to applicable zoning regulations.

Approved this _____ day of _____
Jefferson Township Zoning Inspector

The undersigned hereby certifies adequate and legal water and sanitary sewer plant capacities exist to serve this subdivision.

Approved this _____ day of _____
Director,
Jefferson Water and Sewer District

The undersigned hereby certifies that this subdivision plat conforms to applicable subdivision regulations.

Approved this _____ day of _____
Franklin County Planning Commission

Approved this _____ day of _____
Franklin County Engineer

Approved this _____ day of _____
Franklin County Drainage Engineer

This _____ day of _____, 20____, by Resolution No. _____, Right-of-Way for Reynoldsburg-New Albany Road, herein dedicated to public use are hereby approved and accepted as such for the County of Franklin, State of Ohio.

Franklin County Commissioners

This Plat shall not be transferred or recorded until all required signatures are secured.

Transferred this _____ day of _____, 20____
Auditor, Franklin County, Ohio

Deputy Auditor, Franklin County, Ohio

Filed for record this _____ day of _____, 20____
at ____:____, M. Fee _____.
Recorder, Franklin County, Ohio

Deputy Recorder, Franklin County, Ohio

File No. _____

Plat Book _____, Page _____

OWNER/DEVELOPER

Bobb Webb Woodland Preserve LLC
7662 North Central Drive
Lewis Center, OH 43025

Primary Contact: Brandon Belli
Phone: 614-207-1574
Email: brandon.belli@bobwebb.com

MONUMENTS

All iron pins set are 5/8" rebar, 30" in length with yellow plastic cap and all Mag Nails set are with brass survey marker with "EP FERRIS SURVEYOR 8797" inscribed on top.

All permanent markers set are 1" rebar, 30" long with aluminum cap.

All monuments found are in good condition unless otherwise noted.

All monuments shall be set at the completion of construction.

SOURCE DATA

The sources of recorded survey data referenced in the plan and text of this plat are the records of the Recorder's Office, Franklin County, Ohio.

BASIS OF BEARINGS

The bearings shown hereon are based on the Ohio State Plane Coordinate System, Ohio South Zone, NAD83 (2011) as determined by ODOT RTN observations, with the centerline of Reynoldsburg-New Albany Road between Franklin County Engineering Department monuments FCGS 9911A RESET and FCGS 1162 bearing South 06°05'43" East.

CERTIFICATION

We do hereby certify that we have surveyed the attached premises, prepared the attached plat, and that said plat is correct. All dimensions are shown in feet and decimal parts, dimensions shown along curves are chord measurements.



By: _____
Garrett G. Brown, P.S., E.L.
Registered Surveyor No. 8797

DRWN BY TJC CHK BY GGB DATE 3/27/25

C:\Projects\1150003_RNARoadResidential\DWG\Plats\Final Plat - Woodland Preserve - Broken Labels.dwg ~ 1 LAST EDITED: BYeodonnell ON 3/27/25



2130 QUARRY TRAILS DR
2ND FLOOR
COLUMBUS, OHIO 43228
(614) 299-2999
(614) 299-2992 (Fax)
www.EPFERRIS.com

FINAL PLAT WOODLAND PRESERVE

NOTE "A" The 32.379 acre tract of land shown hereon is located in zone "X" (areas determined to be outside 500-year flood plain) as shown on the flood insurance rate map of the County of Franklin, Ohio community panel 39049C0216K, Effective Date: June 17, 2008.

NOTE "B" Total Acreage 32.379 Acres
 Acreage in public R/W 0.737 Acres
 Acreage in private R/W (Reserve "C") 3.754 Acres
 Acreage in Lots 1-58 (inclusive) 12.510 Acres
 Acreage in Reserves "A", "B", "D", "E", "F", and "G" 15.378 Acres

Acreage by Tax Parcel
 170-000495-00 0.822 Acres
 170-000696-00 7.680 Acres
 170-000504-00 8.054 Acres
 170-000502-00 8.081 Acres
 170-000503-00 7.742 Acres

NOTE "C" At the time of platting, electric, cable and telephone service providers have not issued information for required easement areas, in addition to those shown hereon, deemed necessary by said providers for the installation and maintenance of their mainline and service facilities.

NOTE "D" Reserves "A" and "B" as designated and delineated hereon, shall be owned by Jefferson Township and maintained by an association comprised of the owners of the fee simple lots for "Woodland Preserve" subdivision(s) for the purpose of open space.

NOTE "E" Reserve "C" as designated and delineated hereon, shall be owned and maintained by an association comprised of the owners of the fee simple lots for "Woodland Preserve" subdivision(s) for the construction, operation, and maintenance of all public and quasi-public utilities above, beneath, and on the surface of the ground and, where necessary, for the construction, operation, and maintenance of service connections to all adjacent lots and lands and for storm water management. The Drives and Places constructed within said Reserve "C" will be private Drives and Places which will be owned and maintained by said Association. These Drives and Places will not be dedicated to the Township of Jefferson and the Township of Jefferson will not be responsible for the maintenance of said streets nor the private storm sewer system. Said Reserve "C" shall also provide access for the purposes of operation and maintenance of stormwater facilities.

NOTE "F" Reserves "D", "E", "F", and "G" as designated and delineated hereon shall be owned by Jefferson Township and maintained by an association comprised of the owners of the fee simple lots for "Woodland Preserve" subdivision(s) and set aside for the purpose of conservation excepting any utility or stormwater management easements as depicted hereon.

NOTE "G" Reserve "G" as designated and delineated hereon shall be owned by Jefferson Township. An association comprised of the owners of the fee simple lots for "Woodland Preserve" subdivision(s) shall be responsible for the construction and aesthetic maintenance of stormwater facilities while the Franklin County Drainage Engineer shall maintain the functionality of said facilities.

NOTE "H" Private streets will not be paved, patched, cleared, or plowed by the County Engineer.

NOTE "I" Private streets cannot be converted to public streets in the future unless and until the streets have been brought up to the current standards of the County Engineer and, where applicable, to the appropriate zoning authority, and has been accepted by the County Engineer.

NOTE "J" The Franklin County Drainage Engineer has access to private streets for inspection and maintenance of the basins.

NOTE "K" Pewamo and Condit soil types are identified as poorly drained soils. No basements are permitted in such soils. Proposed lots containing these soils include: 10-16, 43-44, 47-48, and 61-63.

ROAD CENTERLINE CURVES

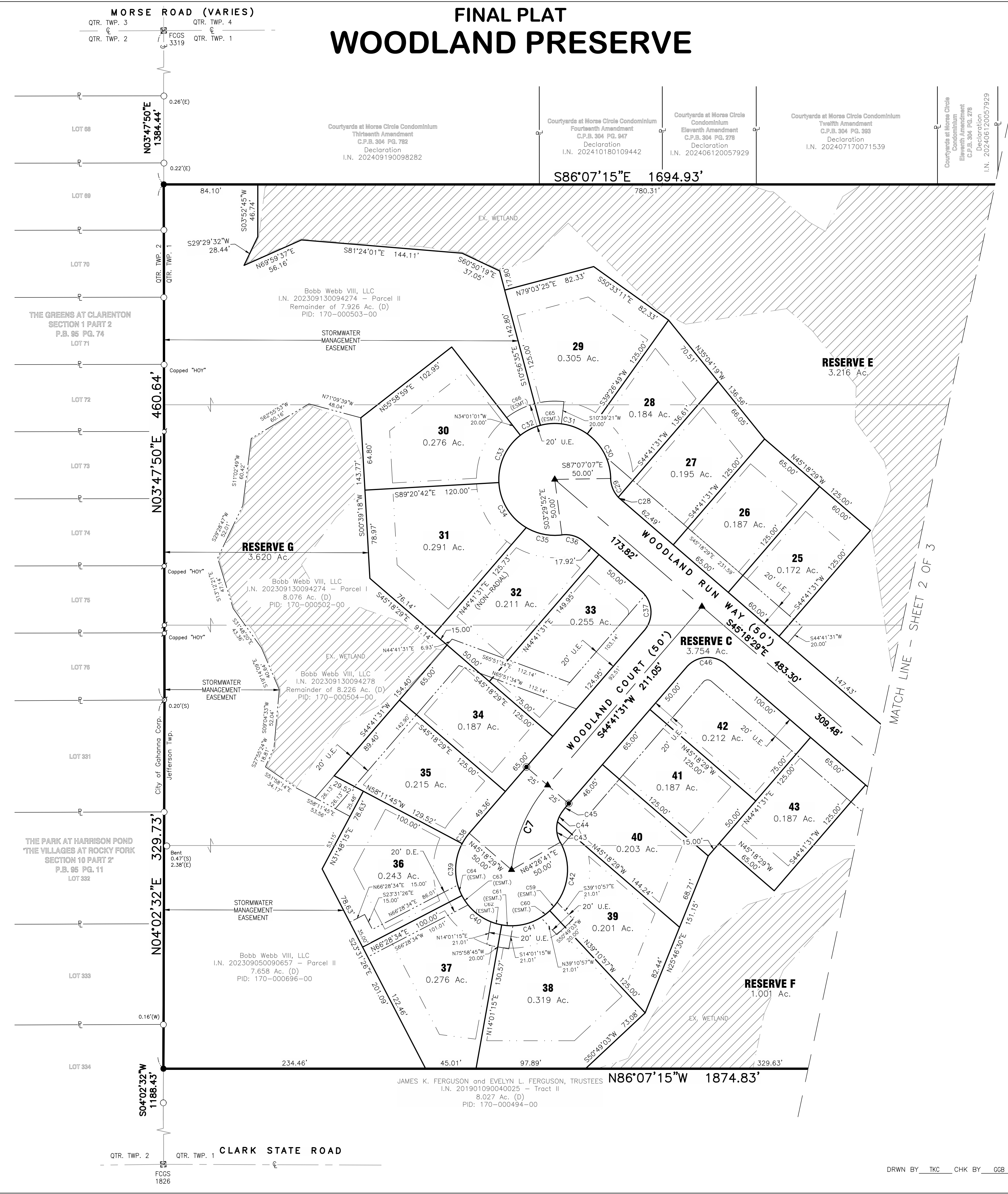
CURVE #	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD LENGTH
C1	009°58'28"	250.00	43.52	N88°53'31"E	43.47
C2	022°46'49"	250.00	99.40	N74°43'50"W	98.74
C3	018°01'56"	250.00	78.68	N54°19'27"W	78.36
C4	030°01'12"	250.00	130.99	N60°19'05"W	129.49
C5	028°48'48"	200.00	100.58	N18°17'09"E	99.52
C6	028°48'48"	250.00	125.72	N18°17'09"E	124.40
C7	035°25'51"	135.00	83.48	S26°58'35"W	82.16

