

# Technical Review Committee Agenda

## Zoom Conference Meeting

(To participate: (929) 436-2866; Meeting ID: 911 3401 0004; Password: 471510)

Tuesday, June 22, 2021

1:30 p.m.

### 1. Old Business

#### A. Planning Commission

##### i. ZON-21-01 – Brad Fisher

<b>Owner/Applicant:</b>	Buckeye Truck, LLC.
<b>Township:</b>	Franklin Township
<b>Site:</b>	Frank Rd. (PID #140-001377), 2154 Frank Rd. (PID #140-001379), 2182 Frank Rd. (PID #140-004133)
<b>Acreage:</b>	1.970-acres
<b>Utilities:</b>	Public water and sewer
<b>Zoning:</b>	Neighborhood Commercial District (NC)
<b>Request:</b>	Requesting to rezone from the Neighborhood Commercial (NC) district to the Select Commercial Planned District (SCPD) to allow for truck parking, personal storage, a single-family home and an office.

### 2. New Business

#### A. Planning Commission

##### i. 738-V – Brad Fisher

<b>Owner/Applicant:</b>	Danny Dahl & Beatrice Bartram
<b>Township:</b>	Jackson Township
<b>Site:</b>	1203 Hiner Rd. (PID #160-002661)
<b>Acreage:</b>	3.430-acres
<b>Utilities:</b>	Private water and wastewater
<b>Request:</b>	Requesting a Variance from Sections 402.01(B) and 501.05 of the Franklin County Subdivision Regulations to allow a lot split that would have a septic system located in poorly draining soils, a side lot line that is beyond 5 degrees of perpendicular to the street centerline and exceed the maximum permitted depth to width ratio.

**ii. 739-V&PP – Brad Fisher**

<b>Owner:</b>	Epcon Riverside, LLC.
<b>Applicant/Engineer:</b>	Advanced Civil Design – James Whitacre
<b>Township:</b>	Perry Township
<b>Site:</b>	Riverside Drive (PID #'s 212-001324-212-001344, 212-001359, 212-001360 and 212-001365)
<b>Acreage:</b>	7.166-acres
<b>Utilities:</b>	Public water and sewer
<b>Request:</b>	Requesting a variance to allow for a subdivision that would have side lot lines that are beyond 5 degrees of perpendicular to the street centerline, have a dead-end street that exceeds 1,000 linear feet, not have sidewalks on both sides of the street, have a dead-end street without an approved turn-around, not meet street centerline radii and reduce the minimum pavement width from 25 feet to 19 feet. Requesting Preliminary Plan approval of a 23 lot single-family subdivision with 0.586-acres of open space.

**iii. ZON-21-02 – Brad Fisher**

<b>Owner:</b>	Abdi Yussuf
<b>Applicant:</b>	AHB Transportation, LLC.
<b>Township:</b>	Mifflin Township
<b>Site:</b>	3505 Westerville Rd. (PID #190-000089)
<b>Acreage:</b>	2.030-acres
<b>Utilities:</b>	Public water and sewer
<b>Zoning:</b>	Select Commercial Planned District (SCPD)
<b>Request:</b>	Requesting to rezone from the Select Commercial Planned District (SCPD) to the Limited Industrial (LI) district.

**B. Board of Zoning Appeals**

**i. VA-4008 – Brad Fisher**

<b>Owner:</b>	Teresa Young
<b>Applicant:</b>	Derek Cox
<b>Township:</b>	Pleasant Township
<b>Site:</b>	6855 Darby Blvd. (PID#230-002317)
<b>Acreage:</b>	0.259-acres
<b>Utilities:</b>	Private water and public sewer
<b>Zoning:</b>	Rural District
<b>Request:</b>	Requesting a Variance from Sections 110.041, 302.043 and 650.162(a) of the Franklin County Zoning Resolution to allow a home to be built on a lot that does not have the required road frontage, not meet the side yard setback and to be located within the Riparian Setback in an area zoned Rural.

**ii. VA-4009 – Brad Fisher**

<b>Owner/Applicant:</b>	International Society for Krishna Consciousness Greater Columbus
<b>Agent:</b>	Desmond Cullimore
<b>Township:</b>	Brown Township
<b>Site:</b>	3508 Walker Rd. (PID#120-000031)
<b>Acreage:</b>	48.940-acres
<b>Utilities:</b>	Private water and wastewater
<b>Zoning:</b>	Rural District
<b>Request:</b>	Requesting a Variance from Sections 302.047, 505.02 and 505.022(b) of the Franklin County Zoning Resolution to allow a structure to exceed the maximum permitted height, locate a dumpster on the property and not meet dumpster side yard requirements in an area zoned Rural.

**iii. VA-4010 – Brad Fisher**

<b>Owner:</b>	Michael & Danielle Skinner
<b>Applicant:</b>	Clayton Homes of Frazeyburg
<b>Agent:</b>	Jeff Crabtree
<b>Township:</b>	Franklin Township
<b>Site:</b>	3365 Fisher Rd. (PID#140-003763)
<b>Acreage:</b>	2.000-acres
<b>Utilities:</b>	Private water and wastewater
<b>Zoning:</b>	Rural District
<b>Request:</b>	Requesting a Variance from Section 512.02(2(a)) of the Franklin County Zoning Resolution to allow an accessory building to be located forward of the principal structure in an area zoned Rural.

**3. Adjournment of Meeting to July 27, 2021**



RECEIVED

FEB 18 2021

Franklin County Planning Department  
Franklin County, OH



**Property Information**

Site Address: 2154-2182 Frank Road, Columbus, OH 43223  
Parcel ID(s): 140-001377; 140-001379; 140-004133  
Total Acreage: 1.97 acres +/- Township: Franklin

**Property Description**

Acres to be rezoned: Entirety of all 3 parcels - 1.97 acres +/-  
Current Land Use: Dwelling Converted to Office/Vacant / One Family DWLG  
Surrounding Land Uses:  
North: Restaurant/Cafe/Bar; One Family DWLG  
South: Exempt Prop Owned by Township; One Family DWLG  
East: Vacant; One Family DWLG  
West: Vacant; Restaurant/Cafe/Bar

**Rezoning Request**

Current Zoning: Neighborhood Commercial  
Proposed Zoning: Select Commercial Planned District  
Proposed Land Use: Commercial Truck Parking  
Purpose for Request:  
Property owner seeks to rezone the property to allow for parking of Semi-Trucks. No trailers will be stored on property. Further details are set forth in the Development Plan being submitted.

**Staff Use Only**

Case # ZON-21-01  
Date Filed: 2/16/21  
Fee Paid: \$1,100  
Receipt #  
Received By: BMF  
Technical Review Date: 2/23/21  
Big Darby Panel Date: N/A  
Planning Commission Date: 3/10/21  
Rural Zoning Commission Date: 3/28/21  
Commissioners Date: 4/13/21

**Checklist**

- Fee Payment (checks only)
- Completed Application
- Notarized Affidavit
- Legal description of property
- Location/Area map
- Water/Wastewater Information
- Development Plan (if a planned district request)

**Water & Wastewater**

**Water Supply**

- Public (Central)
- Private (On-site)
- Other

**Wastewater Treatment**

- Public (Central)
- Private (On-site)
- Other





Franklin County  
Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

## Application for Rezoning Page 2



### Property Owner Information

Name: Buckeye Truck, LLC

Address: P.O. Box 23093  
Columbus, OH 43223

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Phone # (614) 822-5504 Fax # \_\_\_\_\_

Email: carleblin@yahoo.com

### Applicant Information

Same as property owner

Name: Buckeye Truck, LLC

Address: c/o Bryan S. Hunt \* Legal Counsel for Property Owner  
Loveland Law, LLC  
3300 Riverside Drive, Suite 125  
Upper Arlington, OH 43221

Phone # (614) 928-9107 Fax # (614) 737-9857

Email: bshunt@lovelandlaw.net



Franklin County  
Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

## Application for Rezoning Page 3



### Signatures

To the best of my/our knowledge and belief, information and materials submitted as a part of this Rezoning application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes. I/we understand that delays or tablings may impact the hearing schedule.

Applicant

1-16-2021

Date

Property Owner (Signature must be notarized)

1-16-2021

Date

Property Owner (Signature must be notarized)

Date

STATE OF OHIO            )  
  )  
COUNTY OF FRANKLIN )

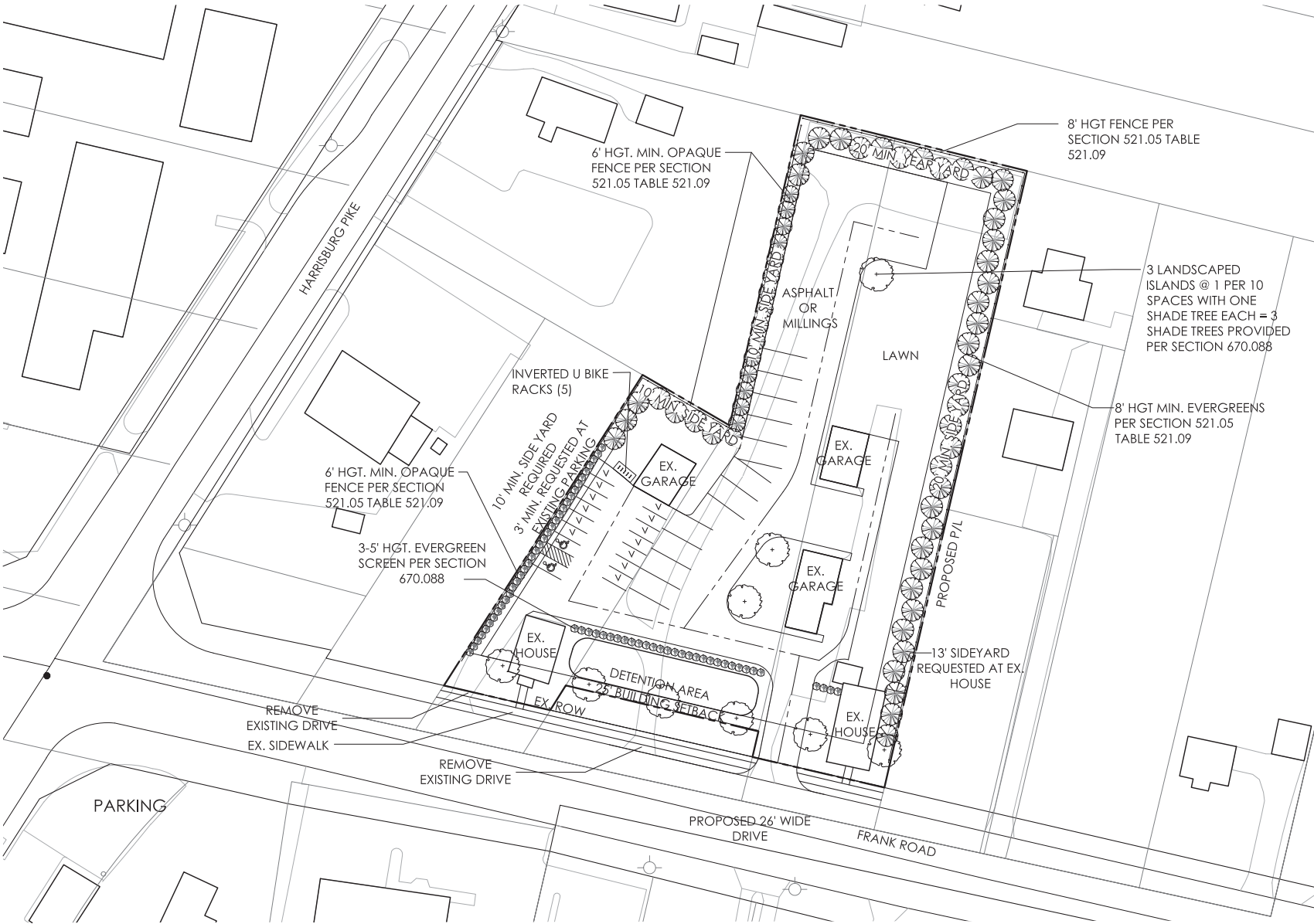
The foregoing Application for Rezoning was acknowledged before me this 16<sup>th</sup> day of January, 2021, by Carl Eblin, Authorized Member of Buckeye Truck, LLC, an Ohio limited liability company, on behalf of the company.



Bryan S. Hunt, Attorney At Law  
NOTARY PUBLIC - STATE OF OHIO  
My commission has no expiration date  
Sec. 147.03 R.C.

A handwritten signature in blue ink, appearing to read "Bryan S. Hunt", written over a horizontal line.

Notary Public



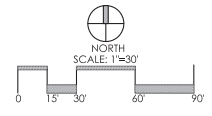
**SITE DATA**

TOTAL ACRES	+/-1.97 AC
EXISTING ZONING	NEIGHBORHOOD COMMERCIAL
SMART GROWTH OVERLAY DISTRICT	
PARKING PROVIDED	27 TOTAL SPACES
VEHICULAR (V)	15 SPACES
SEMI TRAILER/DUMP TRUCK (15' x 30' MIN.)	12 SPACES
% OPEN SPACE	+/-45%

**SITE PLAN**

**FRANK ROAD - BUCKEYE TRUCK**

PREPARED FOR LOVELAND LAW LLC  
DATE: 6-8-2021



**Faris Planning & Design**  
LAND PLANNING      LANDSCAPE ARCHITECTURE  
243 N. 5th Street      Suite 401      Columbus, OH 43215  
p (614) 487-1964      www.farisplanninganddesign.com

**DEVELOPMENT PLAN TEXT**

**2154 – 2182 Frank Road, Columbus, Ohio 43223 Rezoning**

Address: 2154 Frank Road, Columbus, Ohio 43223  
v/l Frank Road, Columbus, Ohio 43223  
2182 Frank Road, Columbus, Ohio 43223

Total Area: 1.97 acres, more or less

Location: Frank Road, Approximately 400 feet east of Harrisburg Pike

Parcel ID Numbers: 140-001379  
140-001377  
140-004133

Existing Zoning Neighborhood Commercial

Overlay: Smart Growth Overlay

Proposed Zoning: Select Commercial Planned District

Applicant: Buckeye Truck, LLC  
c/o Bryan S. Hunt, Esq.  
Loveland Law, LLC  
3300 Riverside Drive, Suite 125  
Upper Arlington, Ohio 43221

Property Owner: Buckeye Truck, LLC  
c/o Carl Eblin Jr.  
P.O. Box 23093  
Columbus, Ohio 43223

**INTRODUCTION**

The site is composed of three parcels on 1.97 ± acres of developed land on Frank Road, Columbus, Ohio. The property is currently zoned Neighborhood Commercial, and the Property Owner seeks rezoning of the property to a Select Commercial Planned District to allow for parking of commercial trucks on the site. The Property Owner/Applicant proposes to develop the site by adding parking, landscaping, a detention area and other features as depicted on the site plan submitted herewith (“the Site Plan”).

**PERMITTED USES**

Pursuant to Section 420.02 of the Franklin County Zoning Resolution, land and buildings within the Select Commercial Planned District shall be used only for those selected uses identified by an applicant for zoning plan amendment and found within the Suburban Office, Neighborhood

Commercial, Community Commercial, Community Service, Restricted Industrial and Limited Industrial Zoning Districts.

Here, the Property Owner/Applicant seeks to be permitted to use the property for Trucking and Warehousing (OMB SIC Group Code 42) use, which is a permitted use under the Limited Industrial Zoning District, as well as dwellings that are ancillary to the permitted uses as permitted in Suburban Office District. Specifically, the Property Owner/Applicant seeks to rezone the property such that up to twelve (12) day cab trucks, one straight axel dump truck, and other non-commercial vehicles may be parked on the property. No commercial trailers will be stored on the property, and there will not be any storage or warehousing of any goods or inventory on the property.

Also on the property are two houses and three garages. The Property Owner/Applicant seeks to use the house on the western part of the site as a residence for an employee who assists with the routine maintenance and care of the Property Owner's trucks. The Property Owner/Applicant seeks to use the house on the eastern part of the site as an office and temporary residence. The three garages will be used primarily for the storage of the Property Owner/Applicant's tools and equipment.

#### **SITE MAP**

A map of the property is set forth in the Site Plan.

#### **VEGETATION**

Existing vegetation are depicted on the Existing Conditions Plan being submitted herewith.

#### **SOILS**

Soils data is depicted on the Existing Conditions Plan being submitted herewith.

#### **TRAFFIC**

An analysis of traffic conditions which can be expected to result from the proposed development is set forth in the Traffic Memorandum being submitted herewith.

#### **ACCESS**

The access points to the property are depicted on the Site Plan. As indicated on the Site Plan, the following two existing access points to the property will be removed: i.) the driveway on 2182 Frank Road (Parcel No. 140-004133), which is the access point closest to Harrisburg Pike; and ii.) the access point on the middle parcel (Parcel No. 140-001377) will be removed to allow for the installation of a detention area. The remaining driveway (i.e. the driveway on Parcel No. 140-001379) will be widened to twenty six feet to accommodate the ingress and egress of the day cab trucks.

## **PARKING**

Parking on the property is depicted on the Site Plan, and all parking, loading and service areas will be provided in accordance with Section 531, Article V of the Franklin County Zoning Resolution.

## **STORM WATER DRAINAGE**

The Property Owner/Applicant is requesting a compliance waiver from Section 420.034(8), which requires that a preliminary drainage plan showing topographical contours in two (2) foot intervals and general locations of existing and proposed improvements be submitted as part of the Development Plan. Any future drainage improvements, including the proposed detention basin set forth on the site plan, will be designed in conformance with the requirements of the Franklin County Stormwater Drainage Manual unless properly approved otherwise. The Property Owner/Applicant understands that in the event a future drainage plan causes a change to the layout of the site as provided herein, that a modification to the approved SCPD would be required.

## **SEWAGE DISPOSAL AND WATER SUPPLY**

The property, save for the vacant lot (v/l Frank Road, Columbus, Ohio 43223; Parcel No. 140-001377), is serviced by public water and sewer, as evidenced by the emails from the City of Columbus submitted herewith. The vacant lot is not serviced by any manner of sewage disposal or water supply.

## **ARCHITECTURAL DESIGN**

There are currently two residential homes and three garages on the property, as shown on the Site Plan. The structures have been constructed with materials compatible with the surrounding environment, and no building exceeds twenty-five (25) feet.

## **OUTSIDE STORAGE**

No outside storage is anticipated.

## **UTILITIES AND FACILITIES**

Utilities will be placed underground per the applicable requirements and regulations.

## **POLLUTION**

No smoke, odorous gases or other odorous matter in such quantities as to be offensive at any point on or beyond the property boundary, or noise greater than sixty (60) decibels at the lot line will be emitted from the property as a result of the proposed use.



## **GRAPHICS**

No graphics or signs are anticipated at the property at this time. Any future graphics shall comply with the applicable graphics code unless approved otherwise.

## **LIGHTING**

No exterior lighting is anticipated at the property at this time. Any future lighting shall comply with the applicable lighting code unless approved otherwise.

## **SCREENING AND BUFFERING**

A screening and buffering plan for the property is depicted on the Site Plan.

## **OPEN SPACE**

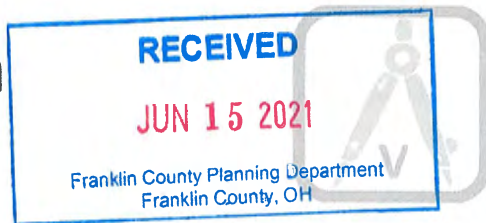
As shown on the Site Plan, the Property will include  $\pm 45\%$  of open space.

## **COMPLIANCE WAIVER REQUESTS**

As part of the rezoning of the property, and in order to meet the standards of the Franklin County Zoning Resolution, the following compliance waivers are requested pursuant to Sections 420.032 and 420.033:

1. Two Foot (2') side yard requested at parking lot on the west side of the site (minimum of Ten Foot (10') side yard required).
2. Preliminary Drainage Plan required per Section 420.034(8).

Application for  
**Subdivision Variance**  
 Page 1



Property Information	
Site Address: <u>1203 HINER Rd. ORIENT, OH 43146</u>	
Parcel ID(s): <u>160-002661</u>	
Total Acreage: <u>3.43</u>	Current Zoning: <u>RESIDENTIAL</u>
Township: <u>JACKSON TWP</u>	Subdivision: <u>NA</u>

Staff Use Only	
Case #	<u>738-V</u>
Date Filed:	<u>6/15/21</u>
Fee Paid:	<u>\$700</u>
Receipt #	<u>21-02101</u>
Hearing Date:	<u>7/14/21</u>
Received By:	<u>BMF</u>

**Requested Variances/Decision or Interpretation Appealed**

Section Number(s) of the county subdivision regulations and a brief description of variance(s) requested:

Section	Description
<u>402.01 (B)</u>	<u>VARIANCE FOR SEPTIC SYSTEM ON 3.43 ACRE LOT AS APPROVED BY FRANKLIN COUNTY HEALTH DEPT. &amp; CONCURRENCE FROM SOIL ANALYST / SEPTIC SYSTEM DESIGNER FOR THIS HOME.</u>
<u>501.05</u>	<u>VARIANCE FOR LOT LINE AS IT IS NOT WITHIN 5 DEGREES OF PERPENDICULAR TO STREET CENTER LINE.</u>
<u>501.05</u>	<u>VARIANCE OF LOT GEOMETRY, DEPTH TO WIDTH RATIO.</u>

**The following shall govern the granting of the variance: (Provide explanation, use separate sheet if needed)**

Is the variance detrimental to the public health or safety or is it injurious to other property?