LOT LINE CURVES

CURVE #	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD LENGTH
C8	089°59'32"	25.00	39.27	N51°05'53"W	35.35
C9	090°00'28"	25.00	39.27	S38°54'07"W	35.36
C10	009°00'19"	225.00	35.36	S88°24'27"W	35.33
C11	000°58'09"	225.00	3.81	N86°36'19"W	3.81
C12	006°23'40"	225.00	25.11	N82°55'25"W	25.10
C13	112°25'09"	25.00	49.05	N23°31'01"W	41.55
C14	028°48'48"	275.00	138.29	N18°17'09"E	136.84
C15	048°11'23"	25.00	21.03	N27°58'27"E	20.41
C16	018°17'48"	50.00	15.97	N42°55'14"E	15.90
C17	050°45'14"	50.00	44.29	N08°23'44"E	42.86
C18	050°45'14"	50.00	44.29	N42°21'30"W	42.86
C19	050°45'14"	50.00	44.29	S86°53'16"W	42.86
C20	050°45'14"	50.00	44.29	S36°08'02"W	42.86
C21	053°12'12"	50.00	46.43	S15°50'41"E	44.78
C22	001°51'51"	50.00	1.63	S43°22'42"E	1.63
C23	048°11'23"	25.00	21.03	S20°12'56"E	20.41
C24	019°53'35"	225.00	78.12	S13°49'33"W	77.73
C25	008°55'13"	225.00	35.03	S28°13'57"W	34.99
C26	096°48'45"	25.00	42.24	S81°05'56"W	37.39
C27	005°11'12"	225.00	20.37	N47°54'05"W	20.36
C28	005°46'20"	25.00	2.52	N42°25'19"W	2.52
C29	042°25'03"	25.00	18.51	N18°19'38"W	18.09
C30	053°26'04"	50.00	46.63	N23°50'09"W	44.96
C31	050°23'24"	50.00	43.97	N75°44'53"W	42.57
C32	023°04'26"	50.00	20.14	S67°31'12"W	20.00
C33	055°19'41"	50.00	48.28	S28°19'09"W	46.43
C34	056°07'32"	50.00	48.98	S27°24'28"E	47.04
C35	038°01'39"	50.00	33.19	S74°29'03"E	32.58
C36	048°11'23"	25.00	21.03	S69°24'11"E	20.41
C37	090°00'00"	25.00	39.27	S00°18'29"E	35.36
C38	012°53'16"	50.00	11.25	S38°14'53"W	11.22
C39	055°19'41"	50.00	48.28	S04°08'24"W	46.43
C40	052°27'19"	50.00	45.78	S49°45'06"E	44.19
C41	053°12'12"	50.00	46.43	N77°25'09"E	44.78
C42	076°22'22"	50.00	66.65	N12°37'52"E	61.82
C43	043°25'49"	25.00	18.95	N03°50'25"W	18.50
C44	021°38'10"	25.00	9.44	N28°41'35"E	9.38
C45	005°10'51"	110.00	9.95	N42°06'05"E	9.94
C46	090°00'00"	25.00	39.27	N89°41'31"E	35.36
C47	007°27'48"	275.00	35.82	S49°02'23"E	35.80
C48	085°27'51"	25.00	37.29	S10°02'22"E	33.93
C49	019°43'27"	225.00	77.46	S22°49'50"W	77.07
C50	009°05'21"	225.00	35.69	S08°25'26"W	35.66
C51	028°48'48"	175.00	88.01	N18°17'09"E	87.08
C52	075°16'15"	25.00	32.84	N70°19'41"E	30.53
C53	011°55'38"	275.00	57.25	S78°00'00"E	57.14
C54	002°09'25"	275.00	10.35	S85°02'32"E	10.35
C55	009°58'28"	275.00	47.87	N88°53'31"E	47.81

EASEMENT CURVES

CURVE #	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD LENGTH
C56	004°49'31"	295.00	24.84	S30°16'48"W	24.84
C57	017°27'27"	50.00	15.23	S52°46'55"W	15.18
C58	011°32'13"	50.00	10.07	S67°16'45"W	10.05
C59	011°32'13"	50.00	10.07	N45°02'57"E	10.05
C60	011°32'13"	50.00	10.07	N56°35'10"E	10.05
C61	011°32'13"	50.00	10.07	S81°44'52"E	10.05
C62	011°32'13"	50.00	10.07	S70°12'39"E	10.05
C63	011°32'13"	50.00	10.07	S29°17'33"E	10.05
C64	011°32'13"	50.00	10.07	S17°45'20"E	10.05
C65	021°35'56"	50.00	18.85	S89°51'23"W	18.74
C66	044°40'22"	70.00	54.58	N78°19'10"E	53.21



0 50 100
SCALE IN FEET

- Boundary
- Road Centerline
- Easement
- Lot Line & Right-of-Way
- Setback Line
- Existing Road Centerline
- Existing Right-of-Way
- Existing Property Line
- Property Line
- Existing Right-of-Way
- Right-of-Way
- Centerline of Right-of-Way
- 3/4" Iron Pipe Found
- 5/8" Iron Pin Found
- Iron Pin Set
- MAG Nail Set
- Permanent Marker Set

E. P. FERRIS
AND ASSOCIATES
INC.

2130 QUARRY TRAILS DR
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Consulting Civil Engineers and Surveyors

WOODLAND PRESERVE DRAINAGE MAINTENANCE AREA

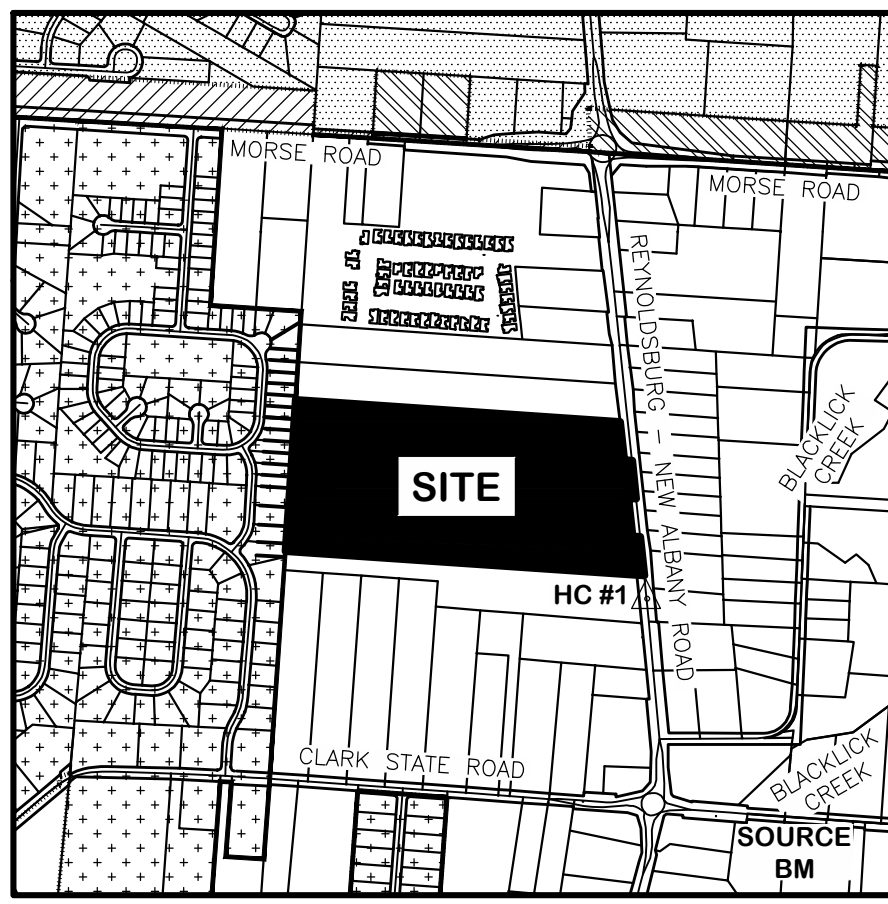
NOTES

1. THE SHADED AREA (DESIGNATED THE STORM WATER MAINTENANCE EASEMENT) HAS BEEN GRANTED TO THE FRANKLIN COUNTY COMMISSIONERS SO THAT THE FRANKLIN COUNTY DRAINAGE ENGINEER CAN MAINTAIN THE STORM SEWERS, SUBSURFACE DRAINS, AND CULVERTS.
 2. NO STRUCTURES OR IMPROVEMENTS OF ANY KIND, INCLUDING SHEDS, FENCES, FLOWER BEDS, ROCK GARDENS AND TREES (BUT EXCLUDING GRASS AND APPROVED BANK PROTECTION), SHALL BE ERRECTED OR PLANTED WITHIN THE EASEMENT PROVIDED FOR THE WATERCOURSE UNLESS REVIEWED AND APPROVED BY THE FRANKLIN COUNTY DRAINAGE ENGINEER.
 3. EVERY OWNER OF PROPERTY WITHIN THE STORM WATER MAINTENANCE EASEMENT SHALL MAINTAIN THE PORTION OF SAID STORM WATER EASEMENT IN THEIR PROPERTY AND KEEP THE SAME FREE OF DEBRIS AND OBSTRUCTION OF ALL KINDS. SAID MAINTENANCE SHALL BE LIMITED TO MOWING, REMOVAL OF DEBRIS, AND TURF MAINTENANCE. ALL OTHER MAINTENANCE OF THE GRASSED WATERWAYS, DRAINAGE CHANNELS, SUBSURFACE DRAINS, AND STORM SEWERS SHALL BE PERFORMED AT THE DIRECTION OF THE FRANKLIN COUNTY DRAINAGE ENGINEER.
 4. THE PROPERTY OWNER WILL MAINTAIN THE DRAINAGE STRUCTURES, SWALES, UNDERDRAINS, AND STORM SEWERS ALONG THE SIDE AND BACK LOT LINES.
 5. THESE RESTRICTIONS AND AGREEMENTS SHALL RUN WITH THE LAND AND SHALL BIND THE OWNER, HIS SUCCESSORS, AND ASSIGNED UNLESS AND UNTIL A MODIFICATION OR CHANGE THERETO IS AGREED TO AND APPROVED BY FRANKLIN COUNTY.
 6. ALL AREAS DISTURBED DURING MAINTENANCE OPERATIONS WILL BE REESTABLISHED WITH GRASS. TREE REMOVAL WILL NOT BE REPLANTED.
- THIS SHEET IS FOR INFORMATION PURPOSES ONLY AND IS NOT INTENDED TO CREATE PLAT RESTRICTIONS. MORE INFORMATION REQUIRED REGARDING THE DITCH MAINTENANCE PLAN CAN BE ACQUIRED BY A COMPETENT EXAMINATION OF THE THEN CURRENT PUBLIC RECORDS, INCLUDING THOSE IN THE RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO.

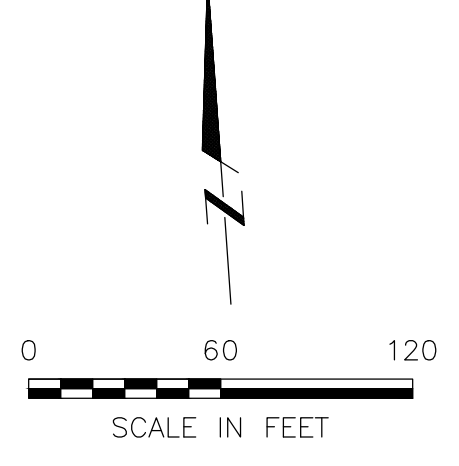
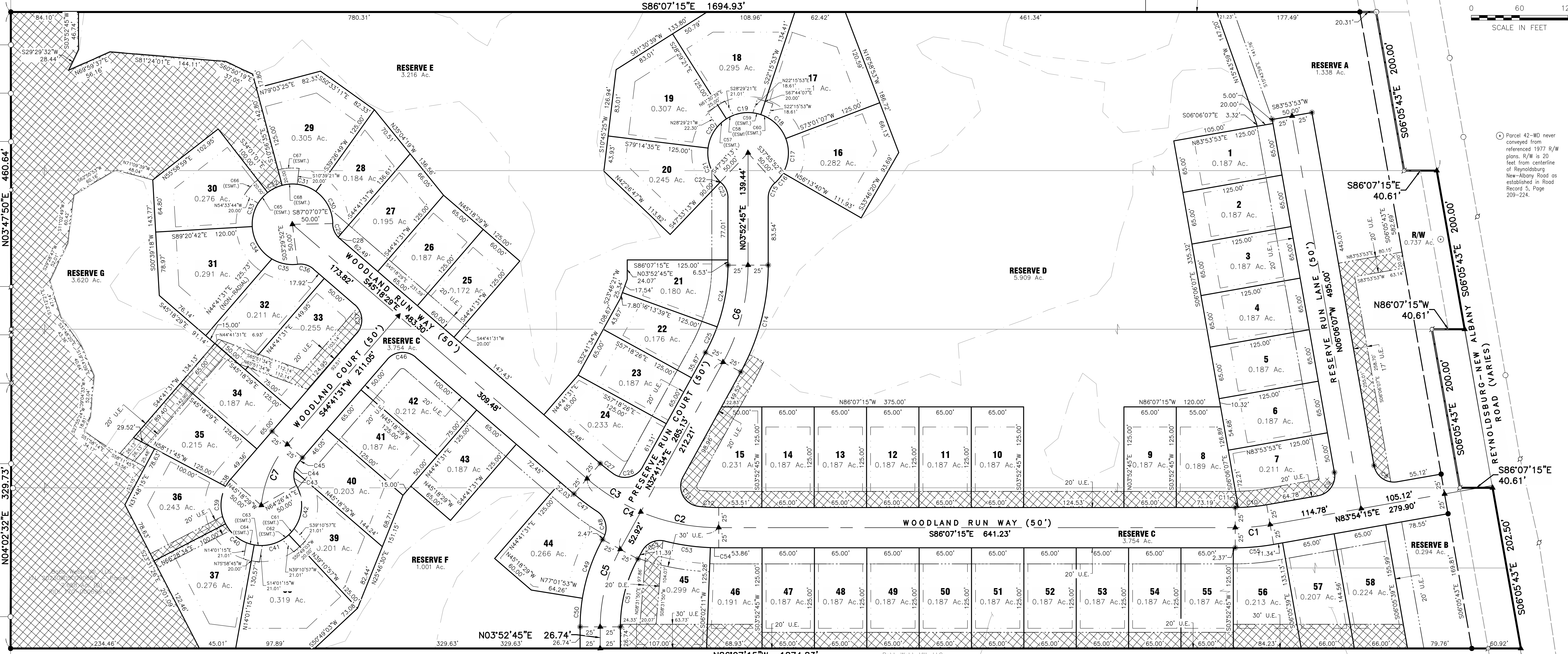
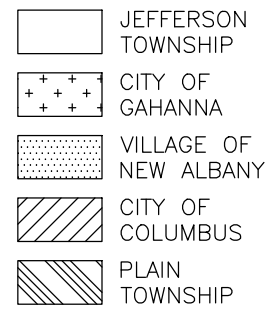
CURVE TABLE					
CURVE #	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD LENGTH
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C7	035°25'51"	135.00	83.48	S26°58'35"W	82.16

LEGEND

- Boundary
- Road Centerline
- Easement
- Lot Line & Right-of-Way
- Setback Line
- Existing Road Centerline
- Existing Right-of-Way
- Existing Property Line
- Property Line
- Existing Right-of-Way
- Right-of-Way
- Centerline of Right-of-Way
- 3/4" Iron Pipe Found
- 5/8" Iron Pipe Found
- Iron Pin Set
- MAG Nail Set
- Permanent Marker Set
- Storm Water Maintenance Easement



LOCATION MAP
NOT TO SCALE



Parcel 42-WD never conveyed from referenced 1977 R/W plans. R/W is 20 feet from centerline of Reynoldsburg New-Albany Road as established in Road Record 5, Page 209-224.

Bobb Webb VIII, LLC
I.N. 202309050090657 - Parcel II
7.658 Ac. (D)
PID: 170-000696-00

Bobb Webb VIII, LLC
I.N. 202309050090657 - Parcel I
0.823 Ac. (D)
PID: 170-000495-00

E. P. FERRIS
AND ASSOCIATES
INC.

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STAFF REPORT

Planning Commission
April 9, 2025

Case: 790-V

Prepared by: Austin Workman

Applicant/Owner:	Aleksandr & Nina Zhuchenya
Township:	Prairie Township
Site:	0 Dallas Drive (PID #240-004137)
Acreage:	13.93-acres
Zoning:	Low Density Residential (R-2)
Utilities:	Private water and wastewater
Request:	Requesting a Variance from Section 501.05 of the Franklin County Subdivision Regulations to allow the creation of a lot with a depth to width ratio greater than four (4) to one (1) in an area zoned as Low Density Residential (R-2).

Summary:

Requesting a Variance to allow a lot split that will create a lot that exceeds the maximum permitted depth to width ratio of 4:1 in an area zoned as Low Density Residential (R-2). The application meets the criteria for granting a variance. Staff recommends **approval with conditions**.

Request:

The applicant is proposing to split the 13.93-acres into a 5.94-acre lot and a 7.99 acre lot. The lot to depth ratio on the 7.99 acre lot is 8.19:1 where a maximum of 4:1 is permitted.

History

The site is an undeveloped property located on the north side of O’Harra Road and East of Alton Road in Prairie Township. The existing lot is 13.93-acres in size. A substantial portion of the lot is located within the Big Darby Creek Watershed Riparian Setback, floodway, and floodway fringe. There are four soil types identified on the property per the National Resource Conservation Service (NRCS) Soil Survey. One such soils found on the property is that of Sloan Silt Loam (SO), a poorly drainage soil that is within the floodplain on the property. The other soils on the property are not identified as hazardous.

- May 1958 – The Rosanna Terrace subdivision was platted.
 - Included public ROW for Rosanna Drive and Dallas Drive
 - October 2023 – BOC Resolution 0774-23 to vacate ROW by request of Prairie Township
 - Lots combined into single parcel
- November 2024 – Applicant applied for a Large Lot Development to create two lots that are 5.940 and 7.99 acres.

Surrounding Zoning and Land Use:

The properties to the north and west are within the Prairie Township Low Density Residential (R-2) District and are low density residential in character, with a maximum density of 2 DU/AC. Properties to the south and east are zoned in the Prairie Township Rural (R) District and are intended for single family

homes in areas that are not expected to have public utility facilities in the near future, with a maximum density of 1 DU/5 AC.

Comprehensive Plan:

The Big Darby Accord Watershed Master Plan identifies this property as a Tier 3 Environmental Conservation Zone. Tier 3 Zones are envisioned for open space networks that consist of planned parks, open space corridors, and buffers based on habitat sensitivity, connectivity and other planning considerations. The property is currently in private ownership and there is no documentation that efforts have been made to purchase this property for conservation purposes. The property is able to be developed in accordance with applicable Township zoning and County Subdivision Regulation provisions. Areas impacted by the riparian setbacks and floodplain are restricted from development.

The proposed variance is consistent with the land use recommendation of the adopted plan.

Technical Review Committee Review:

The case was referred to the Informal Technical Review Committee for comments on March 18th, 2025.