Yes

No

JACKSON TWP REVIEWED OUR REQUEST, HELD A PUBLIC HEARING & REVIEW WITH NO OBJECTIONS FROM ANY EFFECTED PARTY & DID GRANT A VARIANCE/APPROVAL TO OUR REQUEST TO DIVIDE THE LOT. PUBLIC HEALTH HAS APPROVED THE SEPTIC REQUEST.

Are the circumstances of the request unique to the property and not generally applicable to others?

Yes

No

THE ISSUES ARE DUE TO THE SHAPE OF OUR LOT & EXISTED AT THE TIME OF PURCHASE 30+ YEARS AGO.

Due to physical surroundings, shape or characteristics of the property, would a hardship result, as distinguished from an inconvenience, if the strict letter of the Subdivision Regulations were enforced?

Yes

No

IT WOULD BE A HARDSHIP TO US, IF WE WERE UNABLE TO DIVIDE THE LOT, BUILD THE SINGLE STORY HOME WE REQUIRE TO AGE IN PLACE & REMAIN NEAR OUR FAMILY, FRIENDS & NEIGHBORS. THE ADDITIONAL RESIDENCE WOULD ADD TO THE COUNTY TAX BASE.



Franklin County Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

# Application for Subdivision Variance

Page 2



### Property Owner Information

Name: BEATRICE BARTRAM/DANNY DAHL

Address: 1203 HINER Rd. ORIENT, OH 43146

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Phone # (614) 204-8387 Fax # \_\_\_\_\_

Email: bea bar 203@gmail.com

### Engineer/Surveyor Information

Name: MICHAEL P. (Rocky) LOMANO, P.E., P.S.

Address: WESTERVILLE LAND SURVEYING, LLC  
125 E. HOME ST., SUITE A  
WESTERVILLE, OH 43081

---

Phone # (614) 899-2209 Fax # ---

Email: WWW.WLSURVEY.COM

### Applicant Information

Same as property owner  Same as engineer/surveyor

Name: \_\_\_\_\_

Address: \_\_\_\_\_

---

Phone # \_\_\_\_\_ Fax # \_\_\_\_\_

Email: \_\_\_\_\_

### Water & Wastewater

**Water Supply**

Public (Central)

Private (On-site)

Other: \_\_\_\_\_

**Wastewater Treatment**

Public (Central)

Private (On-site)

Other: \_\_\_\_\_

### Checklist

Completed Application

Fee Payment (checks only)

Copy of denied application, if applicable

Site plan, max. size 11"x17" *\*copy included you have original survey*

Proof of Water/Wastewater *\*YOU HAVE original*



**Applicant Signature**

To the best of my/our knowledge and belief, information and materials submitted as a part of this Variance application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes.

BEATRICE BARTRAM

6/11/2021

Applicant

Date

Danny Dahl

6/11/2021

Engineer

Date

Beatrice Bartram

6-11-2021

Property Owner (Signature must be notarized)

Date

[Signature]

6/11/21

Property Owner (Signature must be notarized)

Date

Signed before me a ~~notary~~ notary in Franklin county State of Ohio on this 11th day of June 2021 by Beatrice Bartram and Danny Dahl.

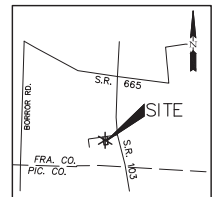
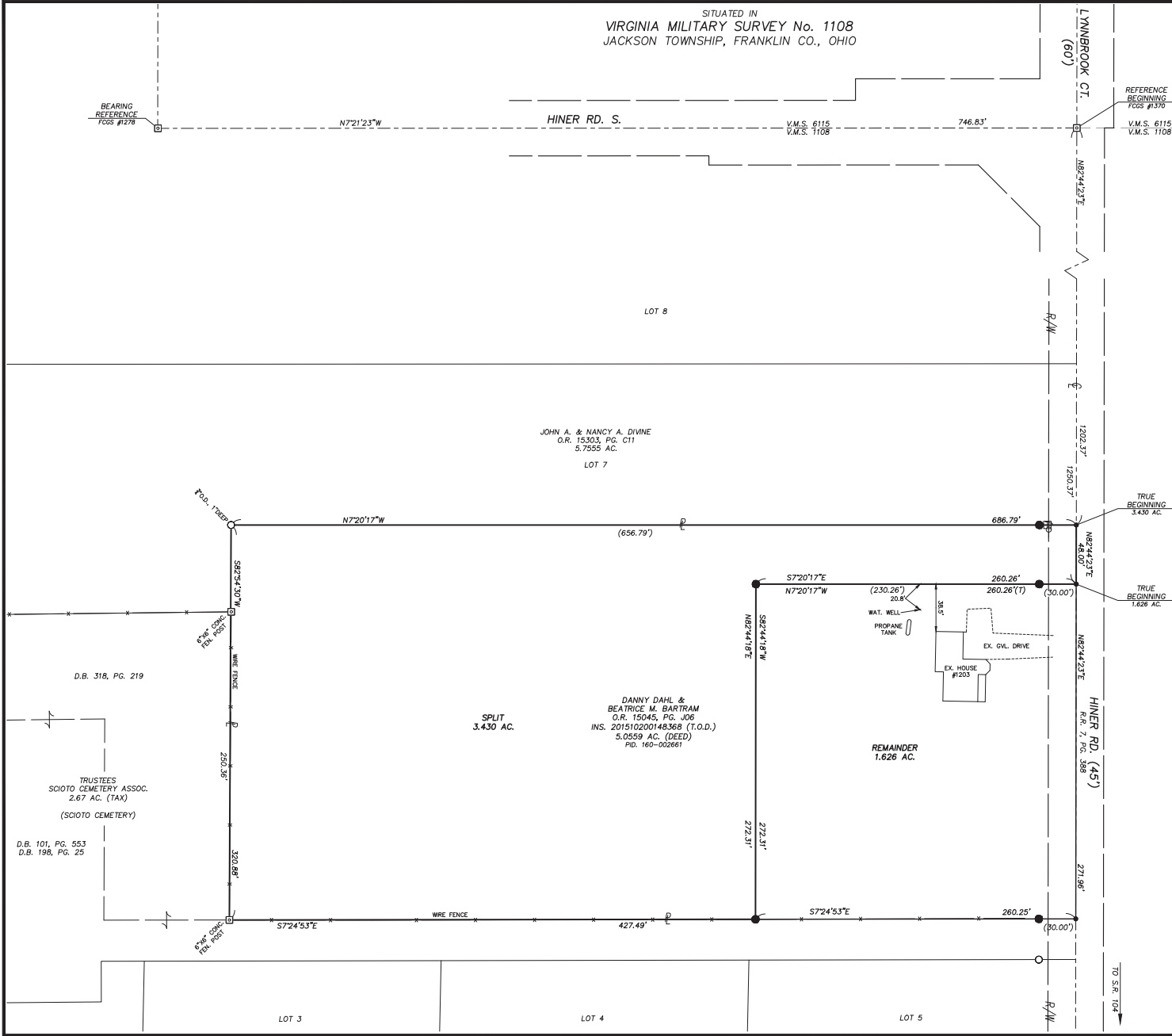
[Signature]

My Commission expires April 8 2026

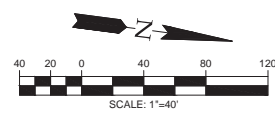


**HANNAH MORRISSEY**  
Notary Public State of Ohio  
My Comm. Expires April 8, 2026

SITUATED IN  
 VIRGINIA MILITARY SURVEY No. 1108  
 JACKSON TOWNSHIP, FRANKLIN CO., OHIO



LAT: 39°48'42"N / LON: 83°02'10"W  
 VICINITY MAP  
 (NOT TO SCALE)



- LEGEND
- IRON PIN FOUND
  - ⊠ SURVEY MONUMENT OR CONC. POST FOUND
  - IRON PIN SET (5/8" O.D. REBAR, 30" LONG W/ I.D. CAP STAMPED LOMANO 7711")
  - MAG NAIL SET
- R/W PUBLIC ROAD RIGHT-OF-WAY  
 P PROPERTY LINE

- SURVEY NOTES
1. Bearings hereon are referenced to N7°21'46"W for the centerline of Hinier Rd. S., from FCGS Monument No. 1278 to FCGS Monument No. 1370.
  2. Lot Nos. hereon referenced to unrecorded plat of "Hinier Road Farm", on file at Franklin Co. Engineer's office.
  3. This survey was performed without a title commitment provided to the surveyor. Easements may exist on the property, or to the benefit of the property, which are not shown hereon.
  4. FLOOD NOTE: Subject property is in "area of minimal flood hazard", per F.E.M.A. F.I.R.M. No. 39049C0416K, with an effective date of 6/17/08.
  6. Subject property currently zoned "RR" - Rural Residential.

**SPLIT PARCEL:**  
 3.430 AC.  
 (0.025 AC. P.R.O.)  
 3.405 AC. NET OF P.R.O.

**REMAINDER PARCEL:**  
 1.626 AC.  
 (0.140 AC. P.R.O.)  
 1.485 AC. NET OF P.R.O.

SCALE: 1"=40'  
 M.S. JOB No. 21-160  
 DATE OF SURVEY: 3/21/21  
 CLIENT: MS. BEATRICE BARTRAM  
 CLIENT P.O. #/A



This plot is based on the survey performed on the property under my supervision in August, 2021.

WESTERVILLE LAND SURVEYING, LLC  
 BY: Michael P. Lomano  
 126 E. HONE ST.  
 WESTERVILLE, OH 43081  
 (614) 899-2209



BOUNDARY SURVEY / SPLIT  
 1203 HINIER RD.  
 ORIENT, OHIO 43146

SHEET  
 1 / 1



# JACKSON TOWNSHIP ZONING DEPARTMENT

(614) 875-2742

**Office Address**  
3756 Hoover Road  
Grove City, OH 43123

**Mailing Address**  
P.O. Box 517  
Grove City, OH 43123

## VARIANCE PERMIT

By Action of the Jackson Township Board of Zoning Appeals, this Permit is Hereby Issued in Accordance with Chapter 108 of the Township Zoning Resolution.

TO: Danny Dahl & Beatrice Bartram Case No. 7-VA 2020  
Applicant  
1203 Hiner Rd  
Orient Ohio 43146

Parcel #160- 602661 Located at 1203 Hiner Road

The Applicant, at a Public Hearing this 14<sup>th</sup> day of December 2020, and Seeking VARIANCE from Section 206.01 of the Jackson Township Zoning Resolution is hereby (circle one) APPROVED / DENIED to: \_\_\_\_\_

With Special Conditions and/or Stipulations as indicated below (or attached hereto): \_\_\_\_\_

RECEIVED

MAY 11 2021

Franklin County Planning Department  
Franklin County, OH

028-21-63

It is understood and accepted by the Applicant that the Restrictions, Stipulations and Conditions indicated above are binding in the acceptance of this Permit. Failing to operate in the manner as approved by the BZA may be grounds for revocation, zoning violations and/or revocation.

Respectfully,

[Signature]  
Board Secretary

12/5/2020  
Date

Note: A Certificate of Zoning Compliance is required prior to the start of construction or any structural changes, modifications or improvements to the property.

Fee Paid by Cash / Check # \_\_\_\_\_

Application # 7-VA-20 80

# APPLICATION FOR VARIANCE

## JACKSON TOWNSHIP BOARD OF ZONING APPEALS

3756 Hoover Road Grove City, OH 43123 (614) 875-2742

Property Owner: DANNY DAHL & BEATRICE BARTRAM Applicant: DANNY DAHL & BEATRICE BARTRAM  
 Address: 1203 HINER Rd. ORIENT, Ohio 43146 Zoned: Residential  
 PID: 160- 002661 Area/Acres: 5+ ACRES Floodplain: 39049C 0416K  
 (Home): \_\_\_\_\_ (Work): \_\_\_\_\_ (Cell): (614) 204-8387-Bea  
(614) 402-8053-Danny  
 Email Address: bea\_bar1203@gmail.com

**Summary of Variance:** On a particular property, extraordinary circumstances may exist making a strict enforcement of the applicable Development Standards of the Zoning Resolution unreasonable or impractical. Therefore, the procedure for Variance from Development Standards is provided to allow the flexibility necessary to adapt to changed or unusual conditions, both foreseen and unforeseen, under circumstances which do not ordinarily involve a change in the application of this Zoning Resolution.

To the Board of Zoning Appeals, the Applicant requests Appeal from Section: \_\_\_\_\_

- |  |   |                                       |
|--|---|---------------------------------------|
| <input type="checkbox"/> Accessory Structure         | <input type="checkbox"/> Access Driveway  | <input type="checkbox"/> Setbacks     |
| <input checked="" type="checkbox"/> Lot Requirements | <input type="checkbox"/> Landscaping      | <input type="checkbox"/> Fence / Wall |
| <input type="checkbox"/> Development Standards       | <input type="checkbox"/> Violation Appeal | <input type="checkbox"/> Other        |

**Requesting the following specific variance:**

WE ARE REQUESTING TO DIVIDE THE LOT AT 1203 HINER RD INTO TWO RESIDENTIAL PARCELS. WE WISH TO MAKE USE OF THE NEW LOT TO BUILD A SINGLE STORY RESIDENCE FOR OUR USE. WE REQUIRE A VARIANCE AS THE 2ND LOT WOULD BE A FLAG LOT WITH 2+ ACRES, LEAVING BOTH LOTS WITHOUT THE REQUIRED FRONTAGE.

**RECEIVED**  
**JUN 15 2021**  
Franklin County Planning Department  
Franklin County, OH

738-1

Under Ohio Law (519.14) the Board of Zoning Appeals may only approve a Variance that (A.) will not be contrary to the public's best interest and (B.) that the spirit and intent of the Zoning Resolution will be observed. The applicant summarizes below the following (Attach extra sheets if necessary):

- Describe the special conditions and/or circumstances that exist and which are peculiar to the land and/or structures for the property seeking Variance. Did the property owner / applicant create the unique circumstances? Yes  No  (circle one).

IN 1990 WE PURCHASED A 5+ ACRE LOT TO BUILD OUR 2 STORY HOME WHERE WE HAVE RESIDED FOR THE PAST 28 YEARS. SINCE THAT TIME WE HAVE AGED & ARE IN NEED OF A SINGLE STORY HOME ON A SMALLER LOT THAT WOULD ALLOW US TO REMAIN IN JACKSON TOWNSHIP NEAR OUR NEIGHBORS, FAMILY & FRIENDS. DIVIDING OUR 5+ ACRES INTO TWO LOTS WILL ALLOW US TO MEET THIS NEED. WE REQUEST TO DIVIDE OUR 5+ ACRES INTO 2 LOTS THAT WOULD EXCEED THE REQUIRED 1 1/2 ACRE, BUT WILL REQUIRE A VARIANCE TO ALLOW THE BACK LOT TO BE CREATED AS A FLAG LOT & ALLOW ACCESS TO HINER ROAD WITHOUT THE REQUIRED FRONTAGE. THIS LOT WOULD BE USED TO CONSTRUCT ONE SINGLE FAMILY HOME FOR OUR USE.

Variance Application (Rev 2018)



# APPLICANT'S AFFIDAVIT

STATE OF OHIO  
COUNTY OF FRANKLIN

I/We DANNY DAHL / BEATRICE BARTRAM  
(Name of property owner / applicant)

1203 HINER ROAD ORIENT, Ohio 43146 Home: \_\_\_\_\_  
(Address) (City, State, Zip Code) (Phone)  
Cell: (614) 204-8387 (Bea)  
(614) 402-8053 (Danny) Business: \_\_\_\_\_  
(Phone) (Phone)

"the above named Owner / Applicant being duly sworn, depose and say that I/We are the owner(s) of the land included in the application and that the foregoing statements contained herein and attached hereto, and any and all supplemental information, attachments or exhibits accurately describe the request to the best of my ability. By filing this Application for Variance. I/We do hereby grant permission to Jackson Township and its employees to enter upon my property and to photograph and document all conditions observed therein and to post all application materials upon the Township's website for public information purposes."

  
\_\_\_\_\_  
(Owner Signature)

Beatrice Bartram  
\_\_\_\_\_  
(Co-Owner Signature)

Subscribed and sworn before me this 3 day of November 2020  
(Day) (Month) (Year)

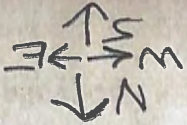
\_\_\_\_\_  
(Notary Signature)

Stamp or Seal

## ACTION BY TOWNSHIP

Application Received & Accepted by: \_\_\_\_\_ Date: \_\_\_\_\_

Hearing Date: \_\_\_\_\_ 7:00pm at the Jackson Township Hall, Grove City, Ohio



Cemetery

Shed

Proposed House

Septic system?

5.05 acres  
Proposing Divide lot  
for second house on

5.05  
Acres  
- Asking to Divide lot.  
- 1203 Hiner Rd.  
Orient, OH 43146  
3 bedrooms.

Septic system

well

well

Divide Way

1203 HINER ROAD

Bea Bartram / DANNY DATH  
(614) 204 8387

RECEIVED  
JUN 15 2021  
Franklin County Planning Department  
Franklin County, OH

738-U



# Attachment —



\* Actual Survey will give land amounts. Front/house lot at least 2 acres. Flag lot 3 acres.



**RECEIVED**  
**JUN 15 2021**  
 Franklin County Planning Department  
 Franklin County, OH

Application for  
**Subdivision Preliminary Plan**  
 Page 1



**Property Information**

Site Address: **Riverside Drive**

---

Parcel ID(s): 212-001360, 212-001359, 221-001344, 212-001343, 212-001342, 212-001341, 212-001340, 212-001339, 212-001338, 212-001337, 212-001336, 212-001335, 212-001334, 212-001333, 212-001332, 212-001332, 212-001331, 212-001330, 212-001329, 212-001328, 212-001327, 212-001326, 212-001325, 212-001324, 212-001365

---

Total Acreage: <b>7.166</b>	Current Zoning: <b>PRD</b>
Township: <b>Perry</b>	School District: <b>Dublin City</b>
Fire Department: <b>Upper Arlington</b>	Police Department: <b>Perry Township</b>

**Staff Use Only**

Case # **739-PP**

---

Date Filed: **6/15/21**

---

Fee Paid: **\$3,150**

---

Receipt # **21-02105**

---

Received By: **BMF**

---

Date Accepted/Rejected:

---

Planning Commission Date: **7/14/21**

**Subdivision Proposal**

**General**

Proposed Subdivision Name: **Courtyards at Riverside - Phase 1 (Partial Re-plat)**

Total Number of Lots Proposed: **23**      Proposed Number of Phases: **1**

Non-Residential Areas		Typical Lot Characteristics	
Reserve Areas:	<b>0.952</b> acres	Width:	<b>52</b> ft
Open Space:	<b>0.586</b> acres	Depth:	<b>120</b> ft
Streets:	<b>2.835</b> acres	Typical Lot Area:	<b>0.14</b> acres

**Roadways**

Existing Access Roads	Proposed New Streets	Roadway Design
<input checked="" type="checkbox"/> State	<input checked="" type="checkbox"/> Public	Will the subdivision have sidewalks? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> County	<input type="checkbox"/> Private	
<input type="checkbox"/> Township	<input type="checkbox"/> Both	Will the subdivision have curbs and gutters? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Not Applicable	<input type="checkbox"/> Not Applicable	

**Stormwater Infrastructure**

Public

---

Private

---

Other

**Water & Wastewater**

Water Supply	Wastewater Treatment
<input checked="" type="checkbox"/> Public (Central)	<input checked="" type="checkbox"/> Public (Central)
<input type="checkbox"/> Private (On-site)	<input type="checkbox"/> Private (On-site)
<input type="checkbox"/> Other	<input type="checkbox"/> Other

**Subdivision Variance Needed**

Yes      If yes, you must attach a Variance Application to the Preliminary Plan Application

---

No

---

\*Proposals requiring more than 3 variances must be heard at a separate meeting.

**Checklist**

- Completed Application

---

- Fee Payment (*checks only*)

---

- Preliminary Plan - 5 Copies folded

---

- Preliminary Plan - One 11"x17"

---

- Electronic Copy in PDF and CAD

---

- Subdivider's Agreement & HOA Declaration



**Property Owner Information**

Name: Epcon Riverside, LLC

Address: 500 Stonehenge Parkway

Dublin, OH 43017

---

Phone # 614-764-1010 Fax # 614-761-1155

Email: bdougherty@epconcommunities.com

**Engineer/Surveyor Information**

Name: Advanced Civil Design, Inc. - James Whitacre

Address: 781 Science Blvd, Suite 100

Gahanna, OH 43230

---

Phone # 614-428-7742 Fax # 614-428-7755

Email: jwhitacre@advancedcivildesign.com

**Applicant Information**  Same as property owner  Same as engineer/surveyor

Name:

Address:

---

Phone # Fax #

Email:



Franklin County Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

## Application for Subdivision Preliminary Plan Page 3



### Applicant Signature

The undersigned acknowledge/s this Preliminary Plan Application does not constitute a Subdivision Plat application and understands the filing deadlines and meeting schedules associated with this request. Approval of a Preliminary Plan does not constitute acceptance of any public improvements shown. Such acceptance can only be made in conjunction with the Final Plat requirements and procedures specified in the Franklin County Subdivision Regulations. The Subdivision Plat is not considered filed until a Final Plat application is submitted and accepted, in accordance with the Subdivision Regulations of Franklin County, Ohio.