Franklin County Engineer Office: 250 feet of Driveway spacing is required along O’Harra Drive. A guard rail leading to a creek crossing is located at the western side of the O’Harra Drive frontage. The locations of the proposed driveways will need to be shown on an updated plan.

Prairie Township Zoning

The application was sent in to Prairie Township, and the township approved the plans according to the townships zoning resolution.

Staff Analysis

Variance Criteria:

All of the following must be met in order to grant a variance:

1. *It shall not be detrimental to public health or safety or be injurious to other property.*
 - The applicant does not believe other properties would be affected by the approval of the variance and will not be detrimental to health, safety or the environment, as the variance would only affect the subject property.
 - Staff believes the proposed variance will not be detrimental to public health or safety or injurious to other properties.
2. *Circumstances of the request are unique to the property and not generally applicable to others.*
 - The applicant believes there are circumstances on this property that make it unique, as the entirety of the property’s frontage is within the floodway, and there is nowhere else to put an entrance.
 - Staff agrees that the circumstances of the request are unique to the property and not generally applicable to the area because the entirety of the road frontage is within the floodway.
3. *Due to physical surroundings, shape or characteristics of the property, a hardship would result, as distinguished from an inconvenience, if the strict letter of these Regulations were enforced.*
 - The applicant has stated that the entire properties road frontage is within the floodway and that there is no way to split the lot and have access for the lots.
 - Staff believes that the physical surroundings, shape, and characteristics of the property creates a hardship if the Regulations were enforced. The property is 346.8 feet narrower on the south side along O’Harra Road than on the north property line. The shape of the property and the fact that the entirety of the road frontage and western portion of the property is in the floodplain causes

difficulties in designing lot configurations that provide suitable areas for structures and well and septic systems outside of restricted building areas.

Staff Recommendation

Based on Staff's Analysis, staff recommends approval with conditions of the Variance request from Section 501.05 of the Franklin County Subdivision Regulations to allow the creation of a lot that exceeds the maximum permitted 4:1 depth to width ratio. The conditions for approval are as follows:

1. The proposed access on both the residual lot and newly created lot to be space at least 250 feet apart.

Resolution

For your convenience, the following is a proposed resolution:

Proposed Resolution for Request:

_____ moves to approve a Variance from Section 501.05 of the Franklin County Subdivision Regulations as outlined in the request identified in Case No. 790-V.

Seconded by: _____

Findings of Fact

For your convenience, the following are proposed findings of fact:

_____ moves that the basis for denying/approving the applicant's request for a Variance from Section 501.05 of the Franklin County Subdivision Regulations as outlined in the request for the applicant identified in Case No. 790-V results from the applicant failing to satisfy/satisfying the standards for granting a Variance under Section 701.07.

Seconded by: _____

Voting:

701.07 General Standards for Variances. The FCPC shall not grant variations to these Regulations unless it shall make written findings of fact based upon the evidence presented by each specific case that:

- A. The particular physical surroundings, environmental constraints, shape, topographical or other exceptional condition of the specific property involved would cause extraordinary hardship or exceptional practical difficulty to the applicant, as distinguished from a mere inconvenience, if the provisions of these Subdivision Regulations were strictly enforced; and
- B. The conditions upon which the request for a variance is based are unusual to the property for which the variation is sought and are not applicable generally to other property; and
- C. The purpose of the variance is not based exclusively upon a desire to obtain additional income from the property; and
- D. The granting of the variance will not be detrimental to the public health, safety or general welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
- E. The special circumstances or conditions are created by the provisions or requirements of these regulations and have not resulted from any act of the applicant or applicant's predecessor in interest; and




F. The variance requested is the minimum adjustment necessary for the reasonable use of the land.

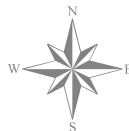
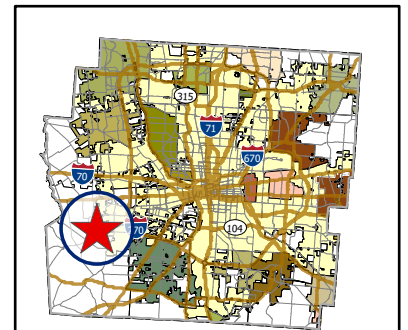


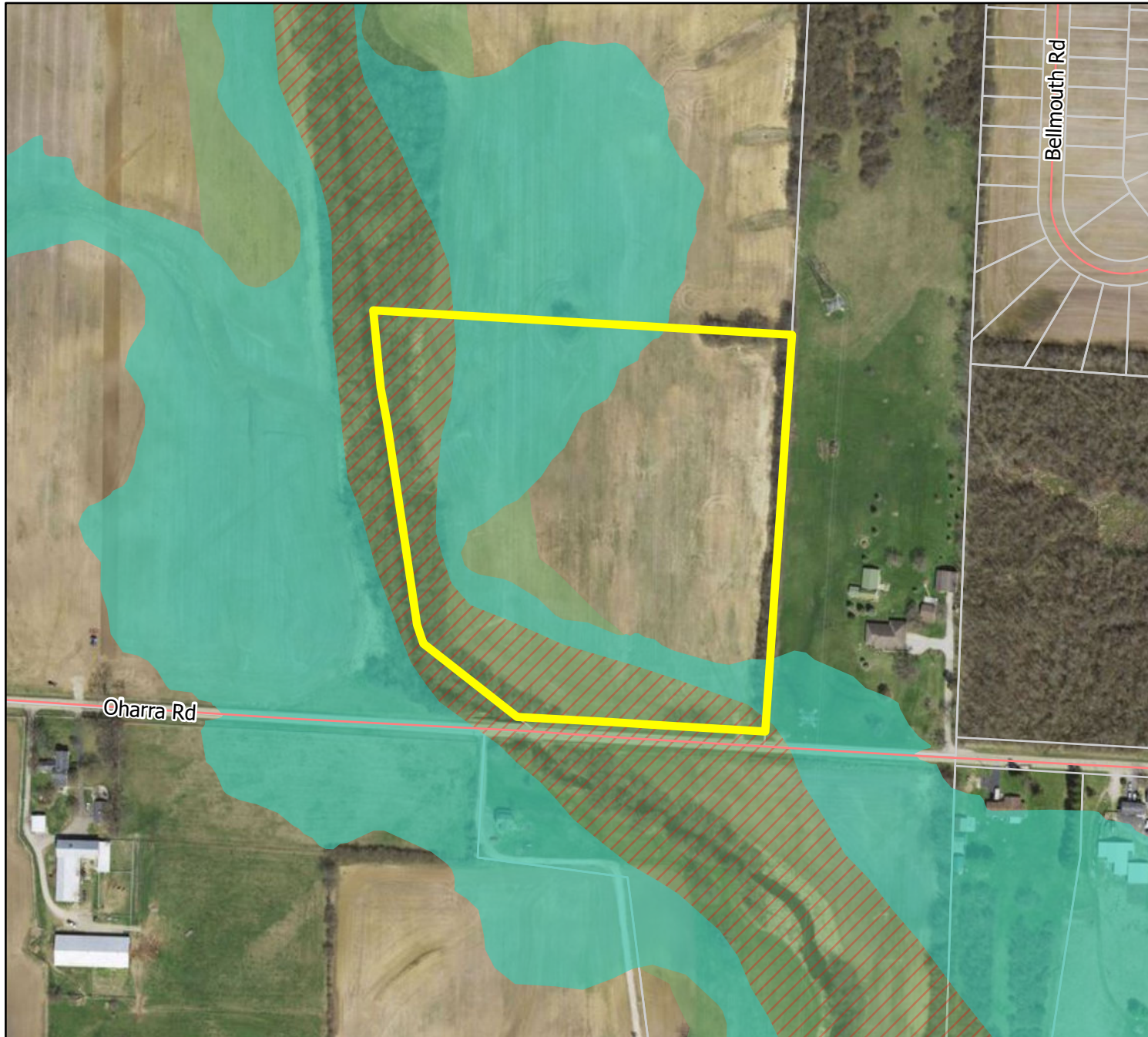
VA-4116

Requesting a Variance from Section 501.05 of the Franklin County Subdivision Regulations to allow the creation of a lot with a depth to width ratio greater than four (4) to one (1) in an area zoned as Low Density Residential (R-2).

Acres: 13.93-acres
Township: Prairie

-  Streets
-  Parcels
-  0 Dallas Drive








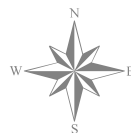
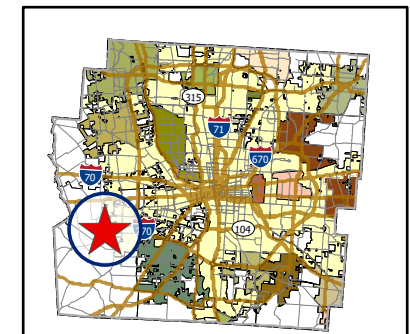


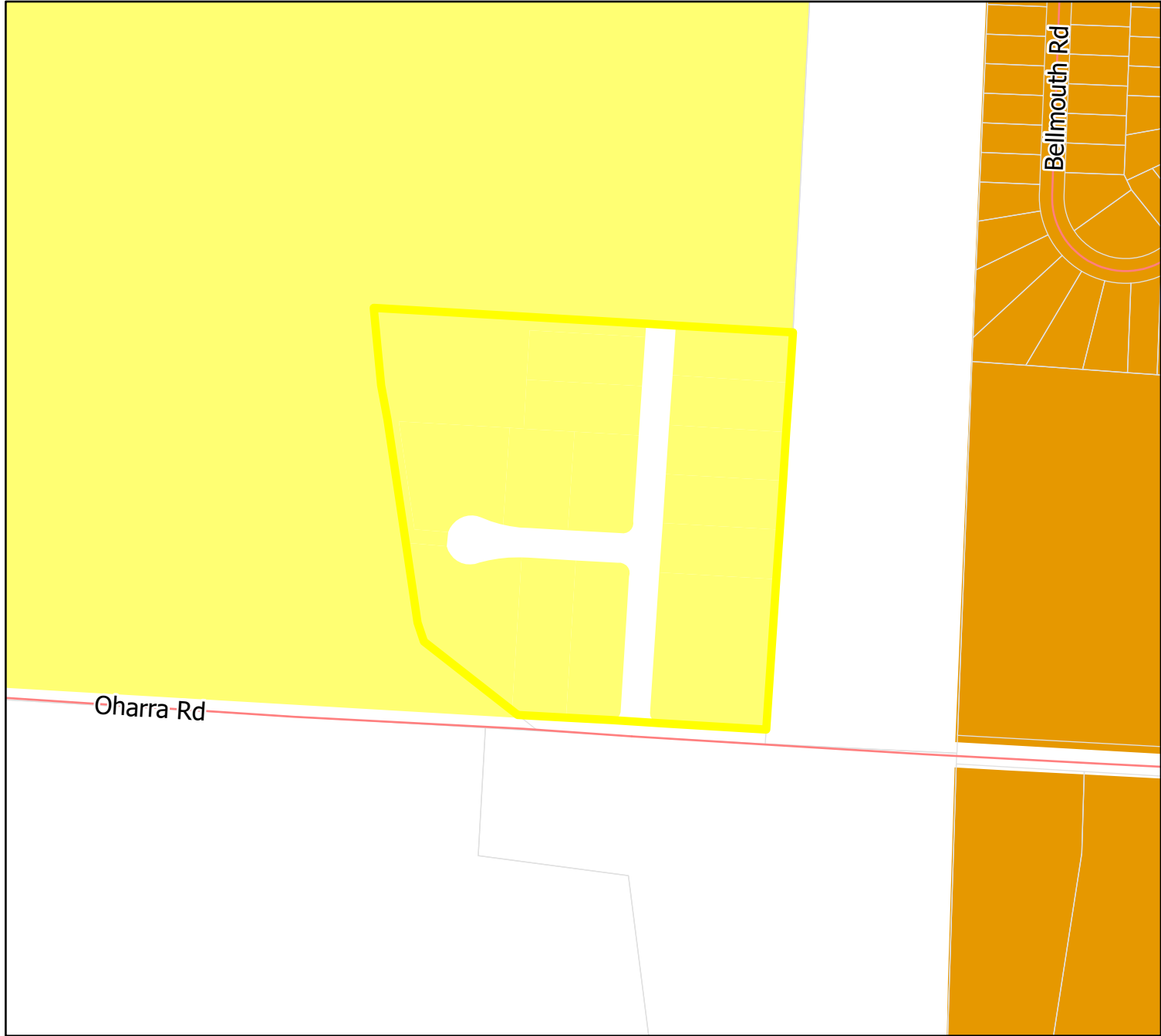
VA-4116

Requesting a Variance from Section 501.05 of the Franklin County Subdivision Regulations to allow the creation of a lot with a depth to width ratio greater than four (4) to one (1) in an area zoned as Low Density Residential (R-2).

Acres: 13.93-acres
Township: Prairie

-  Streets
-  Parcels
-  0 Dallas Drive
-  NFHL Floodway FC 20210401
-  NFHL 100 Year Floodplain FC 20210401



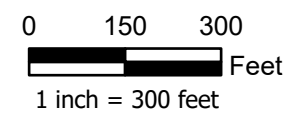
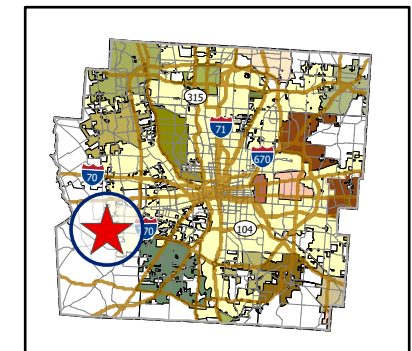


VA-4116

Requesting a Variance from Section 501.05 of the Franklin County Subdivision Regulations to allow the creation of a lot with a depth to width ratio greater than four (4) to one (1) in an area zoned as Low Density Residential (R-2).

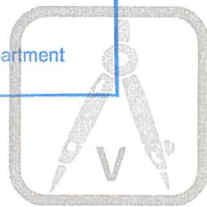
Acres: 13.93-acres
Township: Prairie

- Streets
 - 0 Dallas Drive
- Prairie Township Zoning**
- AB
 - EU
 - GB
 - LB
 - M-1
 - M-2
 - MFR-12
 - OS
 - PR-6
 - R-2
 - R-4
 - R-6
 - R-8
 - RURAL
 - SCPD
 - SER
 - SO
 - <all other values>



Application for
**Subdivision
Variance**
Page 1

RECEIVED
MAR 07 2025
Franklin County Planning Department
Franklin County, OH



Property Information	
Site Address:	0 Dallas Drive
Parcel ID(s):	240-004137-00
Total Acreage:	13.93 acres
Current Zoning:	R-2
Township:	Prairie Township
Subdivision:	

Staff Use Only	
Case #	790-SUB
Date Filed:	3/7/2025
Fee Paid:	\$350.00
Receipt #	25-00594
Hearing Date:	4/9/2025
Received By:	TreBion W.

Requested Variances/Decision or Interpretation Appealed

Section Number(s) of the county subdivision regulations and a brief description of variance(s) requested:

Section	Description
501.05	Lot depth to width ration shall not exceed 4 to 1. Due to the entire frontage of this proeprty being in the floodway there is only one entrance that both property have to share so the frontage is meeting Praire Township development requirments but a variance is needed in order to have lot split this lot.
Section	Description
Section	Description

The following shall govern the granting of the variance: (Provide explanation, use separate sheet if needed)

Is the variance detrimental to the public health or safety or is it injurious to other property?

Yes No other property would be affected by this variance, and is not deterrental to heathl, safety or environment, as this only effects this parcel trying to utilize the entrance that is already existent on site.

No

Are the circumstances of the request unique to the property and not generally applicable to others?

Yes Yes this property does not have an ability to have another entrance as all of it frontage is in the floodway, so have to utilize the only existing entrance to the property from Oharra Rd. So without this entrance this property is not accessible.

No

Due to physical surroundings, shape or characteristics of the property, would a hardship result, as distinguished from an inconvenience, if the strict letter of the Subdivision Regulations were enforced?

Yes Yes this entire property frontage is in the flooway and there is no other way to split this lot and yet still have entrance from Oharra Rd. This variance is needed in order to have accessibility to the lots.

No



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Subdivision Variance Page 2



Property Owner Information

Name: Aleksandr & Nina Zhuchenya

Address: 4345 Orangeberry Dr. Grove City, OH 43123

Phone # 614-425-0167

Fax #

Email: alex.zhuchenya@yahoo.com

Engineer/Surveyor Information

Name: Yak Consulting LLC

Address: 2977 Norton Rd. Grove City, OH 43123

Phone # 614-519-1956

Fax #

Email: yakconsultingllc@gmail.com

Applicant Information

Same as property owner

Same as engineer/surveyor

Name:

Address:

Phone #

Fax #

Email:

Water & Wastewater

Water Supply

Public (Central)

Private (On-site)

Other:

Wastewater Treatment

Public (Central)

Private (On-site)

Other:

Checklist

Completed Application

Fee Payment (*checks only*)

Copy of denied application, if applicable

Site plan, max. size 11"x17"

Proof of Water/Wastewater



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Subdivision Variance Page 3



Applicant Signature

To the best of my/our knowledge and belief, information and materials submitted as a part of this Variance application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes.

D. Yachnitsky
Applicant

2-19-2025
Date

D. Yachnitsky
Engineer

2-19-2025
Date

[Signature]
Property Owner (Signature must be notarized)

02-21-25
Date

[Signature]
Property Owner (Signature must be notarized)

2-21-25
Date

March 13, 2024 at 3:29 PM Fitzpatrick, Raimere <Raimere.Fitzpatrick@franklincountyohio.gov> wrote:

Alek, the zoning resolution Section that you cited provides the framework within the Rural zone to create parcels outside of the formal subdivision process. However, Section 204.11 of the County Subdivision Regulations establishes an approval process to create parcels between 5 and 20 acres (LLD) to receive an administrative approval to create lots/parcels (minor subdivision) rather than Planning Commission approval (major subdivision) to create lots/parcels. Also, the lot geometry standards of Section 501.05 apply for the creation of new parcels/lots.

That approval process has submittal requirements that must still be 1.) provided, and 2.) met to be eligible for approval. You will need to provide the information requested by the review entities. Specifically, the floodplain and floodway boundaries need to be shown, proposed access locations, soil types, contours, and proposed septic locations. Documentation needs to be provided from Public Health that the soils and preliminary site location has been approved for on-site sanitary systems.

We are available to schedule time to meet in person or virtually to review and discuss submittal requirements.

Respectfully,

Raimere Fitzpatrick

Planning Administrator
Economic Development & Planning





STAFF REPORT

Planning Commission
April 9, 2025

Case: JEFF-25-01

Prepared by: Kayla Johnson

Owner:	Judy Williams
Applicant	Logan Buehrer
Township:	Jefferson Township
Site:	592 Mulberry St. (PID #170-000398 & #170-000399)
Acreage:	0.48-acres
Zoning:	Community Service (CS)
Request:	Request for Franklin County Planning Commission recommendation to Jefferson Township Zoning Commission to rezone 0.48 acres from the Townships Community Service District to Suburban Office District.

Summary

The applicant is requesting to rezone a property in the Community Service (CS) District to the Suburban Office (SO) District, located in Jefferson Township. The applicant is requesting the rezoning to allow for a pet grooming business.

The Board of Trustees will provide the final rezoning approval of this request. The Franklin County Planning Commission is providing a recommendation to the Township Board of Trustees. Provided staff's recommended condition is met, the proposal keeps with the spirit and intent of the SO District, is in accordance with the Comprehensive Plan, and advances the general welfare of the Township. Staff recommends approval of a **recommendation for conditional approval**.

Project overview

The existing residence was developed in 1924. No records were found for its original platting. In 1974, the Township adopted its own zoning resolution and land use authority. The subject properties are now combined, this occurring between 2024 and 2025, through the Franklin County Auditor's Office. The proposed pet grooming business will be conducted using the existing structure and parking available. Additional improvements will occur as preferred by the applicant or required by zoning.