To the best of my/our knowledge and belief, information and materials submitted as a part of this Preliminary Plan application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes.

By Joel Rhoades, Regional President  
Applicant

14 June 2021  
Date

Joel Rhoades  
Engineer

14 June 2021  
Date

By Joel Rhoades, Regional President  
Property Owner (Signature must be notarized)

14 June 2021  
Date

\_\_\_\_\_  
Property Owner (Signature must be notarized)

\_\_\_\_\_  
Date

STATE OF OHIO, COUNTY OF FRANKLIN, ss:

Joel D. Rhoades, Regional President of Epcor Riverside, LLC, the Property Owner, acknowledged before me that he did sign the foregoing Application for Subdivision Preliminary Plan as such Regional President on behalf of Epcor Riverside, LLC this 14th day of June, 2021.

Teresa D. Grubbs  
Notary Public



**TERESA D. GRUBBS**

NOTARY PUBLIC  
STATE OF OHIO

My Commission Expires  
July 7, 2021



Application for  
**Subdivision Variance**  
 Page 1

**RECEIVED**  
**JUN 15 2021**  
 Franklin County Planning Department  
 Franklin County, OH



**Property Information**

Site Address:  
**Riverside Drive**

---

Parcel ID(s): 212-001360, 212-001359, 221-001344, 212-001343, 212-001342, 212-001341, 212-001340, 212-001339, 212-001338, 212-001337, 212-001336, 212-001335, 212-001334, 212-001333, 212-001332, 212-001331, 212-001330, 212-001329, 212-001328, 212-001327, 212-001326, 212-001325, 212-001324, 212-001365

---

Total Acreage: <b>7.166</b>	Current Zoning: <b>PRD</b>
Township: <b>Perry</b>	Subdivision: <b>Courtyards at Riverside - Phase 1 (Partial Re-plat)</b>

**Staff Use Only**

Case #  
**739-V**

---

Date Filed: **6/15/21**

---

Fee Paid: **\$700**

---

Receipt # **21-02107**

---

Hearing Date: **7/14/21**

---

Received By: **Bmf**

**Requested Variances/Decision or Interpretation Appealed**

Section Number(s) of the county subdivision regulations and a brief description of variance(s) requested:

Section <b>501.05 501.07</b>	Description <b>Variance to allow Side lot lines to be more than 5 degrees of being perpendicular or radial to the street centerline. Block standards - Variance to allow a block length of greater than 1000 feet.</b>
Section <b>501.09</b>	Description <b>Variance to allow sidewalk on just one side of the street.</b>
Section <b>502.13, 502.15</b>	Description <b>502.13 - Variance to allow dead end streets without a turn around. 502.15 - Variance to allow centerline radii to be less than 175 feet. Variance to reduce minimum right-of-way width from 50 feet to 22 feet. Variance to reduce the minimum pavement width from 25 feet to 19 feet.</b>

**The following shall govern the granting of the variance: (Provide explanation, use separate sheet if needed)**

Is the variance detrimental to the public health or safety or is it injurious to other property?

Yes

No

Variations are not detrimental to public health. The lot lines do not affect public health at all. The street geometry has been reviewed by the fire department and found to be sufficient for emergency vehicle access.

---

Are the circumstances of the request unique to the property and not generally applicable to others?

Yes

No

Yes, this property was originally in the City of Columbus. A detachment agreement between Perry Township and City of Columbus moved this project into the Township for the benefit of the Township. At that time lot layout and street design had already been completed and built. It was contemplated through agreements with the Township that the project would not need to be modified as a result of the detachment.

---

Due to physical surroundings, shape or characteristics of the property, would a hardship result, as distinguished from an inconvenience, if the strict letter of the Subdivision Regulations were enforced?

Yes

No

Yes, this is an infill project with all of the surrounding areas having been developed for many years. Given the sites geometric and topographic constraints the strict letter of the Subdivision Regulations cannot be met.





Franklin County  
Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

## Application for Subdivision Variance Page 2



### Property Owner Information

Name: Epcon Riverside, LLC

Address: 500 Stonehenge Parkway  
Dublin, OH 43017

Phone # 614-764-1010

Fax # 614-761-1155

Email: bdougherty@epconcommunities.com

### Engineer/Surveyor Information

Name: Advanced Civil Design, Inc. - James Whitacre

Address: 781 Science Blvd, Suite 100  
Gahanna, OH 43230

Phone # 614-428-7742

Fax # 614-428-7755

Email: jwhitacre@advancedcivildesign.com

### Applicant Information

Same as property owner

Same as engineer/surveyor

Name:

Address:

Phone #

Fax #

Email:

### Water & Wastewater

#### Water Supply

Public (Central)

Private (On-site)

Other:

#### Wastewater Treatment

Public (Central)

Private (On-site)

Other:

### Checklist

Completed Application

Fee Payment (*checks only*)

Copy of denied application, if applicable

Site plan, max. size 11"x17"

Proof of Water/Wastewater



Franklin County Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

## Application for Subdivision Variance Page 3



### Applicant Signature

To the best of my/our knowledge and belief, information and materials submitted as a part of this Variance application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes.

By Joel D. Rhoades, Regional President  
Applicant

14 June 2021  
Date

James Winters  
Engineer

14 June 2021  
Date

By Joel D. Rhoades, Regional President  
Property Owner (Signature must be notarized)

14 June 2021  
Date

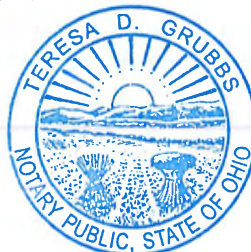
\_\_\_\_\_  
Property Owner (Signature must be notarized)

\_\_\_\_\_  
Date

STATE OF OHIO, COUNTY OF FRANKLIN, ss:

Joel D. Rhoades, Regional President of Epcon Riverside, LLC, the Property Owner, acknowledged before me that he did sign the foregoing Application for Subdivision Variance as such Regional President on behalf of Epcon Riverside, LLC this 14<sup>th</sup> day of June, 2021.

Teresa D. Grubbs  
Notary Public



**TERESA D. GRUBBS**

NOTARY PUBLIC  
STATE OF OHIO

My Commission Expires  
July 7, 2021

PLAN PREPARED BY:  
 781 Silverdale Boulevard  
 Suite 100  
 Columbus, Ohio 43260  
 Tel: 614.426.7700  
 Fax: 614.426.7705  
**ADVANCED CIVIL DESIGN**  
 ENGINEERS & SURVEYORS

PLAN PREPARED FOR:  
**EPCON Communities**  
 Where Life Comes Together<sup>®</sup>

PLAN PREPARED FOR:  
 PERRY TOWNSHIP, FRANKLIN COUNTY, OHIO  
**PRELIMINARY PLAN**  
 FOR  
**THE COURTYARDS ON RIVERSIDE - PHASES 1 (RE-PLAT)**  
 FOR  
**EPCON COMMUNITIES, INC.**  
**TITLE SHEET**

Issue Dates:	
Date:	06/15/2021
Scale:	1" = 100'
Drawn By:	JRR
Checked By:	JW
Project Number:	18-0008-27
Drawing Number:	1/5

# PRELIMINARY PLAN FOR THE COURTYARDS ON RIVERSIDE - PHASE 1 RE-PLAT PERRY TOWNSHIP, FRANKLIN COUNTY, OHIO 2021



### INDEX OF DRAWINGS

TITLE SHEET	1
GENERAL NOTES & TYPICAL SECTION	2
EXISTING CONDITIONS	3-4
SITE PLAN	5

### BENCHMARKS

BASED ON OHIO SOUTH ZONE (NAVD 1988 DATUM)  
 SOURCE - ELEVATIONS WERE ESTABLISHED USING 45 MINUTE STATIC OBSERVATIONS UTILIZING GLOBAL POSITIONING SYSTEM (GPS) PROCEDURES. THE GPS DATA WAS SUBMITTED TO THE NATIONAL GEODETIC SURVEY'S (NGS) ONLINE POSITIONING USER SERVICE (RAPD--STATIC (GPS--RS) SYSTEM FOR PROCESSING. THE SYSTEM USES THE CONTINUALLY OPERATING REFERENCE STATIONS (CORS) TO ESTABLISH THE GEODETIC ELEVATION. NEAREST NGS PUBLISHED CONTROL POINT FRANK 73 (ELEVATION = 801.71)

SITE BM 1 - EAST RM OF SANITARY SEWER MANHOLE +/- 36 FEET WEST OF THE CENTERLINE OF RIVERSIDE DRIVE. +/- 2,100 FEET SOUTH OF THE CENTERLINE OF GRANSTON DRIVE. SHOWN ON BASE MAP AS "BM #1". ELEVATION: 787.93

SITE BM 2 - EAST RM OF SANITARY SEWER MANHOLE +/- 15 FEET WEST OF THE CENTERLINE OF RIVERSIDE DRIVE. +/- 1,764 FEET SOUTH OF THE CENTERLINE OF GRANSTON DRIVE. SHOWN ON BASE MAP AS "BM #2". ELEVATION: 787.87

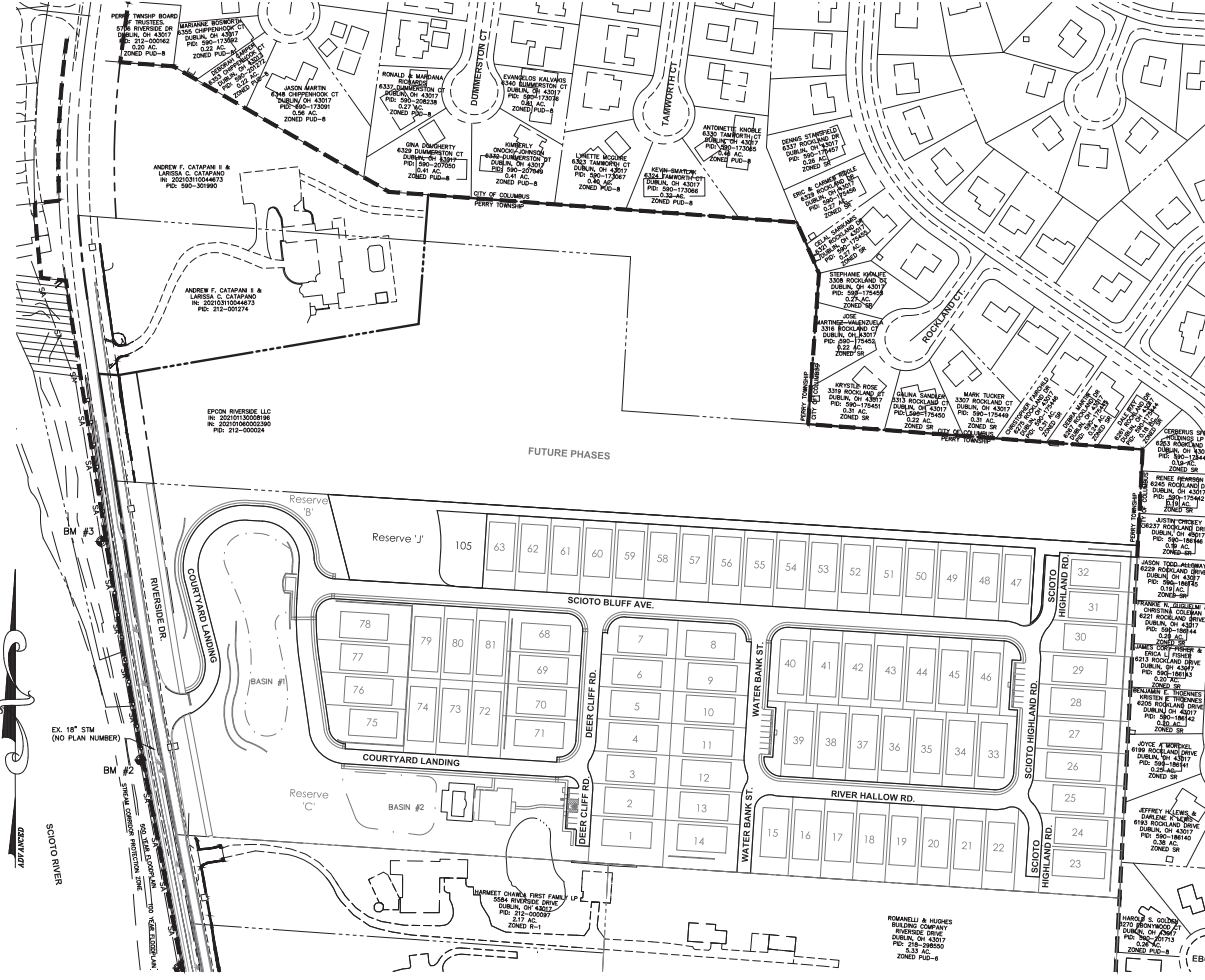
SITE BM 3 - EAST RM OF SANITARY SEWER MANHOLE +/- 18 FEET WEST OF THE CENTERLINE OF RIVERSIDE DRIVE. +/- 1,415 FEET SOUTH OF THE CENTERLINE OF GRANSTON DRIVE. SHOWN ON BASE MAP AS "BM #3". ELEVATION: 788.71

### GENERAL SUMMARY

GROSS SITE AREA (AC.)	7.166
NUMBER OF MODIFIED LOTS	23
GROSS DENSITY (DU/AC.)	3.78
EXISTING RIGHT-OF-WAY (AC.)	0.000
PROPOSED INTERNAL RIGHT-OF-WAY (AC.)	2.835
RESERVE AREA (AC.)	1.538
ZONING	PRD
MINIMUM LOT SIZE	6,240 S.F. (0.143 AC.)
MAXIMUM LOT COVERAGE	80%
SCHOOL DISTRICT	DUBLIN
PARCEL OWNER	EPCON RIVERSIDE LLC
PARCEL ID NUMBERS	212-001360, 212-001359, 212-001344, 212-001343, 212-001342, 212-001341, 212-001340, 212-001339, 212-001338, 212-001337, 212-001336, 212-001335, 212-001334, 212-001333, 212-001332, 212-001331, 212-001330, 212-001329, 212-001328, 212-001327, 212-001326, 212-001325, 212-001324, 212-001363

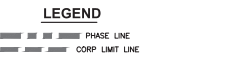
### SETBACK TABLE

FRONT SETBACK	20'
STREET SIDE SETBACK	12'
SIDE YARD SETBACK	0' (10' MAX COMBINED SIDE YARD)
MINIMUM REAR YARD SETBACK	10'
PERMETER REAR YARD SETBACK	25'



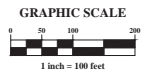
- ### NOTES
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - PARKING STALLS ARE 9'X18', TYP.
  - THE PROPOSED SITE HAS A GROUNDWATER POLLUTION POTENTIAL INDEX OF 85 WHICH IS AT THE LOW END OF THE SPECTRUM
  - EXISTING RESERVES 'A' & 'C' ARE OWNED BY THE HOA AND SHALL BE USED FOR OPEN SPACE AND STORMWATER MANAGEMENT. STORMWATER BASIN WILL BE MAINTAINED BY THE HOA.
  - RESERVE B SHALL BE OWNED BY THE HOA AND SHALL BE USED FOR COMMUNITY RECREATION SPACE.
  - RESERVE J WILL BE PART OF THE PLAT FOR PHASES 2 AND 3.
  - STORMWATER INFRASTRUCTURE LOCATED OUTSIDE OF THE RIGHT-OF-WAY WILL BE MAINTAINED BY THE HOA.
  - ALL PAVING AND INFRASTRUCTURE IS EXISTING.

- ### VARIANCES
- 501.05 - LOT GEOMETRY - VARIANCE TO ALLOW SIDE LOT LINES TO BE MORE THAN 5 DEGREES OF BEING PERPENDICULAR TO RADIAL TO THE STREET CENTERLINE. AFFECTS LOTS 3, 7, 8, 12, 22, 24, 25, 30, 31, 47, 71, 75-78, 105.
- 501.07 - BLOCK STANDARDS - BLOCK ALONG SCOTO BLUFF AVENUE EXCEED 1000 FEET.
- 502.09 - CURB-AND-GUTTER/SIDEWALKS - VARIANCE TO ALLOW SIDEWALK ON JUST ONE SIDE OF THE STREET.
- 502.13 - CURB-AND-GUTTER, STUB AND DEAD-END STREET SYSTEMS - VARIANCE TO ALLOW DEAD-END STREETS LESS THAN 150 FEET LONG TO BE CONSTRUCTED WITHOUT A TURN AROUND.
- 502.15 - STREET DESIGN VARIANCE TO ALLOW CENTERLINE RADII TO BE LESS THAN 175 FEET. MIN. RADII IS 40 FEET. VARIANCE TO REDUCE MINIMUM RIGHT-OF-WAY WIDTH FROM 80 FEET TO 23 FEET. VARIANCE TO REDUCE THE MINIMUM PAVEMENT WIDTH FROM 25 FEET TO 18 FEET.



### FLOOD NOTE

By graphic plotting only this property is located in Zone "X" (Areas determined to be outside of the 500-year flood plain) by the Federal Emergency Management Agency on Flood Insurance Rate Map, Community Panel No. 39048Z0123C, with an effective date of June 17, 2009, in Franklin County, Ohio. No field surveying was performed to determine this zone.



### INDEX MAP

SCALE: 1" = 100'

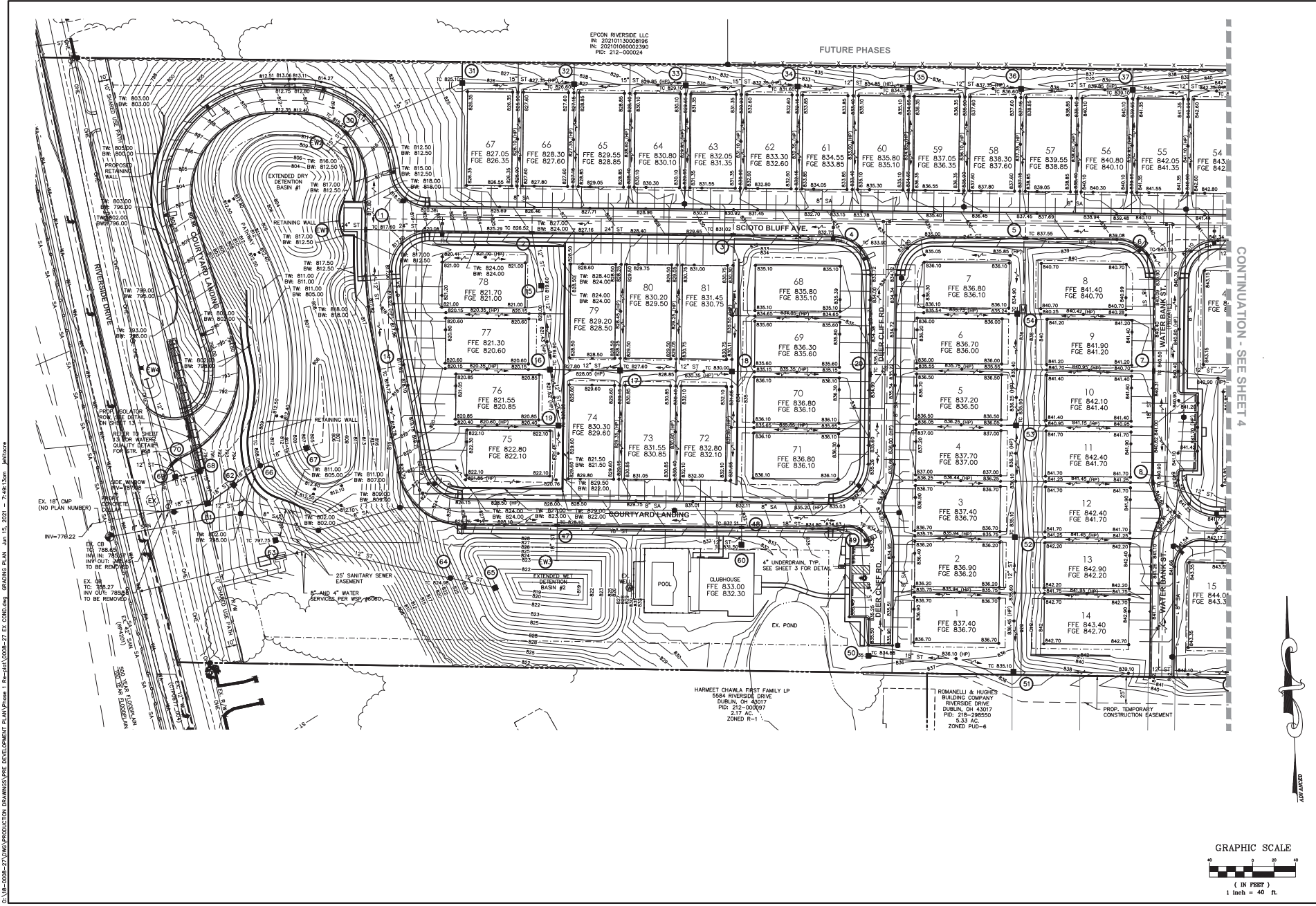
ENGINEER  
**ADVANCED CIVIL DESIGN, INC.**  
 781 SCIENCE BOULEVARD, SUITE 100  
 GAHANNA, OH 43030  
 PHONE (614) 426-7750  
 FAX (614) 426-7755  
 CONTACT: JAMES D. WHITACRE, P.E.  
 EMAIL: JWHITACRE@ADVANCEDCIVILDESIGN.COM

DEVELOPER  
**EPCON COMMUNITIES, INC.**  
 500 STONEHEDGE PARKWAY  
 DUBLIN, OH 43017  
 PHONE (614) 784-1010  
 FAX (614) 781-1155  
 CONTACT: BRIAN DOUGHERTY  
 EMAIL: BDOUGHERTY@EPCONCOMMUNITIES.COM

G:\18-0008-27\JAMES\PRODUCTION\DRAWINGS\PRE-DEVELOPMENT\PLAN\Phase 1 Re-Plat\0008-27 TitleSheet Jun 15, 2021 - 2:39:02pm - jwhitacre







EPCON RIVERSIDE LLC  
 IN: 20210113060896  
 PID: 212-000024

FUTURE PHASES

CONTINUATION - SEE SHEET 4

HARMEET CHAWLA FIRST FAMILY LP  
 5504 RIVERSIDE DRIVE  
 DUBLIN, OH 43017  
 PID: 212-000097  
 2.17 AC.  
 ZONED R-1

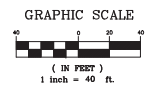
ROMANELLI & HUGHES  
 BUILDING COMPANY  
 RIVERSIDE DRIVE  
 DUBLIN, OH 43017  
 PID: 218-298550  
 5.33 AC.  
 ZONED PUD-6

PLAN PREPARED BY:  
  
 ADVANCED  
 COMMUNITIES  
 CLAYTON, OH  
 791 Sylvania Road  
 Suite 100  
 Cincinnati, Ohio 45226  
 phone: 513-442-7776  
 fax: 513-442-7775  
 WWW.EPCON.COM

EPCON  
 Communities  
 Where Life Comes Together®

FERRY TOWNSHIP, FRANKLIN COUNTY, OHIO  
 PRELIMINARY PLAN  
 THE COURTYARDS ON RIVERSIDE - PHASES 1 (RE-PLAN)  
 FOR  
 EPCON COMMUNITIES, INC.  
 EXISTING CONDITIONS PLAN

Issue Date:  
 Date: 06/15/2021  
 Scale: 1" = 40'  
 Drawn By: JRR  
 Checked By: JWW  
 Project Number:  
 18-0008-27  
 Drawing Number:  
 3 / 5



C:\18-0008-27\DWG\PRODUCTION DRAWINGS\PRE DEVELOPMENT PLAN\Phase 1 (Re-Plan)\0008-27 EX COND.dwg GRADING PLAN Jun 15, 2021 7:48:13am Millstone

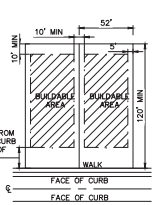




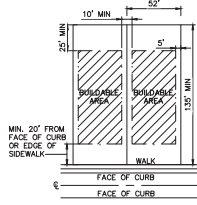
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ALL DIMENSIONS AND R/W'S ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.  
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 THE PROPOSED SITE HAS A GROUNDWATER POLLUTION POTENTIAL INDEX OF 85 WHICH IS AT THE LOW END OF THE SPECTRUM.  
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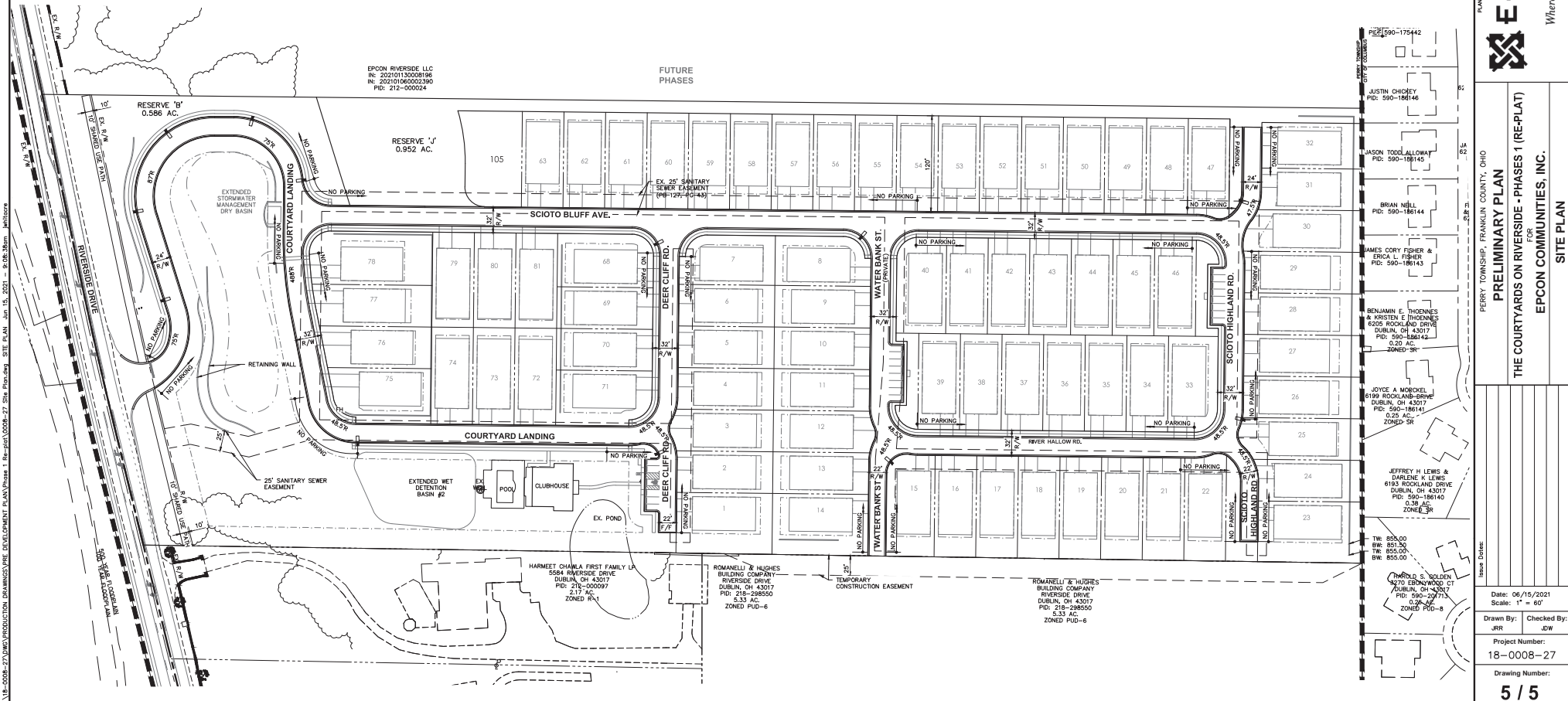


1. TYPICAL INTERIOR LOT CONFIG.  
SCALE: 1"=60'



2. TYPICAL PERIMETER LOT CONFIG.  
SCALE: 1"=60'

**GRAPHIC SCALE**



G:\18-0008-27\DWG\PRODUCTION DRAWINGS\PRE DEVELOPMENT PLAN\Phase 1 - Re-plot\0008-27 Site Plan.dwg SITE PLAN, Jun 15, 2021 - 9:28:35am, jwholton

PLAN PREPARED BY:

7th Edition Building Code 1909  
Columbus, Ohio 43220  
Phone: 614.426.7700  
Fax: 614.426.7700  
www.epcon.com

**EPCON**  
Communities  
Where Life Comes Together®

PERRY TOWNSHIP, FRANKLIN COUNTY, OHIO

**PRELIMINARY PLAN**  
THE COURTYARDS ON RIVERSIDE - PHASES 1 (RE-PLAT)  
FOR  
**EPCON COMMUNITIES, INC.**

DATE: 06/15/2021  
Scale: 1" = 60'  
Drawn By: JRR  
Checked By: JWW  
Project Number:  
18-0008-27  
Drawing Number:  
**5 / 5**



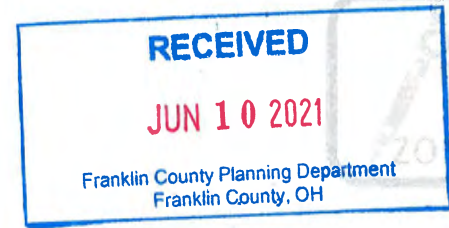


Franklin County  
Board of Commissioners

**ECONOMIC DEVELOPMENT  
& PLANNING**

Economic Development & Planning Department  
James Schimmer, Director

Application for  
**Rezoning**  
Page 1



**Property Information**

Site Address: 3505 Westerville Rd, Columbus OH 43224

Parcel ID(s): 190-000089-00

Total Acreage: 2.03 Township: Mifflin Township

**Property Description**

Acres to be rezoned: 2.03

Current Land Use: Residential

Surrounding Land Uses:

North	<u>Commercial</u>
South	<u>Commercial</u>
East	<u>Westerville Rd</u>
West	<u>Commercial</u>

**Rezoning Request**

Current Zoning: ~~R-Residential~~ SCPD

Proposed Zoning: ~~Select Commercial Planned District (SCPD)~~ LI

Proposed Land Use: Tractor Services

Purpose for Request:

**We are Small Trucking Company and we want to use the property for Tractor Services, Tractor Parts Sale and Tractor Parking.**

**Staff Use Only**

Case #: ZON-21-02

Date Filed: 6/10/21

Fee Paid:

Receipt #:

Received By: BMF

Technical Review Date: 6/22/21

Reg. Darby Panel Date: ---

Planning Commission Date: 7/14/21

Rural Zoning Commission Date: 7/22/21

Commissioners Date: 8/10/21

**Checklist**

Fee Payment (check only)

Completed Application

Notarized Affidavit

Legal description of property

Location/Area map

Water/Wastewater Information

Development Plan (if a planned district request)

**Water & Wastewater**

**Water Supply**

Public (Central)

Private (On-site)

Other

**Wastewater Treatment**

Public (Central)

Private (On-site)

Other



Franklin County  
Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

## Application for Rezoning Page 2



### Property Owner Information

Name: **AHB Transportation LLC**

Address: **2782 Westerville Rd**  
**Columbus OH 43224**

Phone #: **614-446-9304** Fax #

Email: **ahbtransportationllc@gmail.com**

### Applicant Information

Same as property owner

Name:

Address:

Phone #: Fax #

Email:



Franklin County  
Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

## Application for Rezoning Page 3



### Signatures

To the best of my/our knowledge and belief, information and materials submitted as a part of this Rezoning application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes. We understand that delays or failings may impact the hearing schedule.

Applicant

Date

*Abdi*

*6/8/2021*

Property Owner (Signature must be notarized)

Date

Property Owner (Signature must be notarized)

Date

*[Signature]*

**SHIRWAN ABDI**  
Notary Public, State of Ohio  
My Commission Expires 01/19/2025

*[Signature]*

*2021*



RECEIVED

JUN 10 2021

Franklin County Planning Department  
Franklin County, OH

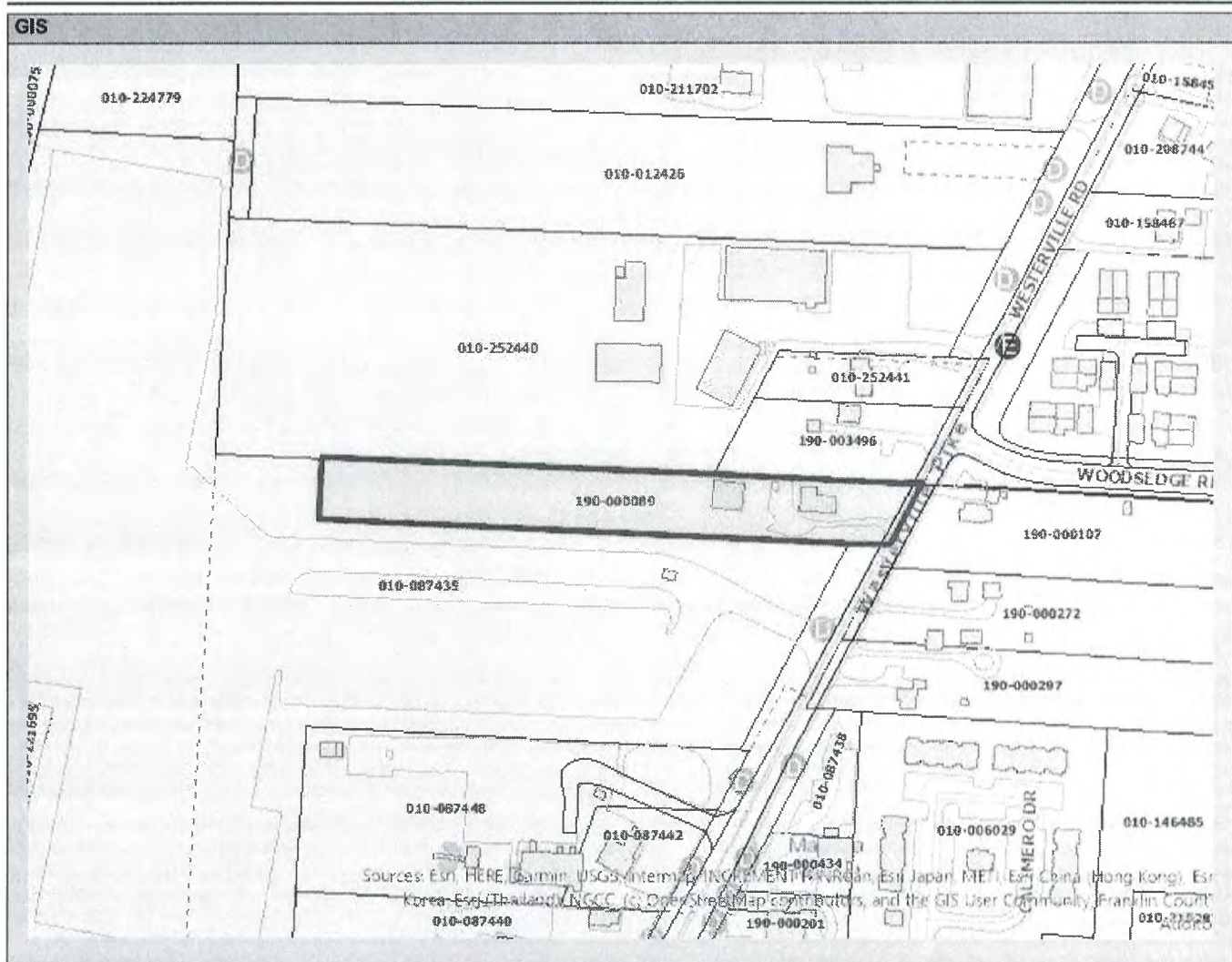


ZON-21-02

MAP(GIS)

Generated on 06/04/2021 at 08:39:24 PM

Parcel ID	Map Routing No	Owner	Location
1900008900	1900056D 02100	AHB TRANSPORTATION LLC	3505 WESTERVILLE RD



Disclaimer

This drawing is prepared for the real property inventory within this county. It is compiled from recorded deeds, survey plats, and other public records and data. Users of this drawing are notified that the public primary information source should be consulted for verification of the information contained on this drawing. The county and the mapping companies assume no legal responsibilities for the information contained on this drawing. Please notify the Franklin County GIS Division of any discrepancies.

The information on this web site is prepared for the real property inventory within this county. Users of this data are notified that the public primary information source should be consulted for verification of the information contained on this site. The county and vendors assume no legal responsibilities for the information contained on this site. Please notify the Franklin County Auditor's Real Estate Division of any discrepancies.





Franklin County  
Board of Commissioners

**ECONOMIC DEVELOPMENT  
& PLANNING**

Economic Development & Planning Department  
James Schimmer, Director

Application for

**Zoning Variance**

Pursuant to Section 810 of the Zoning Resolution

Page 1 of 7



(revised 7.13.19)

**Property Information**

Site Address: 6855 Darby Blvd Grove City, OH 43123  
 Parcel ID: 238-002317 Zoning District:  
 Lot Acreage: .2594 50x226 Township: Pleasant Township

**Property Owner Information**

Name: Teresa Young  
 Address: 6855 Darby Blvd.  
 Phone # 614-620-2986 Fax #  
 Email: Derek@cjerestoration.com

**Applicant Information**  Same as property owner

Name: Derek Cox  
 Address: 1500 W. 3rd Ave  
Columbus, OH 43212  
 Phone # 614.357.0119 Fax #  
 Email: Derek@cjerestoration.com

**Agent Information**

Name:  
 Address:  
 Phone # Fax #  
 Email:

**Staff Use Only**

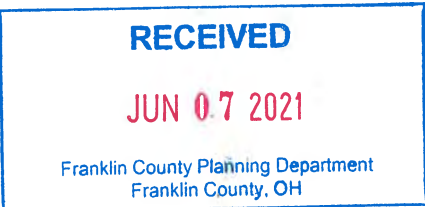
Case # VA-4008  
 Date Filed: 6/7/21  
 Received By: BMP  
 Fee Paid: \$350  
 Receipt Number: 21-01971  
 Hearing Date: 7/19/21  
 Technical Review: 6/22/21  
 Zoning Compliance #:  
21-238

**Checklist**

- Completed Application
- Fee Payment (checks only)
- Auditor's Map (8.5"x11")
- Site Map (max 11"x17")
- Covenants and deed
- Notarized signatures
- Proof of water/wastewater supply
- Copy of denied Zoning Certificate
- Copy of denial letter

**Water & Wastewater**

- Water Supply**
- Public (Central)
  - Private (On-site)
  - Other
- Wastewater Treatment**
- Public (Central)
  - Private (On-site)
  - Other





# Zoning Variance



Case# VA-

**Variance(s) Requested:**

Section: 110.041

Description: Lot doesn't meet the non-conforming lot frontage of 60'.

Section: 302.043

Description: Side yard required of 8'. Right side only 1'6".

Section: 650-162(a)

Description: Construction prohibited in Big Darby Riparian Setback.

**Describe the project:**

- Homeowners house caught on fire. Insurance scope has us rebuilding the home as is. Rebuild the home on top of existing foundation that was there.

\* Section 502-021 (Driveway) - This will be fixed per code. Brought atleast 3' away from property line

**NOTE: To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.**

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.

There are 3 variances that fall outside the requirements. These were pre existing conditions. Neighbors have similar "problems".



# Zoning Variance



Case# VA-

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

- Similar neighboring houses in this area have the exact issues that are outside the zoning requirements

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

- These conditions/circumstances came w/ the house when previously purchased by the current homeowner.

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

- These approvals will be similar to surrounding neighbors in the area.

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

No

6. Can there be any beneficial use of the property without the variance?

We would not be able to rebuild the home that was previously there for the homeowner.





# Zoning Variance



Case# VA-

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

Lot width (53' vs 150'), Road frontage (53' vs 150'), Lot Area (27 acres vs 2.5)  
Side Yard Right (1'6" vs 12')

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

No. the adjoining properties share similar lot sizes.

9. How would the variance adversely affect the delivery of governmental services? (e.g., water, sewer, garbage, fire, police - Verification from local authorities - i.e. fire might be required)

There would be no issues

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

No, the homeowner had no idea on zoning restrictions.  
House was already built.

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

No. We would be unable to rebuild her home

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

Yes. The homeowner would be able to live there again.





Franklin County  
Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

Application for

# Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 5 of 7



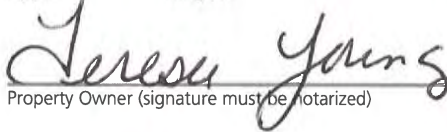
Case# VA-

### Affidavit \*\*

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form and all applicable requirements of the Franklin County Zoning Resolution. The affiant further acknowledges that a Certificate of Zoning Compliance may only be issued for an approved Variance within the period of one (1) year from the date of final approval by the Board of Zoning Appeals; if an approved Variance has not been used within one (1) year of its date of issuance, meaning there has not been active and substantial improvement to a property in accordance with a valid Variance, then the Variance shall expire and no work may commence or continue without either renewing the Variance or receiving a new Variance approval from the Board of Zoning Appeals in accordance with Section 810 of the Franklin County Zoning Resolution.