Surrounding Zoning and Land Use

The surrounding properties are mixed between commercial, industrial, and residential zoning and uses.

Location	Zoning	Land Use (W to E or N to S)
North of Walnut Street	Planned Commercial; Neighborhood Commercial (NC); Countryside Residential (CSR); Restricted Industrial (RI)	Photography Studio; Vacant; Veterinary Hospital
South of Walnut St. and East of Mulberry Street	Community Service (CS); Restricted Industrial (RI)	Warehouse; Residential (Single-family)
West of Mulberry Street	Countryside Residential (CSR); Limited Industrial (LI)	Residential (single-family); Mulch Company

**All sites referenced are west of Reynoldsburg-New Albany Road.*

Existing Zoning District

The existing zoning is under the Community Service (CS) District. The CS District is intended to provide suitable areas for the location of large retail and commercial uses to service the township and surrounding communities. This district is intended to not directly abut Residential Districts or areas.

Proposed Zoning District

The Suburban Office District (SO) is intended to provide an opportunity for development of low-intensity office and related service uses which functionally and aesthetically blend with and compliment the predominantly residential and rural characteristics of Jefferson Township. No unrelated retail trade is permitted in the SO district. Abutment on or suitable access to a major or minor arterial roadway is generally necessary for SO uses. The SO can be used to provide a buffer between residential and commercial or industrial areas. Development standards are provided to encourage smooth transitions between the SO and other zoning districts.

The proposed business is identified under the North American Industrial Classification System (NAICS) code 812910 as a permitted use in the SO District. Reynoldsburg-New Albany Road is identified as a major arterial in the Franklin County Thoroughfare Plan located east of the subject site. Walnut Street, located to the north, and Center Street, located to the south, both provide access to this major arterial. Residential uses exist to the south and industrial to the west.

Suburban Office District Requirements

Development Standards (section 540.04)

For items 1-4 the lot dimensions and existing building will become non-conforming to the SO district. For items 3-10, the applicant has not proposed additional development beyond what exists currently. Additional development requirements will need to be met for screening and parking as determined appropriate for the change in use by the township.

1. Lot Area and Coverage

- Minimum lot size required is 1 acre.
 - The existing combined lot is approximately 0.48 acres in size. The previous lots were approximately 0.25 acres in size each. The existing non-conforming lot under the CS district will also become non-conforming to the SO district's minimum lot size (section 410).
- One or more structure(s) may be placed on a lot.
 - The lot is currently developed with one existing residence and attached garage.
- Impervious surfaces, including structures shall not occupy more than ten percent (10%) of a lot, nor in total gross floor area exceed twenty percent (20%) of the lot area.
 - The existing structure will become non-conforming to the SO district.

2. Lot Width

- A minimum lot width of 100 feet is required. All lots shall abut a street for a minimum distance of sixty (60) feet.
 - The lot has approximately 119 feet of lot width and road frontage.

3. Side Yards

- For all structures located in the SO, there shall be a side yard of not less than twenty-five (25) feet on each side of any structure located on the lot.
 - The existing residence meets this criterion.

4. Rear Yard

- For all structures located in the SO district, the rear yard shall be not less than twenty percent (20%) of the lot depth, or fifty (50) feet, whichever is greater.
 - The lot has tree coverage nearest the southern property line and to the rear of the residence.

5. All yard areas shall be planted with grass or natural vegetation and shall be properly maintained.

6. Repair and service of automotive and marine items shall be conducted wholly within an enclosed structure permanently located on the lot.
7. All exterior lighting shall be designed to prevent direct glare on adjoining properties located within a residential zoning district.
8. The required parking setback shall be established by the appropriate placement of bumper guards designed to prohibit direct access from the display area onto the public road right-of-way. Bumper guards may be cast concrete, landscaping timbers or vertical poles all of which are permanently attached to the ground and designed to prohibit direct access to the public road.
9. Attention-getting devices such as banners, posters, pennants, ribbons, streamers, spinners or other similar moving devices shall be prohibited.
10. Noise attention-getting devices such as loudspeakers and amplified music shall be so controlled that at any property line on the lot on which such loudspeaker or noise attention-getting device is used, the noise level emitted from such loudspeaker shall not be above a decibel level of sixty (60).

Comprehensive Plan

The Jefferson Township 2050 Comprehensive Plan was adopted in 2018. The Township's Land Use Management Plan map identifies the subject site as the "Blacklick Area". The Blacklick Area recommends the land use for small scale retail, restaurant, and office establishments. The Plan states that higher density is encouraged as determined by the appropriate density to compliment surrounding uses. Mixed uses in the Blacklick Area are intended for larger scale developments with open space provided.

The Blacklick Station Framework provided by MORPC recommends the area for "Mixed Use – Town Center". This area is tended for mixed residential and commercial establishments that encourage social engagement activities within the area.

The proposed use is a small-scale retail commercial service to surrounding residential consumers. The surrounding area is developed with single-family residences of similarly sized structures and lots. Lots range from 0.13-0.5 acres in size excluding the larger industrially used lots located west of Mulberry Street in the township. The applicant is intending to keep the existing infrastructure and stay within the commercial land use category. The proposed change to the applicable district will allow for the possibility of residential uses on the property as a Conditional Use, although not proposed by the applicant, as opposed to the current zoning that does not allow for mixed uses between residential and commercial.

The proposed rezoning meets the recommended land use for the Plan and Framework.

Technical Review

No technical agency expressed concern for the proposal.

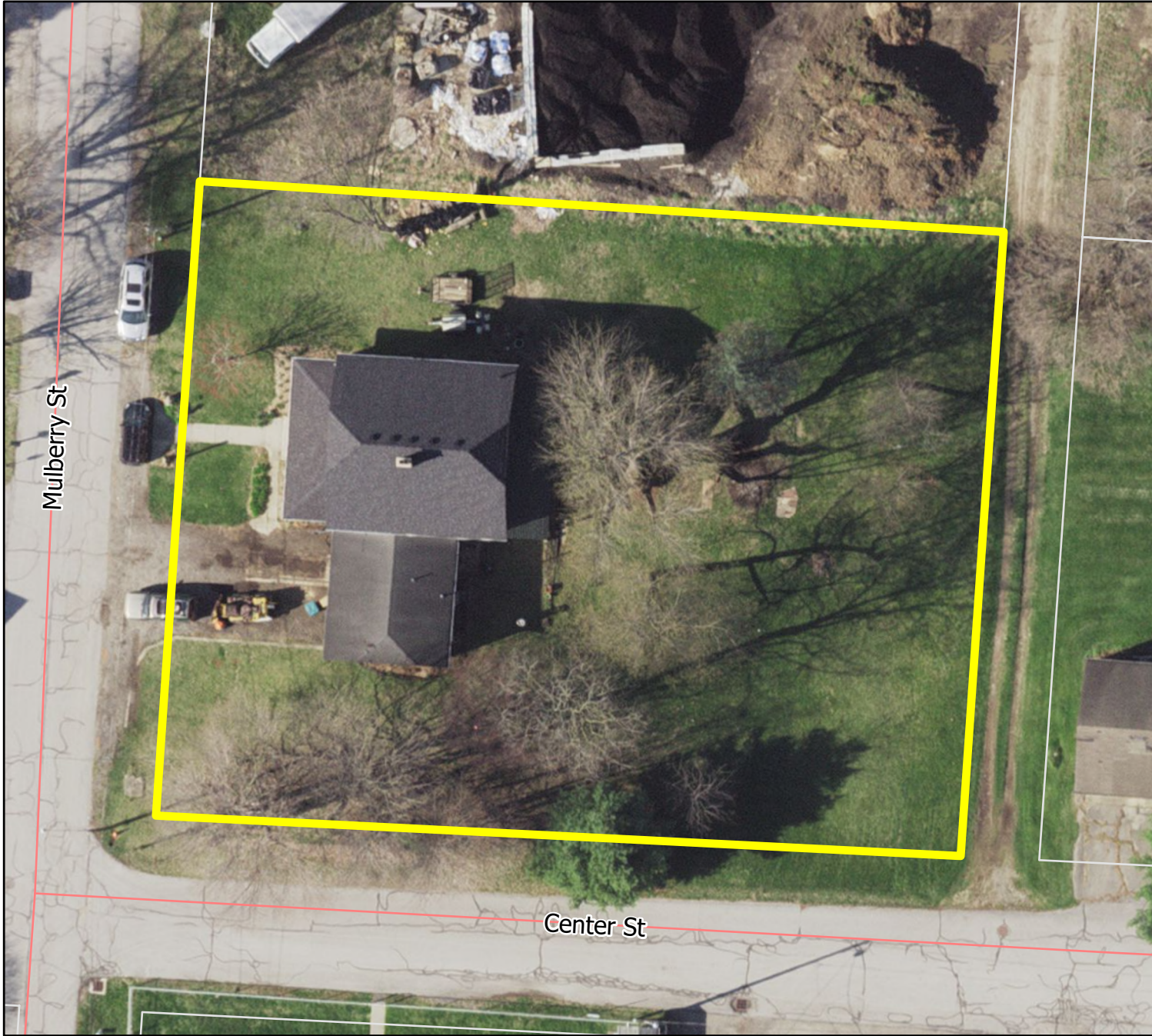
Staff Analysis

Staff does not foresee any adverse impacts of the proposed rezoning to the surrounding area. The SO district is the least intense commercial district, and its uses compliments the surrounding area. The proposed district is in keeping with the land use plan recommendations.

Staff Recommendation

Staff recommends *approval with conditions* to rezone the property from the Community Service (CS) District to the Suburban Office (SO) District. The conditions of approval are as follows:

1. Any proposed or future alterations to the site or structure must have the appropriate zoning compliance and/or building permits and comply with the applicable regulations.