  
\_\_\_\_\_  
Applicant/Authorized Agent \*

6-7-21  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Property Owner (signature must be notarized)


6-7-21  
\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner (signature must be notarized)

\_\_\_\_\_  
Date

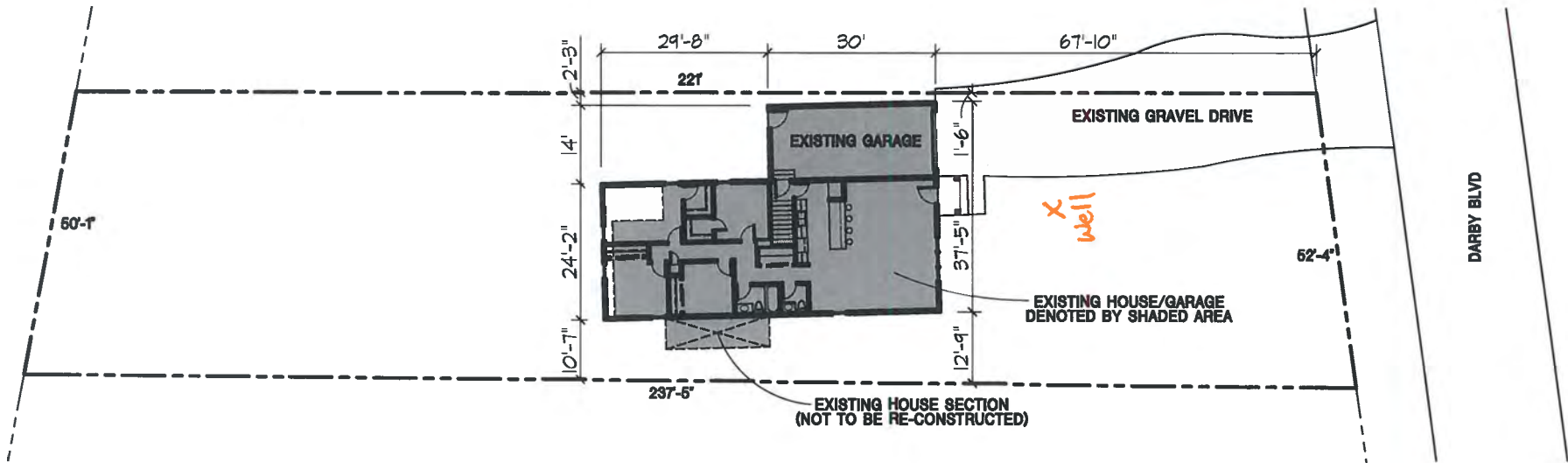
**\*Agent must provide documentation that they are legally representing the property owner.**

**\*\*Approval does not invalidate any restrictions and/or covenants that are on the property.**

SIGNED BEFORE ME KEVIN COLES A NOTARY  
PUBLIC IN THE STATE OF OHIO COUNTY OF FRANKLIN  
ON 7 JUNE 2021 



**Kevin Coles**  
Notary Public  
State of Ohio  
Certificate # 2020-RE-816048  
My Commission Expires  
June 22, 2025



## OVERALL SITE PLAN

1"=30'-0"

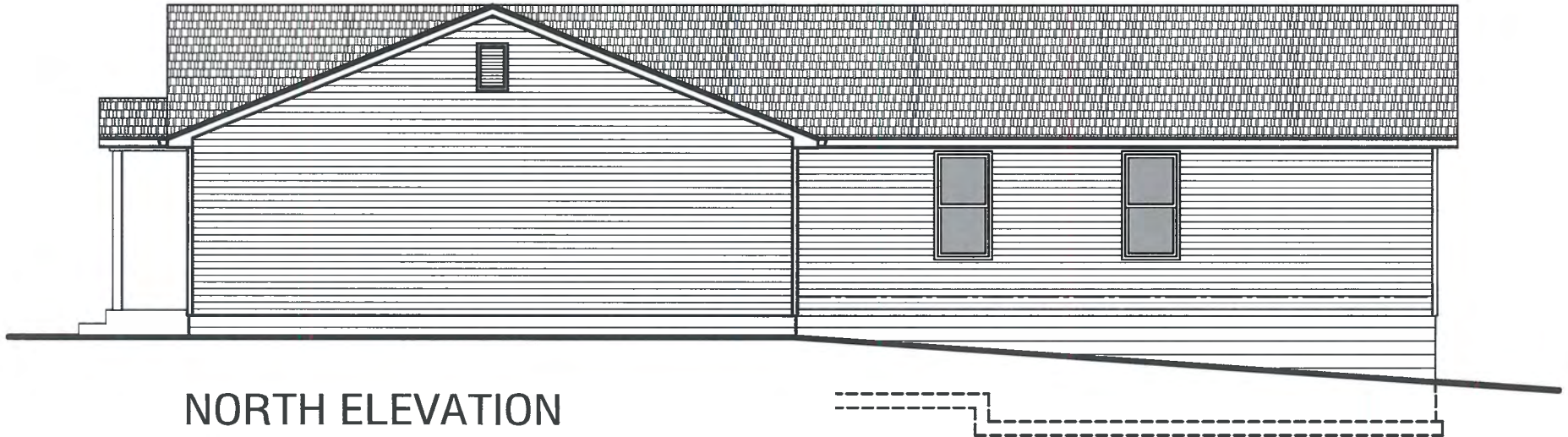


VA-4008



## EAST ELEVATION

1/8"=1'-0"



## NORTH ELEVATION

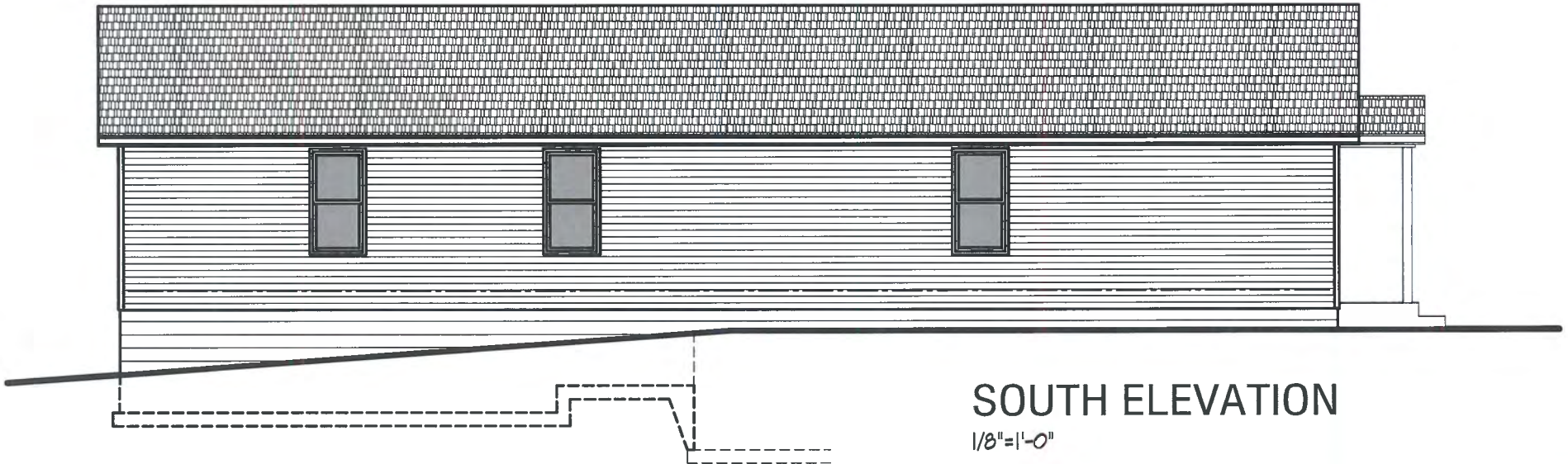
1/8"=1'-0"





WEST ELEVATION

1/8"=1'-0"



SOUTH ELEVATION

1/8"=1'-0"





AUDITOR OFFICE

SEARCH

ONLINE TOOLS

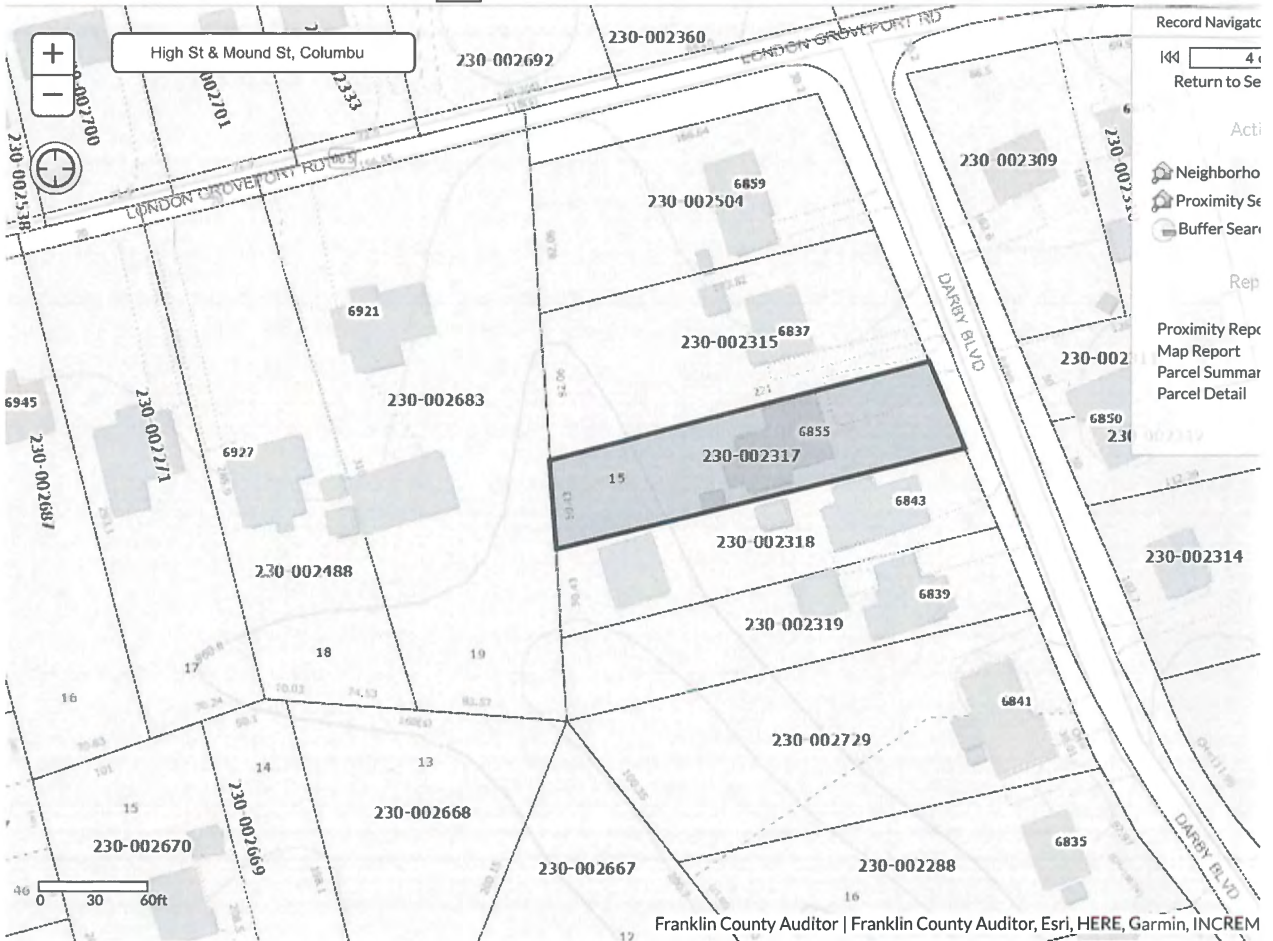
REFERENCE

CONTACT MICHAEL

Parcel ID: 230-002317-00  
YOUNG TERESA A

Map Routing: 230-NO  
68

- Summary
- Land Profile
- Residential
- Commercial
- Improvements
- Permits
- Mapping
- Sketch
- Photo
- StreetSmart
- Aerial Photos
- Transfers
- BOR Status
- CAUV Status
- Tax & Payments
- Tax Distribution
- Tax Calculators
- Value History
- Rental Contact
- Incentive Details
- Quick Links



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**RECEIVED**

**JUN 07 2021**

Franklin County Planning Department  
Franklin County, OH

VA-4009



Franklin County  
Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

Application for


# Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 1 of 7

**RECEIVED**  
**JUN 10 2021**

Franklin County Planning Department  
Franklin County, OH



(revised 7.13.19)

### Property Information

Site Address: 3508 Walker Road, Hilliard Ohio 43026	
Parcel ID: 120-000031-00	Zoning District: Rural Zoning District
Lot Acreage:	Township: Brown Township

### Property Owner Information

Name: International Society for Krishna Consciousness	
Address: 379 W. 8th Avenue, Columbus Ohio 43201	
Phone #	Fax #
Email: yadhu08chandra@gmail.com	

### Applicant Information Same as property owner

Name:	
Address:	
Phone #	Fax #
Email:	

### Agent Information

Name: Desmond Cullimore, The Cullimore Law Firm	
Address: 3664 Hickory Rock Drive, Powell, Ohio 43065	
Phone # 614-372-9144	Fax #
Email: desmond@cullimorelawfirm.com	

### Staff Use Only

Case # VA- 4009
Date Filed: 6/10/21
Received By: BMF
Fee Paid: \$650
Receipt Number: 21-02008
Hearing Date: 7/19/21
Technical Review: 6/22/21
Zoning Compliance #:  17-026

### Checklist

- Completed Application
- Fee Payment (checks only)
- Auditor's Map (8.5"x11")
- Site Map (max 11"x17")
- Covenants and deed
- Notarized signatures
- Proof of water/wastewater supply
- Copy of denied Zoning Certificate
- Copy of denial letter

### Water & Wastewater

- #### Water Supply
- Public (Central)
  - Private (On-site)
  - Other
- #### Wastewater Treatment
- Public (Central)
  - Private (On-site)
  - Other





Franklin County  
Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

Application for

# Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 2 of 7



Case# VA-

### Variance(s) Requested:

Section: Section 302.047

Description: To seek a variance to allow for the peak of the tower / dome (Sikhara) to be 75.5' above ground

Section: Section 505.02

Description: To seek a variance to allow for the use of dumpster at the property zoned as Rural District

Section: Section 505.022 (b)

Description: To seek a variance to allow the proposed dumpster to be located near the southern edge of the building

### Describe the project:

ISKCON has acquired the property of 53 acre at 3508 Walker Road where a 30,000 square feet Hare Krishna temple is proposed. The proposal of the temple is prompted by the exponentially grown membership since ISKCON Columbus established in 1969 at 379 West 8th Avenue, in proximity to The Ohio State University's main campus. The ever growing membership locally and expanding programing have made the proposed temple a necessity. This proposed temple will also serve as a regional hub that offers a chance for devotees to engage in devotional service and visitors to learn about the religion.

**NOTE: To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.**

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.

The answer to this question is contained in the Variance Application Appendix attached to this application.



Franklin County  
Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

Application for

# Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 3 of 7



Case# VA-

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

The answer to this question is contained in the Variance Application Appendix attached to this application.

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

The answer to this question is contained in the Variance Application Appendix attached to this application.

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

The answer to this question is contained in the Variance Application Appendix attached to this application.

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

The answer to this question is contained in the Variance Application Appendix attached to this application.

6. Can there be any beneficial use of the property without the variance?

The answer to this question is contained in the Variance Application Appendix attached to this application.



Franklin County  
Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

1803  
Economic Development & Planning Department  
James Schimmer, Director

Application for

# Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 4 of 7



Case# VA-

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

The proposed tower's height is 37.6' above the maximum allowable height of 38'

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8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

The answer to this question is contained in the Variance Application Appendix attached to this application.

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9. How would the variance adversely affect the delivery of governmental services? (e.g., water, sewer, garbage, fire, police - Verification from local authorities – i.e. fire might be required)

The answer to this question is contained in the Variance Application Appendix attached to this application.

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10. Did the applicant purchase the property with knowledge of the zoning restrictions?

The answer to this question is contained in the Variance Application Appendix attached to this application.

---

---

---

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

The answer to this question is contained in the Variance Application Appendix attached to this application.

---

---

---

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

The answer to this question is contained in the Variance Application Appendix attached to this application.

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Franklin County  
Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

## Application for Zoning Variance Pursuant to Section 810 of the Zoning Resolution Page 5 of 7



Case# VA-

### Affidavit \*\*

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form and all applicable requirements of the Franklin County Zoning Resolution. The affiant further acknowledges that a Certificate of Zoning Compliance may only be issued for an approved Variance within the period of one (1) year from the date of final approval by the Board of Zoning Appeals; if an approved Variance has not been used within one (1) year of its date of issuance, meaning there has not been active and substantial improvement to a property in accordance with a valid Variance, then the Variance shall expire and no work may commence or continue without either renewing the Variance or receiving a new Variance approval from the Board of Zoning Appeals in accordance with Section 810 of the Franklin County Zoning Resolution.

*James Schimmer*  
Applicant/Authorized Agent \*

06/09/2021  
Date

*Piyush Gupta*  
Property Owner (signature must be notarized)

06/09/2021  
Date

\_\_\_\_\_  
Property Owner (signature must be notarized)

\_\_\_\_\_  
Date

**\*Agent must provide documentation that they are legally representing the property owner.**  
**\*\*Approval does not invalidate any restrictions and/or covenants that are on the property.**

STATE OF OHIO,  
COUNTY OF FRANKLIN, ss:

Sworn to and subscribed before me this 9 day of June, 2021 by Piyush Gupta, a Member of the International Society for Krishna Consciousness.



PAMELA K MORTON  
Notary Public, State of Ohio  
My Comm. Expires Mar. 05, 2023  
Recorded in Fayette County

*Pamela K Morton*  
NOTARY PUBLIC

My Commission Expires: 03/05/23

**SWORN AFFIDAVIT OF PIYUSH GUPTA**

I, Piyush Gupta, being first duly sworn, depose and state that:

1. I am over 18 and competent to testify to the matters contained in this Affidavit.
2. I am a member of the International Society for Krishna Consciousness and am authorized to execute this Affidavit.
3. Desmond Cullimore, Attorney at Law, is the authorized agent of the International Society for Krishna Consciousness for the purpose of submitting variance applications for the proposed temple located at 3508 Walker Road, Hilliard Ohio 43026.
4. This Affidavit, to the best of my knowledge, is true and accurate.

By:

Piyush Gupta

Piyush Gupta  
Member, International Society for Krishna  
Consciousness

STATE OF OHIO,  
COUNTY OF FRANKLIN, ss:

Sworn to and subscribed before me this 9 day of June, 2021 by  
Piyush Gupta, a Member of the International Society for Krishna Consciousness.



PAMELA K MORTON  
Notary Public, State of Ohio  
My Comm. Expires Mar. 05, 2023  
Recorded in Fayette County

Pamela K Morton  
NOTARY PUBLIC

My Commission Expires: 03/05/23

## ISKCON Variance Zoning Application Submittals

1. Complete application
  2. Notarized affidavit
  3. Deed with legal description
  4. Auditor tax map
  5. Site plan (with proof of utilities) & elevations
  6. Supporting documents:
    - Detailed answers for questions in application
    - The Dome in Hindu Temple Architecture Temple research paper
    - Site photos and diagrams showing relationship between set back distance, viewing angles, and dome's height.
  7. Copy of the denial zoning compliance application & letter
  8. A check of \$650 payable to Franklin County Treasurer
-



**Zoning Variance Application**  
**Appendix**  
**International Society for Krishna Consciousness**

**Introduction**

The International Society for Krishna Consciousness (“ISKCON”) is seeking variances to accommodate two main issues: (1) to permit the construction of the temple Sikhara Amalaka and Kalasha (the “dome”) on the temple; and (2) to permit the use of a dumpster and have the dumpster located near the southwest edge of the building.

The following specific variances are sought:

1. A variance from Section 302.047 to allow for a peak of the Sikhara (tower/dome) to be 75.5 feet above ground instead of 38 feet required by Section 302.047;
2. A variance from Section 505.02 to allow for the use of a dumpster; and
3. A variance from Section 505.022(b) to allow the proposed dumpster to be located near the southern edge of the building.

For both variance requests, extraordinary circumstances exist that make a strict enforcement of the applicable Development Standards of the Zoning Resolution unreasonable and ISKCON is requesting variances to allow the flexibility necessary to adapt to the unusual conditions and avoid unnecessary hardship. Such variance requests do not involve a change of the primary use of the land or structure permitted.

**The Temple Dome Variance**

Strict enforcement of the height requirements contained in Section 302.047 places a substantial burden on ISKCON’s religious exercise. It places substantial pressure on ISKCON to violate its religious beliefs, and effectively bars ISKCON from using its property in the exercise of its religion, by preventing ISKCON from worshiping its deity in the inner sanctum covered with the sacred Sikhara, Amalaka and Kalasha that makes up the dome. The dome is sacred to ISKCON’s practice of its religion and the services within a temple. Moreover, the dome is more than just a part of ISKCON’s religious services, it is a part of the sacred temple sanctuary known as the vimana. The vimana consists of the Sikhara which covers the garbha-griha (cella or inner chamber, the womb) and is considered the abode of God where the deity resides.

ISKCON's faith is based on community and large gatherings in religious services. The size of the dome is based on the size of the temple sanctuary, which is dependent on the size of the congregation. As a result, the size of the dome is set based on the dimensions required for the communal gatherings of the congregation. The architectural plan for the temple takes into account the religious requirements necessary for ISKCON to perform its services in accordance with its faith and house the deity.

Hindu religious text, the Vedas, describe temple architecture. In short, building a temple with the dome is not a matter of choice, a hope, or an objective, but is a fundamental tenet of the practice of ISKCON's faith. For more information, see the attached whitepaper "Hindu Temple Architecture," Carl Clemens (2021).

The code provision as strictly enforced will require ISKCON to build a temple without the sacred dome. Forcing ISKCON to abandon a core precept of the exercise of its religion and to modify behavior in violation of those beliefs is a substantial burden that can be avoided by granting the variance for the height of the structure.

The following are answers to the Zoning Variance Application relating to the dome variance.

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same Zoning District.

The special condition or circumstance applying to the property regarding the dome is that ISKCON is a religious organization seeking to practice its faith in a temple constructed in accordance with its Hindu faith, which condition/circumstance does not generally apply to other properties in the district.

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

Religious use is a permitted use in the Zoning District that is enjoyed by other properties. A literal interpretation of the building height requirement of the Code deprives ISKCON of its right to exercise its religion in accordance with its Hindu faith.

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

ISKCON's religious faith and the tenets of the Hindu faith are not the result of any action of the applicant. ISKCON's religious faith is central to its existence and the dome is a deep-rooted tradition of the religion based on Hindu religious text.

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

The granting of a variance in the dome height will not grant any special privilege that is denied by the Zoning Resolution to other lands or structures in the Zoning District. There are other structures in the area that are over the height requirement. For example, Bradley High School at 2800 Walker Road has tall structures, there is a silo across the street from the temple site, and there is a church with a tall spire—all within the Rural District. See Figures 1-3 for representative structures in the Rural District that exceed the height requirements.



*Figure 1: Bradley High School*



*Figure 2: Neighboring Silos*



*Figure 3: Northwest Bible Church*

All of these structures exceed the height requirement of the Zoning Resolution, yet all are essential to the character of the neighborhood. Moreover, the unique nature of ISKCON's circumstance is not a circumstance that currently exists in the Zoning District and is a matter of the freedom to exercise religion.

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

Granting the variance will not adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or be injurious to private property or public improvements in the vicinity. The dome structure is located on approximately 53 acres and is set back from the property boundaries and neighboring structures as shown in the attached exhibit "ISKCON Temple Zoning Variance Application 6.7.21." The large distance eliminates any perceived or claimed negative impact. Hindu temples throughout the world have domes, many of which are significantly higher than the proposed dome height.

6. Can there be any beneficial use of the property without the variance?

There can be no beneficial use of the property to ISKCON without the variance because the entire purpose of the property is to be the location of the temple that requires the dome as a part of the exercise of ISKCON's religion.



7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed).

The proposed dome's height is 37.6 feet above the maximum allowable height of 38 feet.

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

The essential character of the neighborhood will not be altered, and no adjoining properties will suffer harm as a result of the variance in the dome height. Religious use is permitted in the Zoning District and a religious structure is, therefore, anticipated. In conjunction, it should also be anticipated that a zoning variance from a height restriction would be necessary to meet the religious practice of ISKCON or any other religious structure. In fact, throughout history steeples and spires on religious structures in all major religions have been used to connote a religious structure that is sacred to the practice of the religion.

Also, as discussed herein, the temple structure is a significant distance from the property boundaries and other structures that exist or may exist in the future such that there is minimal visual impact to neighboring properties. The attached exhibit "ISKCON Temple Zoning Variance Application 6.7.21" shows the impact to neighboring properties. As is depicted in the exhibit, the temple is at such a distance from the property lines and neighboring buildings that the visual impact is no greater than a typical home would be or a structure that is within the 38-foot height requirement in Zoning Resolution Section 302.047 if constructed closer to the property lines.

9. How would the variance adversely affect the delivery of governmental services? (e.g., water, sewer, garbage, fire, police - Verification from local authorities – i.e. fire might be required).

The variance will not adversely affect the delivery of any governmental services or place any burden on government services. It is an unoccupied sacred component of the temple that has been designed to the minimum size to accommodate the practice of ISKCON's religious faith.

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

The applicant did not purchase the property with knowledge of the zoning restrictions.

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

The applicant's predicament cannot feasibly be obtained through some method other than a variance. The dome is a critical sacred part of the vimana that is the home to ISKCON's deity.

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

The spirit and intent behind the zoning requirement will be observed and substantial justice will be done by granting the variance.

The applicant's understanding is that the height restriction is meant to prevent multiple story residential structures and/or prevent the obstruction of views in the Zoning District. Zoning Resolution Section 302.025 permits Religious Uses in a Rural District. In particular, a church is permitted provided it occupies a lot of at least three acres. In the case of ISKCON, the lot is over 53 acres, and the temple is proposed to be more or less centrally located within this large lot. The dome is an unoccupied religious structure and is sufficiently set back from the property boundaries and other structures such that the angle of view is significantly decreased. As discussed above and provided in the attached exhibit "ISKCON Temple Zoning Variance Application 6.7.21," the temple is at such a distance from the property lines and neighboring buildings that the visual impact is no greater than a typical home would be or a structure that is within the 38-foot height requirement in Zoning Resolution Section 302.047 if constructed closer to the property lines.

Substantial justice will be done because granting the variance will permit ISKCON to enjoy its right to freely practice its religion in accordance with its faith.

## **The Dumpster Variance**

The following are answers to the Zoning Variance Application relating to the dumpster variance.

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same Zoning District.

The proposed project is a permitted religious use within a Rural district. The Zoning Resolution, however, does not specifically include a Rural district in the list of districts where a dumpster is permitted.

A main tenet of ISKCON's faith is the preparation of food for an offering to the deity and the congregation in a special sacrament of purification and spiritual development. Moreover, the structure will be a temple with many activities to support the temple and religious services. By its very nature the temple requires the use of a dumpster for the proper and orderly disposal of refuse and to facilitate sacred meal preparation.

The proposed location of the dumpster is in close proximity to the kitchen and dining areas of the temple. This encourages cleanliness and the proper and orderly removal of refuse.

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

A literal interpretation of the Zoning Resolution would deprive the applicant of the proper and orderly disposal of refuse enjoyed by all properties in the Zoning District and deprive the applicant of sacred meal preparation on the scale required for religious services.

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

The special conditions and circumstances do not result from the actions of the applicant as they are the result of the nature of the applicant as a religious organization practicing its faith and accommodating the health and safety of the public by the proper and orderly removal of refuse.

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

Approving the variance will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District as all properties within the District are permitted to accommodate the proper and orderly disposal of refuse.

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

Granting the ordinance will not adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity. By granting the variance to provide a central conveniently located dumpster for refuse, the health, safety and welfare of persons residing or working in the vicinity of the proposed development will be improved and the negative impact from disjointed refuse collection and disposal can be avoided.

By locating the dumpster at the southwest edge of the building, public refuse removal will be more readily accommodated. It will also avoid refuse collection trucks navigating through drives that lead to the rear of the building, which is be safer for the trucks as well as people walking the perimeter of the building. Moreover, the proposed location provides for the safety for persons transporting refuse to the dumpster and is a sufficient distance from the temple building.

6. Can there be any beneficial use of the property without the variance?

While a beneficial use of the property may be possible, it would be with great hardship and risk as stated above.

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

The variance is not substantial. It permits the use of necessary refuse disposal at a location that makes sense from a standpoint of accessibility.



The Zoning Resolution, Section 505.022(b), requires that a “dumpster must be setback from the front of the building a minimum distance of 50 percent of the building depth.” Because the temple is a large structure with a significant building depth of approximately 194.75 feet, this will result in the dumpster being placed a significant distance away from the area it is needed most—almost 100 feet away from the temple. This presents a situation that creates a hardship regarding the proper and orderly disposal of refuse from the temple due to significant distance to travel and dispose of refuse across parking or drives, places the dumpster in conflict with parking or drives, or places the dumpster so far from the temple to make it impractical.

At a distance of approximately 40 feet from the temple building, the proposed dumpster would be permissible if the building depth was 80 feet. The proposed distance is a safe and reasonable distance from the temple building.

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

The essential character of the neighborhood will not be substantially altered and adjoining properties will not suffer any harm as a result of the variance. The dumpster avoids health and safety issues associated with disjointed refuse collection and disposal and is set back approximately 40 feet from the building and hundreds of feet from the property boundaries.

9. How would the variance adversely affect the delivery of governmental services? (e.g., water, sewer, garbage, fire, police - Verification from local authorities – i.e. fire might be required)

The variance will not adversely affect the delivery of governmental services. In fact, the variance will improve the refuse service collection by providing a single convenient location for refuse collection.

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

The applicant did not purchase the property with knowledge of the zoning restrictions.

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

The applicant's predicament cannot feasibly be obtained through some method other than a variance.

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

Because the location of a proposed dumpster is a significant distance from neighboring properties and provides for the centralized collection of refuse, the applicant believes with adequate screening the dumpster at the proposed location meets the spirit and intent of the zoning requirement.

**ISKCON TEMPLE  
ZONING VARIANCE APPLICATION  
6.7.21**

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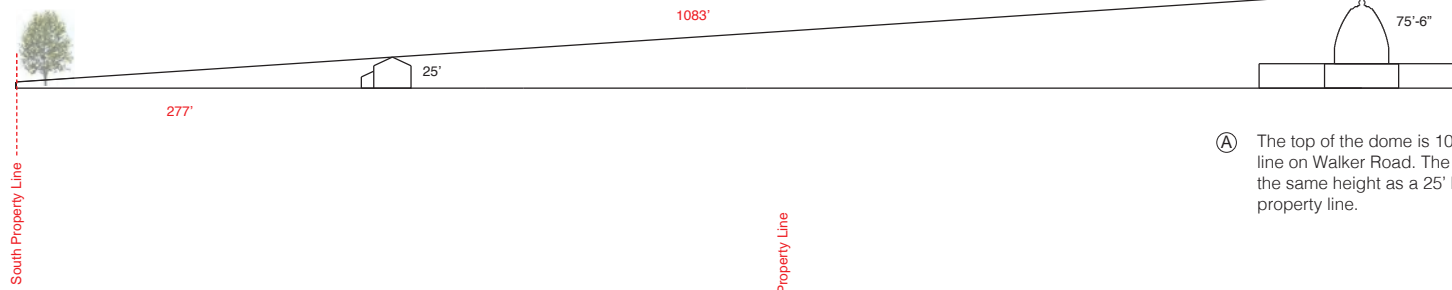




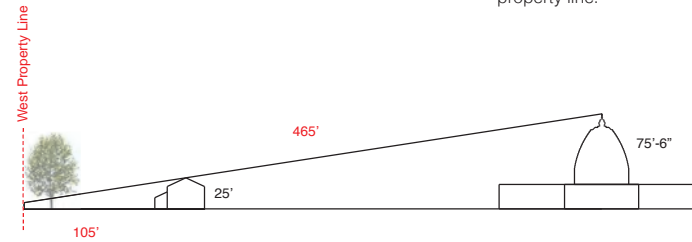
View from SE on Walker Road



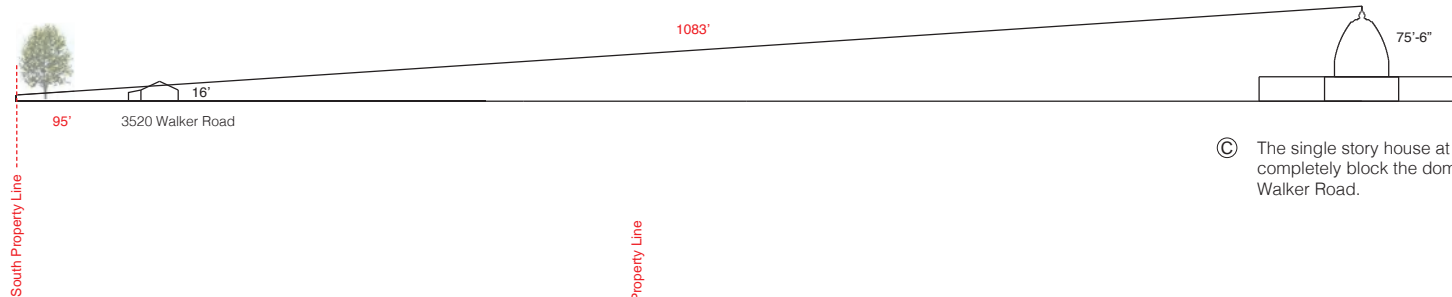
View from SW on Walker Road showing tree grove on the south west edge of the site



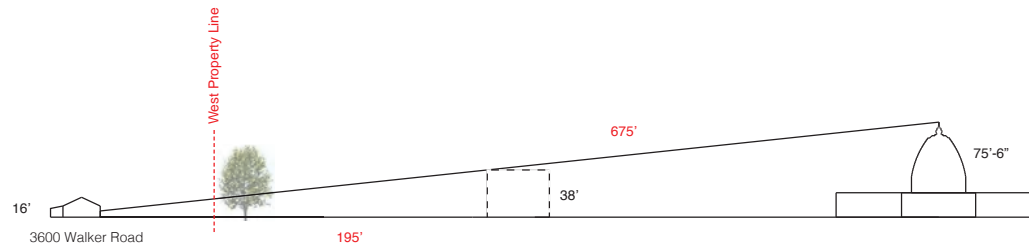
(A) The top of the dome is 1083' from south property line on Walker Road. The 75' dome would appear the same height as a 25' house sitting 277' from the property line.



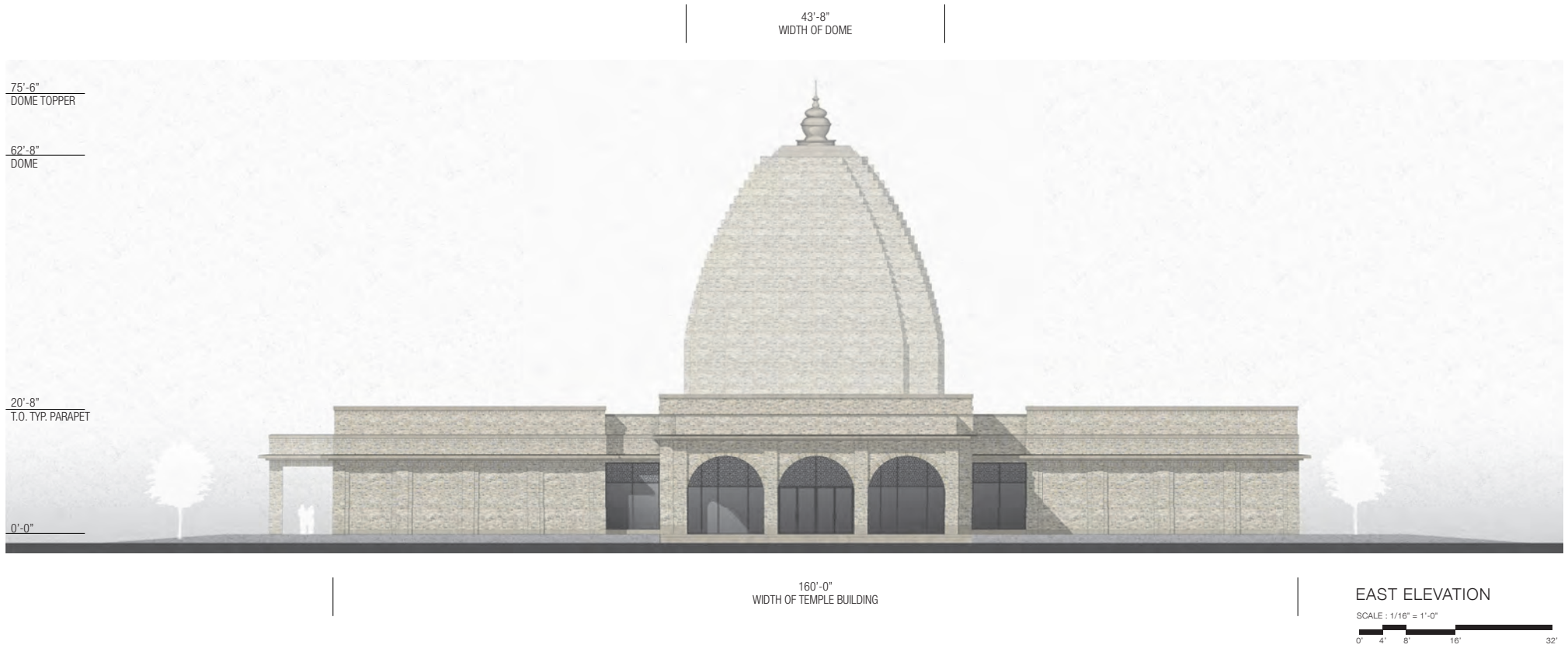
(B) The dome is 465' from west property line. The 75' dome would appear the same height as a 25' house sitting 105' from the property line.

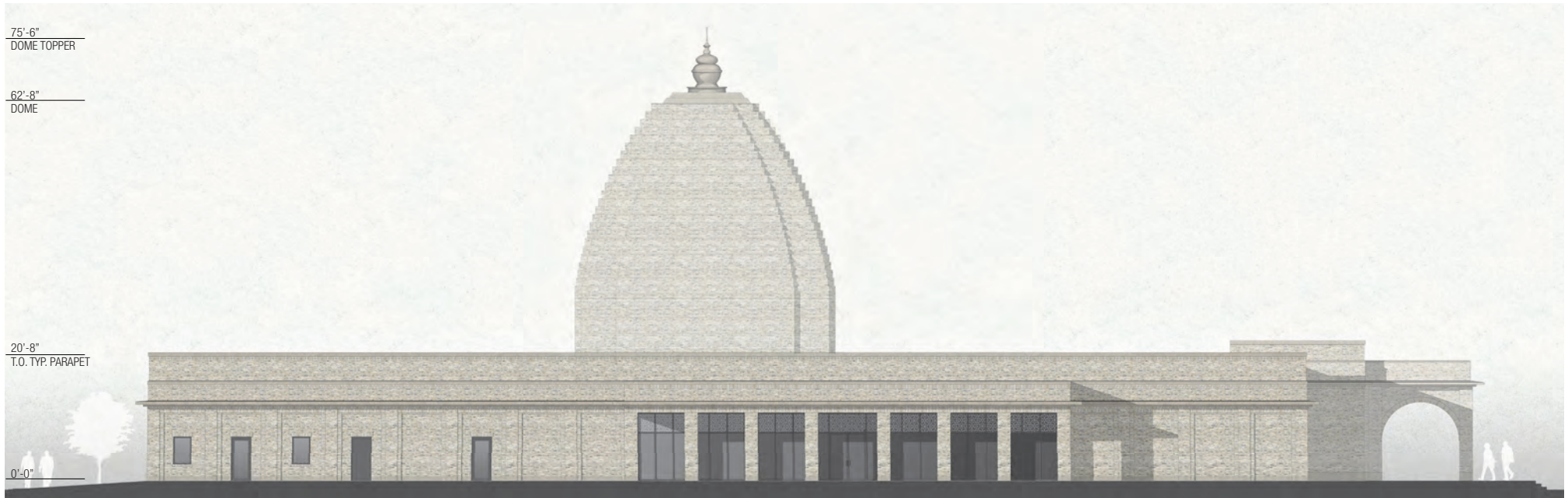


(C) The single story house at 3520 Walker Road will completely block the dome if viewed from the Walker Road.



(D) The dome is 675' from the west neighboring house on 3600 Walker Road. The dome would appear the same height as a 38' tall building located 195' from the west property line.





SOUTH ELEVATION

SCALE : 1/16" = 1'-0"  
0' 4' 8' 16' 32'





ISKCON TEMPLE

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Please always get permission of owner and property of the client. Engineer shall not be responsible for any damage or injury to the property or person without the express written permission of the contractor.

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Civil Engineer & Landscape Architect



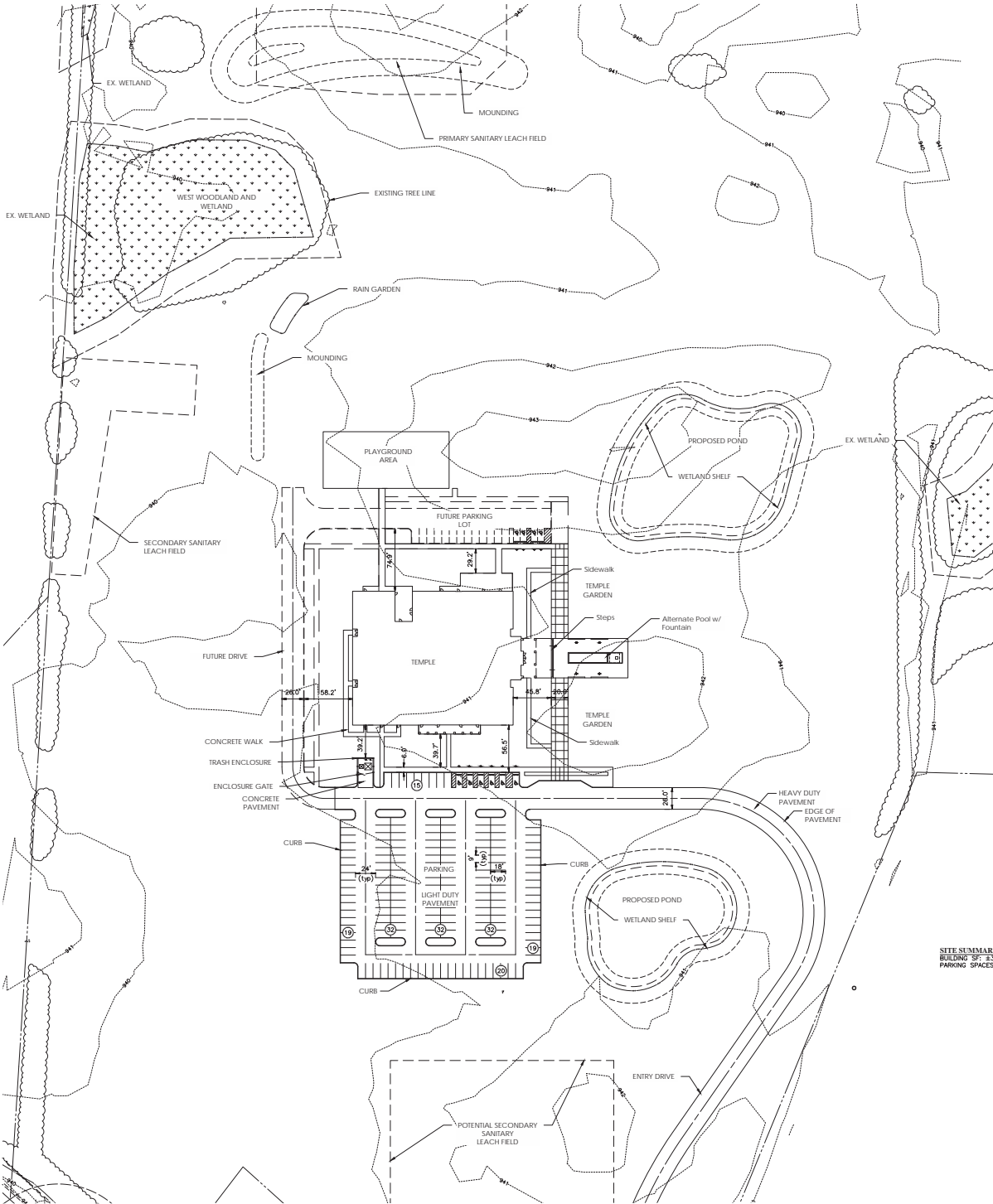
BROWN TOWNSHIP, FRANKLIN COUNTY, OHIO  
VARIANCE APPLICATION  
ISKCON TEMPLE

SITE PLAN

PROJECT # 20190155  
DATE JUNE 8, 2021  
SHEET #

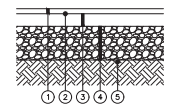
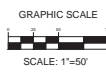
C1-1

ISKCON TEMPLE



**SITE SUMMARY**  
BUILDING SF: 130,000 SF  
PARKING SPACES PROVIDED: 169 SPACES

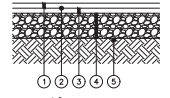
**PRELIMINARY**  
NOT TO BE USED FOR  
CONSTRUCTION  
PLANSET DATE  
JUNE 8, 2021



- ① CMS ITEM 441, 1-1/2" ASPHALT CONCRETE, SURFACE COURSE, TYPE 1, MEDIUM TRAFFIC, PG 64-22
- ② CMS ITEM 407, TACK COAT, APPLIED AT A RATE OF 0.10 GAL. PER SQ. YD.
- ③ CMS ITEM 441, 2.5" ASPHALT CONCRETE, INTERMEDIATE COURSE, TYPE 2, MEDIUM TRAFFIC, PG 64-22
- ④ CMS ITEM 304, 8" AGGREGATE BASE
- ⑤ CMS ITEM 204, SUBGRADE COMPACTION

NOTES  
1. PAVEMENT RECOMMENDATION PROVIDED BY CTL Engineering.  
2. DMH&T ASSUMES NO LIABILITY FOR PAVEMENT SECTION.