Mulberry St

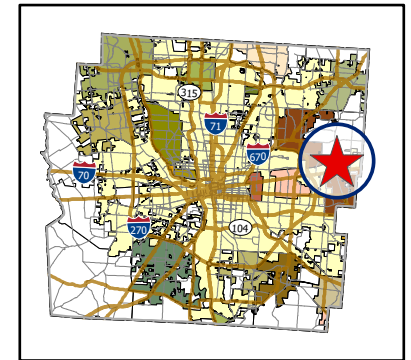
Center St

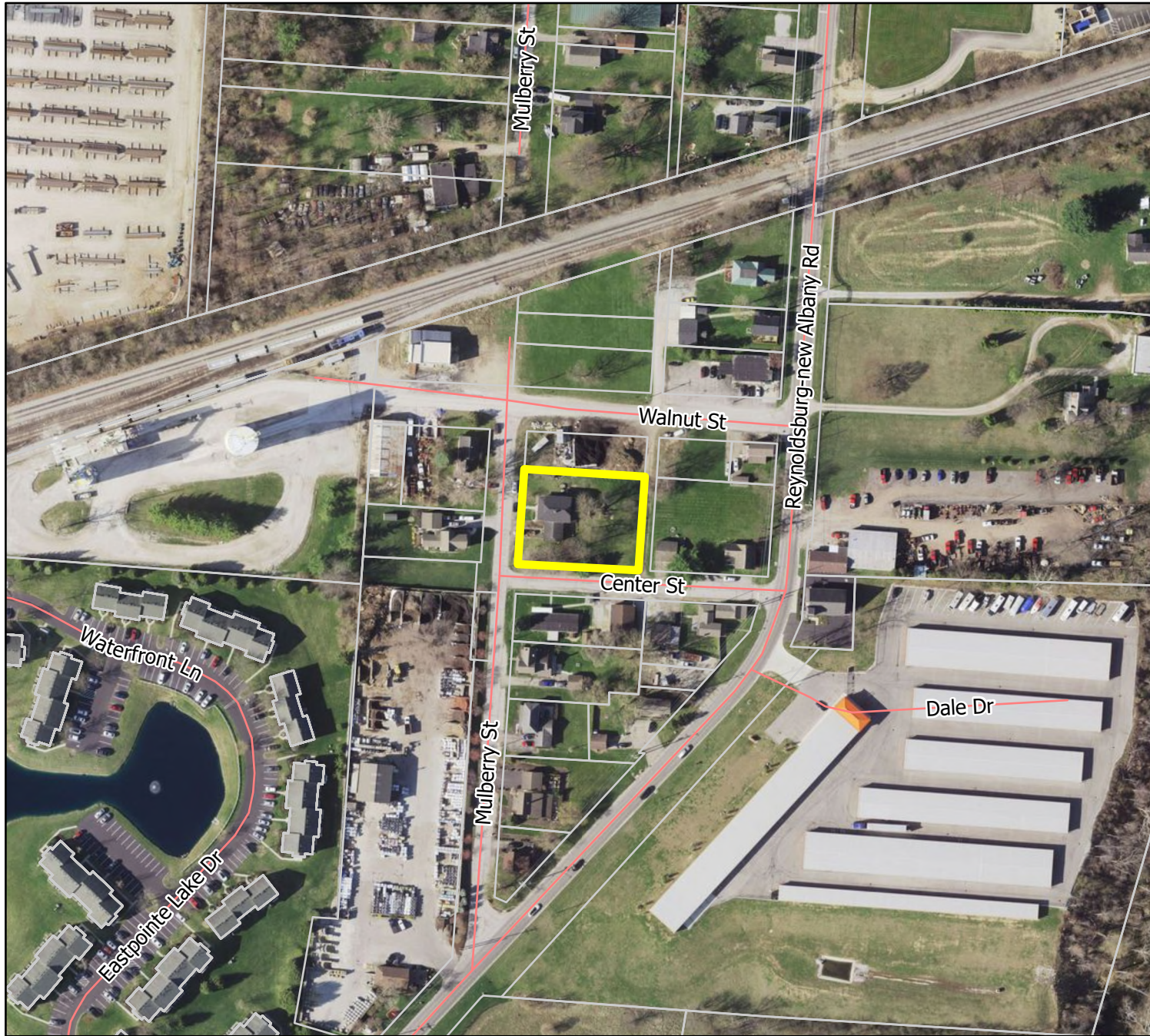
JEFF-25-01

Request for Franklin County Planning Commission recommendation to Jefferson Township Zoning Commission to rezone 0.48 acres from the Townships Community Service District to Suburban Office District.

Acres: 0.48-acres
Township: Jefferson Township

-  Streets
-  Parcels
-  592 Mulberry Street






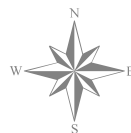
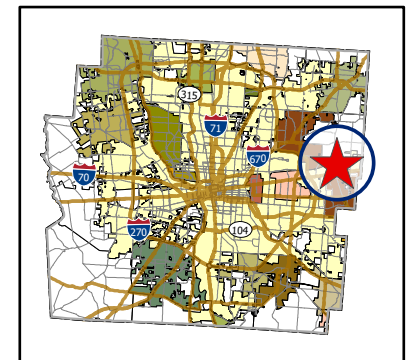



JEFF-25-01

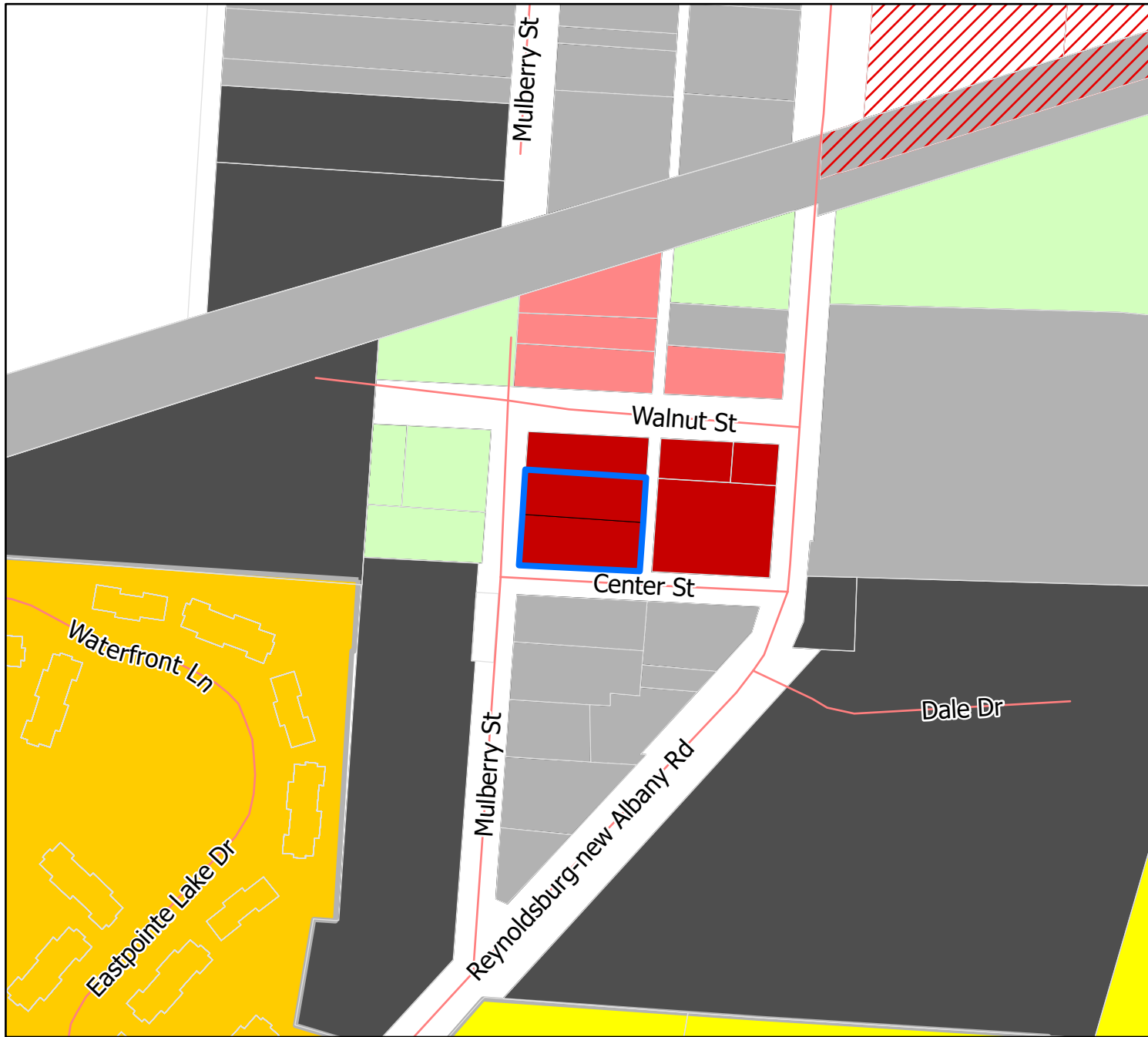
Request for Franklin County Planning Commission recommendation to Jefferson Township Zoning Commission to rezone 0.48 acres from the Townships Community Service District to Suburban Office District.