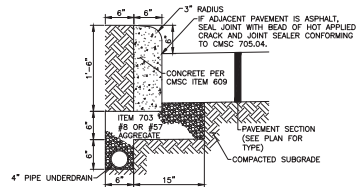
**(A) DETAIL AUTO PARKING ASPHALT PAVEMENT SECTION** Not to Scale



- ① CMS ITEM 441, 1-1/2" ASPHALT CONCRETE, SURFACE COURSE, TYPE 1, MEDIUM TRAFFIC, PG 64-22
- ② CMS ITEM 407, TACK COAT, APPLIED AT A RATE OF 0.10 GAL. PER SQ. YD.
- ③ CMS ITEM 441, 2.5" ASPHALT CONCRETE, INTERMEDIATE COURSE, TYPE 2, MEDIUM TRAFFIC, PG 64-22
- ④ CMS ITEM 304, 12" AGGREGATE BASE
- ⑤ CMS ITEM 204, SUBGRADE COMPACTION

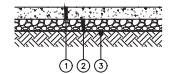
NOTES  
1. PAVEMENT RECOMMENDATION PROVIDED BY DTL Engineering.  
2. DMH&T ASSUMES NO LIABILITY FOR PAVEMENT SECTION.

**(B) DETAIL DRIVE LANE ASPHALT PAVEMENT SECTION** Not to Scale



NOTES:  
1. ALL EXPOSED SURFACES OF CONCRETE CURB SHALL HAVE A BRUSH FINISH, UNLESS PLACED BY A CURB MACHINE.

**(C) DETAIL CURB, 18" STRAIGHT** Not to Scale



- ① CMS ITEM 608, 4" CONCRETE WALK
- ② CMS ITEM 304, 4" AGGREGATE BASE
- ③ CMS ITEM 204, SUBGRADE COMPACTION

NOTES  
1. MAINTAIN MAXIMUM CROSS-SLOPE OF 2.0%.  
2. PROVIDE ISOLATION JOINTS WHERE NEW WALK ABUTS EXISTING OR NEW PAVEMENT, STRUCTURE, OR OTHER SITE FEATURES PER DETAIL E, THIS SHEET.  
3. PROVIDE CONTROL JOINTS PER DETAIL H, THIS SHEET.  
4. CURBING COMPOUND: COMPLY WITH ASTM C308-98A, TYPE 1, CLASS B (CLEAR), EXCEPT MOISTURE LOSS NOT TO EXCEED 0.60KG/50 M<sup>2</sup> IN 72 HOURS. COMPOUND SHALL COMPLY WITH EPA'S VOC REQUIREMENTS.  
5. APPLY AT MANUFACTURER'S WRITTEN RECOMMENDED APPLICATION RATE. PROVIDE FINISH PER CMS ITEM 408.  
6. PENETRATING SEALER: ACCEPTABLE PRODUCTS INCLUDE, BUT ARE NOT LIMITED TO:  
1. PENTANE 40 BY LAM.  
2. BSM 40 BY H&S AMERICA INC.  
3. CONSULDECK 1140 BY PROSOOD.  
4. SILANE 405 BY SIMONS.  
7. IF CONCRETE INSTALLED OCTOBER-MARCH, WAIT UNTIL APRIL-SEPTEMBER TO APPLY PENETRATING SEALER. IF SCHEDULE DOES NOT ALLOW FOR APPLICATION OF SEALER, PROVIDE CREDIT FOR NON-PERFORMANCE.

**(D) DETAIL CONCRETE WALK** Not to Scale

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ISKCON TEMPLE

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Plan showing an extension of sewer and gas service to the site. Existing 20" sanitary sewer and 8" natural gas service are shown. The extension will be installed in accordance with the applicable codes and standards.

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**SITE DEMOLITION, GRADING, AND EROSION CONTROL NARRATIVE**

**SITE DEMOLITION AND PREPARATION**  
All site demolition shall be performed in accordance with the Ohio Department of Transportation (ODOT) Construction and Material Specifications (CMS), latest edition.

Demolition work is expected to include tree removal, clearing and grubbing, removal of above ground structures including a house and small barn, power poles and removal overhead utility wires formerly serving the farmstead. All demolition materials become the contractor's property unless otherwise noted, and are not to be buried or disposed of on-site.

**EARTHWORK**  
Earthwork activities associated with the project will be comprised primarily of site subgrade and building pad preparation, as well as excavation of a retention pond. Additional activities will include excavation of subsoil and stockpiling for later reuse; grading and contouring site to elevations indicated on drawings; removal of excess topsoil and subsoil from site; preparation of subgrade and placement of fill under pads on grade, foundations, sidewalks and paving providing fill materials, bedding materials, proof rolling and compaction; fill for over-excavation; subgrade stabilization for pavement; subgrade excavating and backfilling trenches and structures; fine grading; placement, leveling and compaction of topsoil.

The Owner shall arrange and pay for a testing company to perform soils testing to meet design requirements. The site/utility contractor shall employ a professional surveyor to layout out and establish all lines and grades, including structural columns.

Demolition operations shall be provided as necessary to enable all earthwork to be performed and shall convey water from the construction site in a closed conduit with the point of discharge approved by the Engineer.

**STORMWATER MANAGEMENT**  
Stormwater management for quantity control will be provided for the site, with requirements determined by Franklin County stormwater ordinances. This design will be analyzed in subsequent design phases of the project. Water quality treatment per Ohio EPA requirements will be addressed through the use of a retention basin.

An existing drainage swale across Walker Road from the southwest corner of the site will be the discharge location for the south pond.

Storm sewer and drainage work shall consist of storm sewer connections from the building, on-site stormwater detention storage, drainage structures and pipe to convey the stormwater on the site and permanent erosion control protection for the stormwater outfall locations.

Storm outlets from roof drains are to be directed to site storm sewer for collection. Pipe sizes from these roof drains will depend on the amount of roof area that is tributary to the outlet.

**WETLAND PROTECTION AND PRESERVATION**  
The natural tributary areas of several streams and wetlands will be impacted by construction of this project. In order to continue to supply the wetlands on-site with clean water, diversion swales and storm sewer pipe will be utilized to direct stormwater runoff from the new pavement and building site to rain gardens. The rain gardens will filter the runoff and discharge treated water into wetlands to remain.

**SANITARY LEACH FIELD PROTECTION AND PRESERVATION DURING CONSTRUCTION**  
Areas designated on the plan as primary, secondary, or potential sites for leach field placement must not be disturbed by construction traffic or construction activity. High-visibility construction fence shall be placed around the perimeter of the potential leach field areas prior to beginning construction.

**EROSION AND SEDIMENTATION CONTROL MEASURES**  
Erosion and Sedimentation Control measures shall be provided based on Franklin County Construction Site Soil Erosion, Sediment, Stormwater Runoff and Stormwater Quality Controls and Regulations in accordance with the ODOT CMS, latest edition.

Erosion and sedimentation control work will consist of constructing temporary and permanent sediment and erosion control items required for the completion of work associated with the project. Items include, but are not limited to: stabilized construction entrances, concrete washout and wheel wash areas, silt fence, catch basin and curb inlet protection, mulches, grasses, filter fabrics, geotextiles and other erosion control devices and methods. Temporary controls will be provided on the permanent stormwater retention basins to control for sediment runoff during construction.

**SITE UTILITY NARRATIVE**

**DOMESTIC WATER**  
A new well for domestic usage will be installed at the site per Ohio Department of Natural Resources (ODNR) and Ohio Environmental Protection Agency (OEPA) standards. Similar wells near the project site, one at a residence south of the site on Walker Road and one of the old farm houses, exist at depths of 137 and 109 feet, respectively.

The domestic well usage will be considered "non-tributary". As such, due to higher water quality standards an allowance should be made for water treatment and filtration system capable of removing heavy metals such as lead or organic that may be present in the water. Each water quality treatment requirements will not be known until the well is completed and tested. A water-softening system should also be installed.

For the purposes of pricing, a 3-inch domestic water service should be provided to the building from the new domestic water well.

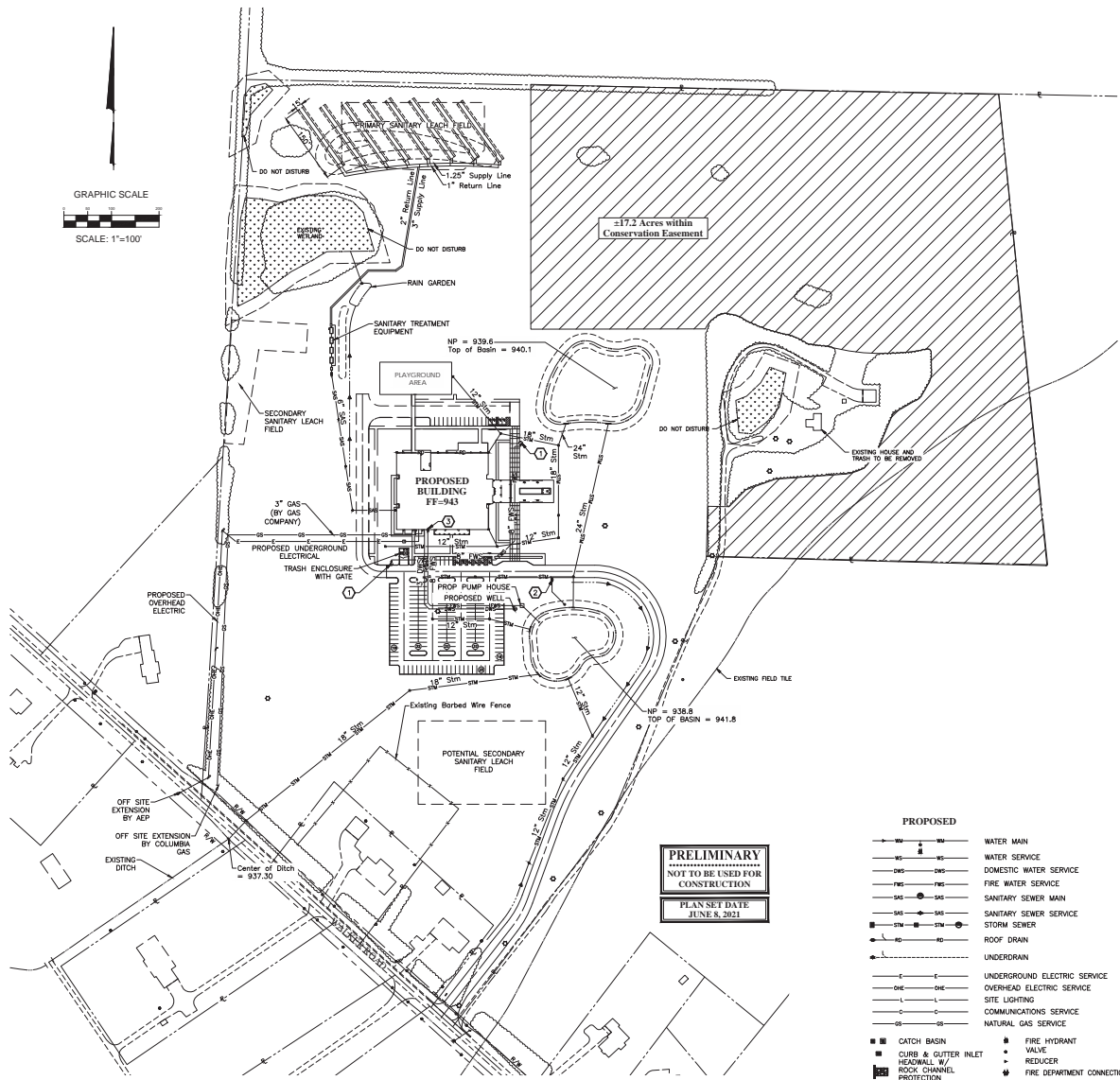
**FIRE PROTECTION**  
The pond will be used as a water source for fire protection with a pump to be designed by others located in a pump house building near the pond.

For the purposes of pricing, an 8-inch fire water service with dry hydrant connection should be provided to building from the pump house near the pond. The 8-inch line will serve site fire hydrants at the northeast and southwest corners of the building.

**SANITARY WASTE TREATMENT**  
The nearest public sanitary sewer is located at Hillard Bradley High School approximately 1.4 miles (2150 feet) southeast along Walker Road. An on-site treatment system is being proposed for the site. The on-site system will consist of gravity sewers to convey waste from the building to the treatment area, various septic holding tanks and treatment tanks, leach field areas with perforated tile, and associated pumping equipment. A manufacturer-designed package treatment system is recommended and will be customized based on the characteristics of the waste discharged from the facility. Testing has determined that on-site soils in the leach areas have an estimated loading rate of 2.7 gpd/ft.

**NATURAL GAS**  
Natural gas 8-inch distribution lines are located approximately 1.5 miles from the site. The service provider (Columbia Gas) will determine the cost to extend service after a request has been submitted by the owner and the service extension is analyzed by Columbia Gas.

**ELECTRIC POWER**  
Single-phase power is currently available at the site along Walker Road provided by AEP. Three-phase power currently ends at the Hillard Bradley High School approximately 1.4 miles southwest of the site on Walker Road. An extension of three-phase power by AEP will be required to service the site.



**PRELIMINARY**  
NOT TO BE USED FOR CONSTRUCTION  
PLAN SET DATE  
JUNE 8, 2021

**PROPOSED**

— W —	WATER MAIN
— S —	WATER SERVICE
— DWS —	DOMESTIC WATER SERVICE
— FWS —	FIRE WATER SERVICE
— SSM —	SANITARY SEWER MAIN
— SSS —	SANITARY SEWER SERVICE
— STM —	STORM SEWER
— RD —	ROOF DRAIN
— U —	UNDERDRAIN
— UE —	UNDERGROUND ELECTRIC SERVICE
— OE —	OVERHEAD ELECTRIC SERVICE
— L —	SITE LIGHTING
— C —	COMMUNICATIONS SERVICE
— GS —	NATURAL GAS SERVICE
■	CATCH BASIN
■	CURB & GUTTER INLET
■	HEADWALL W/ PROTECTION
■	ROCK CHANNEL PROTECTION
●	MANHOLE
●	CLEANOUT
●	GAS METER (BY SERVICE PROVIDER)
■	FIRE HYDRANT
●	VALVE
●	REDUCER
■	FIRE DEPARTMENT CONNECTION
●	LIGHT POLE (REFER TO SITE LIGHTING PLAN)
■	TRANSFORMER

- CODED NOTES**
- ① FIRE HYDRANT
  - ② DRY HYDRANT
  - ③ FIRE DEPARTMENT CONNECTION

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BROWN TOWNSHIP, FRANKLIN COUNTY, OHIO  
 VARIANCE APPLICATION  
**ISKCON TEMPLE**

**UTILITY PLAN**

PROJECT # 20190155  
DATE JUNE 8, 2021  
SHEET #

**C2-1**

ISKCON TEMPLE



ISKCON TEMPLE

3508 WALKER RD.  
HILLARD, OHIO 43026



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These drawings are a reflection of current and proposed site conditions. It is the responsibility of the contractor to verify all conditions in the field prior to construction. The contractor shall be responsible for obtaining all necessary permits from the appropriate authorities.

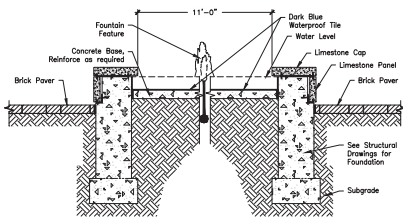
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BROWN TOWNSHIP, FRANKLIN COUNTY, OHIO  
VARIANCE APPLICATION

ISKCON TEMPLE

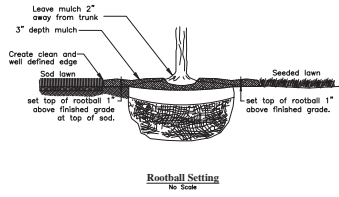


Plaza Reflecting Pool Section A  
No Scale

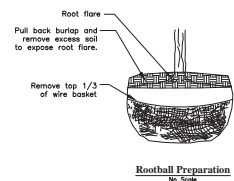


Example of Water Effect

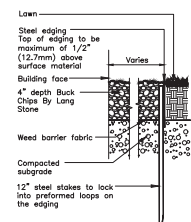
Pool with Fountains



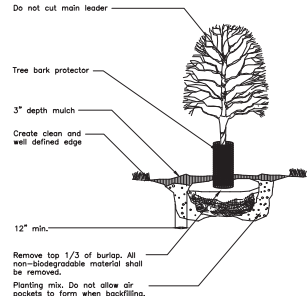
Rootball Setting  
No Scale



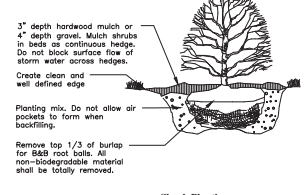
Rootball Preparation  
No Scale



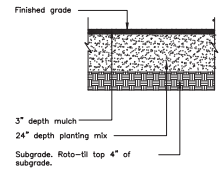
Gravel Edge at Building  
No Scale



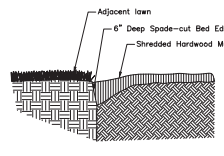
Deciduous Tree Planting  
No Scale



Shrub Planting  
No Scale



Planting Area Establishment  
No Scale



Planting Bed Edge  
No Scale

GENERAL NOTES

- Prior to installation, the landscape contractor shall inspect the general site conditions and verify the subgrade, elevations, utility locations and topsoil provided by general contractor. The landscape contractor shall notify the general contractor of any unsatisfactory conditions and work shall not proceed until such conditions have been corrected and are acceptable to the landscape contractor.
- All plants shall meet or exceed standards set in the American Standard for Nursery Stock, ANSI Z603.1 current edition. All plants shall equal or exceed the measurements and sizes specified in the schedule.
- Substitutions shall be permitted based on plant availability substitutes shall be provided in writing to the Landscape Architect and approved by the City for approval. Substituted material shall be equivalent or greater in size than the specified plant. Substituted plants shall have the same essential characteristics and growth habit of the specified plant.
- Confirm location of all utilities and subsurface drain lines prior to plant installation.
- A pre-installation conference shall be conducted prior to planting operations with Owner, Contractor, and Landscape Architect present.
- Contractor may slightly field adjust plant locations as necessary to avoid utilities. Finished planting beds shall be graded to provide positive drainage.
- Irrigation system, if applicable, shall be complete and operational prior to landscape planting.
- Contractor shall repair all lawn areas disturbed during construction with seed and warrant a healthy, weed free lawn prior to project acceptance.
- Seed all areas within contract limits that are not covered by paving, buildings or planting beds unless otherwise noted. Seeding shall not begin until area has received topsoil and finished grade.
- Mulch planting beds, except where shown as gravel mulch, with shredded hardwood mulch of uniform dark brown color. It shall be free of twigs, leaves, disease, pest or other material unsightly or injurious to plants. Average applied thickness shall be 3" depth. Mulch heaped in a continuous bed.
- Planting beds shall be covered with pre-emergent herbicide applied at product specified rate unless otherwise noted.
- Bed edge shall be smooth, consistent, hand trenched 6" deep and "V" shaped unless otherwise noted. All excess material shall be removed from the bed edge and planting bed.
- All planting bed edges to be smooth flowing arcs or straight lines as shown on plan. Plant locations and layout of beds shall be located by Contractor and approved by Landscape Architect prior to planting.
- Install all plants in accordance with planting details and specifications.
- Parking lot and street trees shall have a clear canopy height of 8' min.
- Trees shall be placed a minimum of 3' from sidewalks and curbs.
- Planting Mix shall be blended, manufactured soil consisting of three (3) parts topsoil, one (1) part compost, one (1) part sand. Topsoil shall be per ASTM D3268, pH range of 5.5 to 7, min. 4 percent organic material, free of stones and soil clumps 3/4 inch and larger. Compost shall be yard waste compost from an EPA listed Class IV compost facility or Com-Til compost from City of Columbus Department of Public Utilities. Sand shall be per Item ASTM C33. Proprietary manufactured Planting Mix such as Kurts Bio, Professional Blend or Jones SuperSoil may be used. Submit product data for review by Owner. Place Planting Mix in settled 6 inch lifts.
- Mix Mycorrhizal Fungi into Planting Mix during placement of Planting Mix. Application rate shall be according to manufacturer's written recommendations. Mycorrhizal Fungi shall be a dry, granular inoculant containing at least 3,000 spores per lb (0.45 kg) of vesicular-arbuscular mycorrhizal fungi and 95 million spores per lb (0.45 kg) of ectomycorrhizal fungi, 33 percent hydrogel, and a maximum of 5.5 percent inert material.
- Root-Til subgrade below Planting Mix to a depth of 4 inches, unless otherwise indicated, prior to placement of Planting Mix.
- Rooted beds, including mulch, shall be no higher than 6 inches above adjacent grade.
- Lawn areas to be backfilled with topsoil to a minimum settled thickness of 6 inches.
- All trees, shrubs, groundcover, and lawn to be fertilized with a commercial grade fertilizer consisting of fast and slow release nitrogen.
- Composition and application rate of fertilizer shall be sufficient to amend soil according to recommendations of a qualified soil testing agency. Submit test results and amendment recommendations to Landscape Architect. Fertilizer shall be in a dry granular form for lawns and granular or tablet form for plants.
- Contractor to determine plant list quantities from the plan. Graphic representation on plan supersedes in case of discrepancy with quantities on schedule.
- Any item or area damaged during construction shall be repaired or replaced to its original condition at the contractor expense.
- Contractor shall thoroughly water all plants at time of installation and as needed until project acceptance by owner. Contractor shall guarantee all plants installed for one full year from date of acceptance by the Owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period.
- All annuals to be provided by Owner.
- Lawn seed mix shall be proportioned by weight as follows: 10 percent NuBlue or Blue Chip Kentucky Bluegrass; 10 percent Coddleshock or Coddlesper Perennial Ryegrass; 80 percent Quest, Inferno, Aird 3, and/or Pate Tall Fescue (seeded 2). Seeded lawns shall match seeded lawns.
- Lawn seed shall not have less than 95 percent germination, not less than 85 percent pure seed, and not more than 0.5 percent weed seed.