Acres: 0.48-acres
Township: Jefferson Township

-  Streets
-  Parcels
-  592 Mulberry Street



0 100 200
 Feet
1 inch = 200 feet

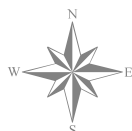
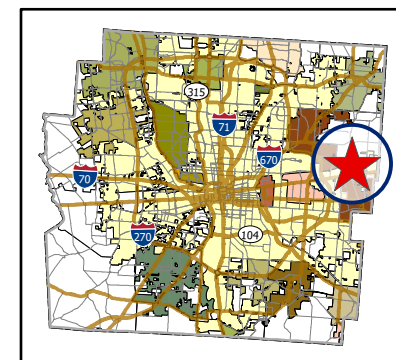


JEFF-25-01

Request for Franklin County Planning Commission recommendation to Jefferson Township Zoning Commission to rezone 0.48 acres from the Township's Community

Acres: 0.48-acres
Township: Jefferson Township

- Streets
- ▭ Parcels
- 592 Mulberry St
- JeffersonTwp_Zoning_Districts**
- ▭ COLS
- ▭ Community Service
- ▭ Limited Industrial
- ▭ Neighborhood Commercial
- ▭ Planned Commercial
- ▭ Planned Suburban Residential
- ▭ Restricted Industrial
- Columbus Base Zoning**
- ▭ Multi-family
- ▭ Residential



**JEFFERSON TOWNSHIP
ZONING COMMISSION**



TEL: (614) 855-4265

www.jeffersontownship.org

Email: cmccroskey@jeffersontownship.org

APPLICATION FOR ZONING CHANGE

Case Number: RZ25-001 Date: 3/10/2025

Applicant: Logan Buehrer Property Owner: Judy Williams

Street Address: 7564 New Albany Condit RD Street Address: 592 mulberry st

City: New ALbany State: OH Zip: 43054 City: blacklick State: oh Zip: 43004

Phone Number: (419) 8227336 Phone Number: (614) 206-8283

E-Mail Address: loganbuehrer@gmail.com E-Mail Address: williams13@peoplepc.com

In accordance with the provisions of Article IX, Section 920 of the Jefferson Township Zoning Resolution,
Community Service I hereby apply to the Zoning Commission and the Township Trustees for a rezoning from the
consumer services Zoning District to the Suburban Office Zoning District for property located at:

Street Address: 592 mulberry st Parcel #: 170-000399-00 & 170-000398-00 (pending combination)

Acreeage to be rezoned: [REDACTED] 0.48 acres

---- Please type or print information ---
--- Please answer the following questions thoroughly and completely ---
--- If additional space is needed, attach extra sheets ---

1. The proposed use of the property is:

The proposed use is for pet care, non vet uses. This property will be used for dog grooming. This would be the suburban office district.

2. The property is currently being used for:

The property is currently residential, sitting in a consumer district which means it is able to put a gas station and other high intensity uses.

either met with staff, through a scheduled appointment, or have waived my right to do so.

Applicant / Agent Signature: Logan Buehrer Date: 3/10/2025

8. Certification:

Before completing this application and executing the following certification, it is recommended that the application be discussed with the Staff of the Jefferson Township Zoning Department.

Judy Williams **APPLICANT'S CERTIFICATION**

I / WE _____ certify that I am / We are the owner(s) of land included in the application and that the foregoing statement herein contained and attached, and information or attached exhibits thoroughly to the best of my / our ability present the arguments in behalf of the application herewith submitted and that the statements and attached exhibits above referred to are in all respects true and correct to the best of my / our knowledge and belief.

E-Signed: 03/11/2025 12:07 PM EDT
IP: 172.59.67.131
Electronic Signature
DocID: 20250311105834619

Signature of Property Owner: Judy Williams Please Print: Judy Williams

Mailing Address: 592 Mulberry Street

City, State, and Zip: Blacklick, OH 43004

Phone Number: (614) 206-8283 Cell #: ()

E-Mail Address: williams13@peoplepc.com

Signature of Applicant: Logan Buehrer Please Print: Logan Buehrer

Mailing Address: 7564 New Albany Condit RD
(If different than property owner)

City, State, and Zip: new alban, ohio 43054

Phone Number: (419) 822 7336 Cell #: ()

E-Mail Address: LOGANBUEHRER@GMAIL.COM

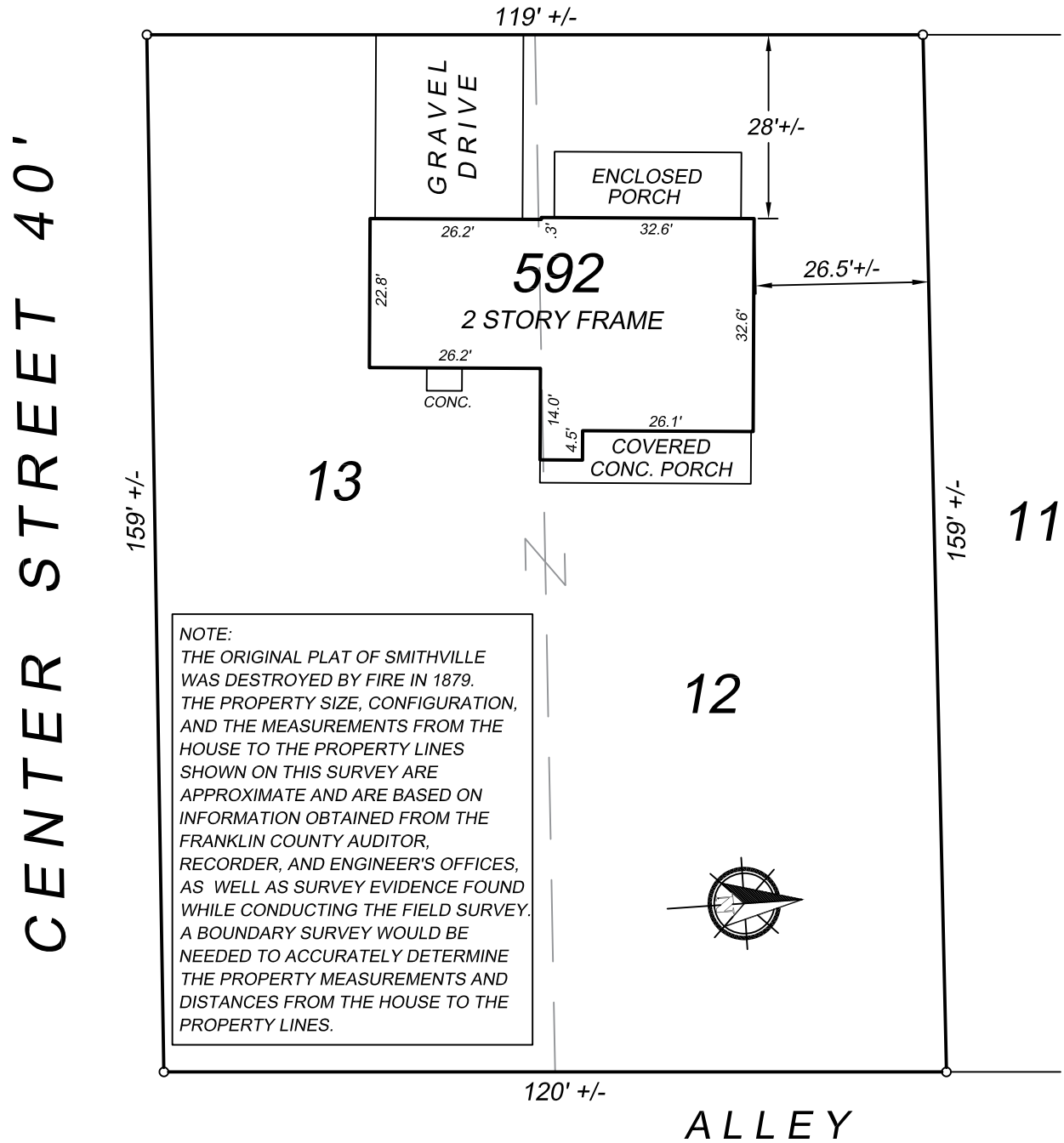
HOY LAND SURVEYING
1767 McCorkle Blvd #1767
Westerville, Ohio 43086
Phone: 614-679-1186



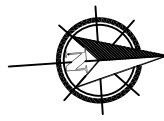
JOB NUMBER #: 819-2025 S DATE OF DRAWING 03-06-25

CERTIFIED TO LANDSEL TITLE AGENCY, LLC
LENDER THE HUNTINGTON NATIONAL BANK BUYER BUEHRER
LEGAL DESC. LOTS 12 & 13 ~ SMITHVILLE P.B. 1 PG. 47
CITY/TWP. JEFFERSON TWP. COUNTY FRANKLIN DRN. KLH CK. SJH DRAWING SCALE 1" = 25'
FEMA INFORMATION: FLOOD ZONE X MAP PANEL INFO 39049C 0356K MAP DATE 06-17-08

MULBERRY STREET 60'



NOTE:
THE ORIGINAL PLAT OF SMITHVILLE WAS DESTROYED BY FIRE IN 1879. THE PROPERTY SIZE, CONFIGURATION, AND THE MEASUREMENTS FROM THE HOUSE TO THE PROPERTY LINES SHOWN ON THIS SURVEY ARE APPROXIMATE AND ARE BASED ON INFORMATION OBTAINED FROM THE FRANKLIN COUNTY AUDITOR, RECORDER, AND ENGINEER'S OFFICES, AS WELL AS SURVEY EVIDENCE FOUND WHILE CONDUCTING THE FIELD SURVEY. A BOUNDARY SURVEY WOULD BE NEEDED TO ACCURATELY DETERMINE THE PROPERTY MEASUREMENTS AND DISTANCES FROM THE HOUSE TO THE PROPERTY LINES.



ENCROACHMENT INFORMATION

NONE NOTED

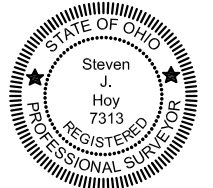
I / WE HAVE RECEIVED A COPY OF THIS SURVEY AND FIND THE CONDITIONS ACCEPTABLE.

BUYER / OWNER

BUYER / OWNER

We hereby certify that the foregoing **MORTGAGE LOCATION SURVEY** was prepared in accordance with Chapter 4733-38, Ohio Administrative Code, and is not a Boundary Survey pursuant to Chapter 4733-37, Ohio Administrative Code. This plat is prepared for mortgage loan and title purposes only and is not to be construed as having been prepared for the owner / buyer for any purpose including but not limited to erecting fences or structures of any kind nor to establish property lines. Fences are only shown when not in substantial conformance with the legal description. A boundary survey would be needed to determine if any minor fence encroachments exist. Easements shown on this plat were taken from the subdivision plat of record or furnished by the client. Additional easements affecting this property may exist.

By Steven J. Hoy



Received to the Franklin County Planning Dept. via email 3/18/25. Case #REZ-25-01.