\\camach01\project1\310190150\Drawings\03\0305-VA-Landscape.dwg, User: camach, Application: AutoCAD LT, Date: 6/10/2021 2:43 PM, User: camach, 6/10/2021 2:46 PM, 201810648-95-0079-0

PRELIMINARY  
NOT TO BE USED FOR  
CONSTRUCTION

PLANSHEET DATE  
JUNE 8, 2021

LANDSCAPE DETAILS  
PROJECT # 20190155  
DATE JUNE 8, 2021  
SHEET #

L2-1

ISKCON TEMPLE





Franklin County Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

## Application for Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 1 of 7

RECEIVED

JUN 10 2021

Franklin County Planning Department  
Franklin County, OH



(revised 7.13.19)

### Property Information

Site Address: 3365 Fisher Rd Entry 875 Lot 5 Columbus OH 43206

Parcel ID: 140-003763-00 Zoning District: Franklin

Lot Acreage: 2 Township: Franklin

### Property Owner Information

Name: Michael and Danielle Skinner

Address: 3365 Fisher Rd. Entry 875 Lot 5 Columbus OH 43206

Phone # 614-330-2635 Fax #

Email:

### Applicant Information

Same as property owner

Name: Clayton Homes of Frazeysburg

Address: 6810 Raiders Rd Frazeysburg OH 43822

Phone # 7408282104 Fax # 7408283641

Email:

### Agent Information

Name: Jeff Crabtree

Address: 6810 Raiders Rd Frazeysburg OH 43822

Phone # 7408282104 Fax # 7408283641

Email: jeff.crabtree@claytonhomes.com

### Staff Use Only

Case # VA- 4010

Date Filed: 6/10/21

Received By: BMF

Fee Paid: \$350

Receipt Number: 21-02010

Hearing Date: 7/19/21

Technical Review: 6/22/21

Zoning Compliance #: 21-263

### Checklist

- Completed Application
- Fee Payment (checks only)
- Auditor's Map (8.5"x11")
- Site Map (max 11"x17")
- Covenants and deed
- Notarized signatures
- Proof of water/wastewater supply
- Copy of denied Zoning Certificate
- Copy of denial letter

### Water & Wastewater

#### Water Supply

- Public (Central)
- Private (On-site)
- Other

#### Wastewater Treatment

- Public (Central)
- Private (On-site)
- Other



Franklin County Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

Application for

# Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 2 of 7



Case# VA-

### Variance(s) Requested:

Section:

512.02 (2A)

Description:

Applying To have A Detached Garage in front of home

Section:

Description:

Section:

Description:

### Describe the project:

Installation of A 32X76 4 bedroom modular home on A full basement, (Industrialized Unit) Installation of A new septic system, Connecting to existing water tap

**NOTE: To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.**

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.

There is an existing garage from the previous home.



# Zoning Variance



Case# VA-

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

Yes it would deprive them because they would not be able to build a home with the existing garage.

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

No, purchased existing property with garage

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

This would not affect other lands

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

Yes, The septic system and leach field for the previous home was located in front of the property the new home would set into that footprint

6. Can there be any beneficial use of the property without the variance?

NOT for residential use





# Zoning Variance



Case# VA-

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

127 feet

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

NO, this is a residential area this would improve this property

9. How would the variance adversely affect the delivery of governmental services? (e.g., water, sewer, garbage, fire, police - Verification from local authorities – i.e. fire might be required)

None, existing utilities.

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

NO, the purchase was bought from grandfather who has adjoining property. There had been a home there before

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

Yes Removal of existing garage, which would cause financial hardship to rent storage

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

Yes, and we are asking for a full zoning inspection.

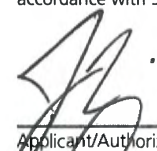




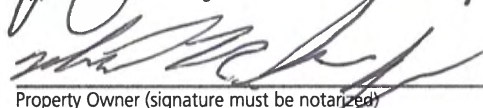
Case# VA-

**Affidavit \*\***

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form and all applicable requirements of the Franklin County Zoning Resolution. The affiant further acknowledges that a Certificate of Zoning Compliance may only be issued for an approved Variance within the period of one (1) year from the date of final approval by the Board of Zoning Appeals; if an approved Variance has not been used within one (1) year of its date of issuance, meaning there has not been active and substantial improvement to a property in accordance with a valid Variance, then the Variance shall expire and no work may commence or continue without either renewing the Variance or receiving a new Variance approval from the Board of Zoning Appeals in accordance with Section 810 of the Franklin County Zoning Resolution.


 - GM, Clayton Hornes  
 Applicant/Authorized Agent \*

6/9/21  
 Date

  
 Property Owner (signature must be notarized)

6.9.21  
 Date

Danielle Skinner  
 Property Owner (signature must be notarized)

6.9.21  
 Date

**\*Agent must provide documentation that they are legally representing the property owner.**

**\*\*Approval does not invalidate any restrictions and/or covenants that are on the property.**



Michele R. Crabtree

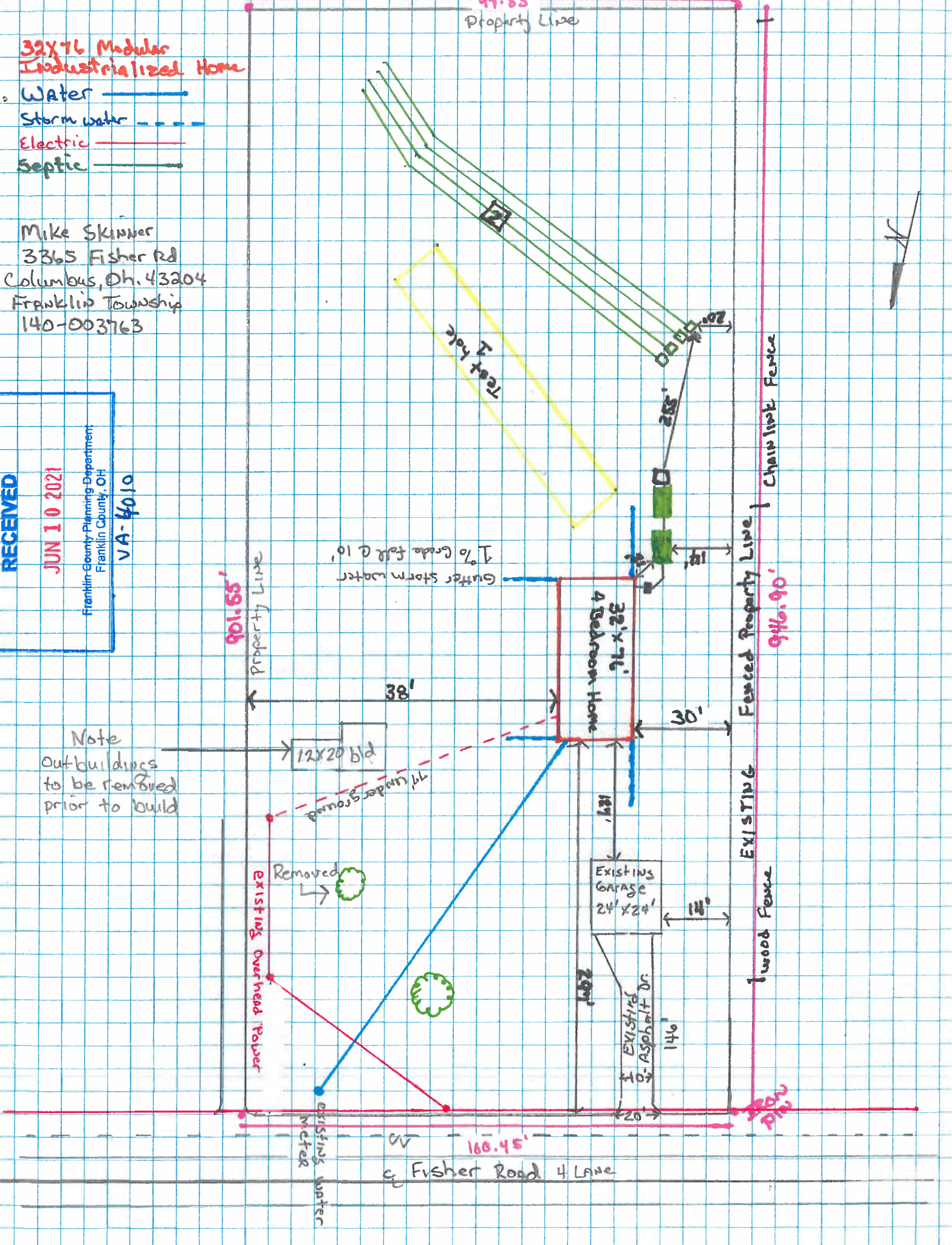
**32x76 Modular Industrialized Home**

- Water —————
- Storm water - - - - -
- Electric —————
- Septic —————

Mike Skinner  
 3365 Fisher Rd  
 Columbus, Oh. 43204  
 Franklin Township  
 140-003763

**RECEIVED**  
**JUN 10 2021**  
 Franklin County Planning Department  
 Franklin County, OH  
**VA-4010**

**Note**  
 Out buildings  
 to be removed  
 prior to build





RECEIVED

JUN 10 2021

Franklin County Planning Department  
Franklin County, OH



UA-4010

Ranch Submittal

OHIO BBS/I.U. APPROVAL IS LIMITED TO INSTALLATIONS ON CONDITIONED/UNVENTILATED CRAWLSPACE OR BASEMENT PER RCO SECTION 408.3 & THE ATTACHED RESCHECK FORM. SUBFLOOR DECK INSULATION IS TO BE ONLY ON THE EXTERIOR BASEMENT OR CRAWLSPACE WALLS & NOT IN THE FLOOR.

Structural Index:

- 13. Ridge beam span chart
- 14-14.2 Ridge beam calc.
- 15-15.2 Column support
- 16. Column support beams
- 17. Braced Walls
- 18. Truss Bracing
- 19-19.1 Wall Notching

Submittal Index:

- 1 Cover Sheet
- 2 Exterior Elevations
- 3 Floor Plan Layout
- 3.1 Braced Walls
- 4 Electrical Schematic
- 5 HVAC
- 6 Floor Framing
- 7 DWV/Supply Schematic
- 8 Typical Cross Section (Bsmt)
- 9 Foundation
- 10-10.3 Energy Calc. (Bsmt)
- 11-11.2 5/12 Truss
- 12-12.2 Fastening Schedule
- 1. This home not to be placed in a flood hazard zone.
- 2. Wall bracing to be per RCO602.10.4 wood structural panels with cont. sheathing.
- 3. Min. property line requirement to adjacent building 5'-0" per RCO 302.1
- 4. Whole house ventilation system per RCO Sec. 1505.4. provided continuous-exhaust fan in bath #2.

General Notes

State  
Codes

OHIO  
2019 R.C.O.(Residential Code for Ohio)  
2017 OPC  
2017 NEC  
2018 IECC

PER OBC SECTION 113.7 THE MANUFACTURER IS RESPONSIBLE OVER ALL WORK COMPLETED AT THE FACTORY UNTIL THE UNIT(S) ARE APPROVED FOR FIRST OCCUPANCY & SHALL RECTIFY ANY DEVIATIONS FROM THE APPROVED CONSTRUCTION DOCUMENTS FOUND EITHER IN THE FIELD OR AT THE PLACE OF MANUFACTURE.

SITE INSTALLED AND SUPPLIED BY OTHERS.

- 1). RAMPS, STAIRS, HANDRAILS, GUARDS AND GENERAL ACCESS TO THE BUILDING.
- 2). THE COMPLETED FOUNDATION, SUPPORT SYSTEM AND TIE DOWN AND/OR ANCHORAGE SYSTEM, ALL FOUNDATION INSULATION.
- 3). ON-SITE FASTENING AT THE FLOOR AND ROOF RIDGE AT MATE LINES OF MULTI-WIDE UNITS.
- 4). INSTALLATIONS OF INSULATION AT FLOORS, CEILINGS AND ENDWALLS AT MATE LINES OF MULTI-WIDE UNITS TO MINIMIZE AIR INFILTRATION.
- 5). INSTALL R6.5 INSULATION ON ALL PIPING INSTALLED IN UNCONDITIONED SPACES.
- 6). RIDGE VENTS MUST BE INSTALLED IN ACCORDANCE WITH THE VENT MANUFACTURER'S INSTRUCTIONS.
- 7). ELECTRICAL CROSSOVER CONNECTIONS BELOW FLOOR OR IN ATTIC ACROSS MATE-LINE (MULTI-WIDE UNITS ONLY)
- 8). ELECTRICAL SERVICE, MAIN ELECTRICAL PANEL AND FEEDERS TO SUBPANEL(S) LOCATED IN THE MODULAR BUILDING.
- 9). BUILDING DRAINS, CLEANOUTS AND HOOK-UPS TO PLUMBING SYSTEM, AND FINISH PLUMBING.
- 10). INSTALL FIRE STOPPING AT ALL MODULE MATE-LINES AT THE MARRIAGE WALL, CEILING HEIGHT AND AT THE FLOOR SYSTEM.
- 11). ELEC. CIRCUITS FOR BSMT, CRAWLSPACE AND GARAGE. SMOKE DETECTORS IN BASEMENTS.
- 12). ALL REQUIRED DUCT WORK IN FLOOR AND CEILING INSTALLED BY OTHERS.
- 13). ON-SITE FASTENINGS AND FRAMING AT GABLE WALLS, TRUSS TRANSITIONS AND/OR HINGED TRUSSES.
- 14). FIREPLACE CHIMNEY.
- 15). VINYL SIDING FOR RIGHT AND LEFT ENDS SITE INSTALLED.
- 16). FURN BLOWER TEST AND AIR LEAKAGE TEST TO BE DONE ON-SITE BY OTHERS.
- 4. INSPECT EACH UNIT TO DETERMINE IF EACH IS MARKED BY AN INSIGNIA FURNISHED BY THE OHIO BBS.
- 4. INSPECT EACH UNIT TO DETERMINE IF THE FLOOR PLAN, EXTERIOR ELEVATIONS, & EXPOSED DETAILS IN GENERAL LOOK LIKE THE OHIO CONSTRUCTION DOCUMENTS.
- 3. INSPECTION OF THE UNITS FOR DAMAGE RESULTING FROM TRANSPORTATION, IMPROPER PROTECTION OF EXPOSED PARTS FROM INCLEMENT WEATHER OR OTHER CAUSES. DAMAGE MUST BE REPAIRED AS REQUIRED BY THE LOCAL A.H.J. TO COMPLY WITH THE OHIO BBS APPROVED CONSTRUCTION DOCUMENTS.
- 3. INSPECTION OF EACH UNIT TO DETERMINE IF EACH IS MARKED BY AN INSIGNIA FURNISHED BY THE OHIO BBS.
- 4. INSPECT EACH UNIT TO DETERMINE IF THE FLOOR PLAN, EXTERIOR ELEVATIONS, & EXPOSED DETAILS IN GENERAL LOOK LIKE THE OHIO CONSTRUCTION DOCUMENTS.
- RCO SECTION 108.2.12 APPROVED I.U.'S & THE ON-SITE CONSTRUCTION TO COMPLETE THE INSTALLATION OF THE I.U.'S ARE TO BE INSPECTED BY INSPECTOR WITH THE LOCAL A.H.J. THEIR INSPECTIONS OF FACTORY COMPLETED WORK ARE LIMITED TO:
  - 1. CONNECTION TO ON-SITE CONSTRUCTION, INTERCONNECTION OF MODULES, CONNECTION TO UTILITIES, THE INSPECTIONS & CONDUCTING OF REQUIRED TESTS MUST NOT REQUIRE THE DESTRUCTION OR DISASSEMBLY OF ANY FACTORY-CONSTRUCTED COMPONENT APPROVED BY THE OHIO BBS.
  - 2. INSPECTION OF THE UNITS FOR DAMAGE RESULTING FROM TRANSPORTATION, IMPROPER PROTECTION OF EXPOSED PARTS FROM INCLEMENT WEATHER OR OTHER CAUSES. DAMAGE MUST BE REPAIRED AS REQUIRED BY THE LOCAL A.H.J. TO COMPLY WITH THE OHIO BBS APPROVED CONSTRUCTION DOCUMENTS.
  - 3. INSPECTION OF EACH UNIT TO DETERMINE IF EACH IS MARKED BY AN INSIGNIA FURNISHED BY THE OHIO BBS.
  - 4. INSPECT EACH UNIT TO DETERMINE IF THE FLOOR PLAN, EXTERIOR ELEVATIONS, & EXPOSED DETAILS IN GENERAL LOOK LIKE THE OHIO CONSTRUCTION DOCUMENTS.
- RCO SECTION 108.2 - SITE INSTALLED WORK FOR I.U.'S IS WITHIN THE SCOPE & AUTHORITY OF THE LOCAL A.H.J.
- RCO SECTION 108.6.4 - WHEN AN INSPECTOR FROM THE LOCAL A.H.J. FINDS THAT AN I.U. HAS BEEN CONSTRUCTED CONTRARY TO THE PLANS APPROVED BY THE OHIO BBS, THE INSPECTOR SHALL REPORT THE NONCONFORMANCE TO THE LOCAL BUILDING OFFICIAL. THE LOCAL BUILDING OFFICIAL MUST NOTIFY THE OHIO BBS OF ALL VIOLATIONS. THE OHIO BBS, OR ITS DESIGNEE, & THE LOCAL BUILDING OFFICIAL MUST DETERMINE THE CORRECTIVE ACTION TO BE TAKEN BEFORE THE BUILDING IS APPROVED TO BE OCCUPIED.
- PERSONNEL W/ THE LOCAL A.H.J. ARE NOT TO REPORT NON-COMPLIANCE TO THE OWNER'S AGENTS UNTIL INSTRUCTED TO DO SO BY THE OHIO BBS.
- OBC SECTION 113.5, I.U.'S APPROVED BY THE OHIO BBS MAY BE USED ANYWHERE IN OHIO SUBJECT TO THE CONDITIONS OF THEIR APPROVAL. THEY ARE NOT TO BE SUBJECT TO RENEWAL AND FURTHER INSPECTIONS.

Design Category

Seismic C  
Single Family  
Wood Frame -Unprotected

Use Group Type  
Construction

Load Requirements

Floor Live Load 40 psf  
Wind Live Load 115 mph, Vult 3 sec Gust, Exposure C  
Truss Design ASCE 7-16  
Ground Snow Load 30 psf  
Roof Pitch 5/12  
Home Sq. Ft. 2280

CUSTOMER:SKINNER  
3365 Fisher Rd.  
Columbus, OH 43204

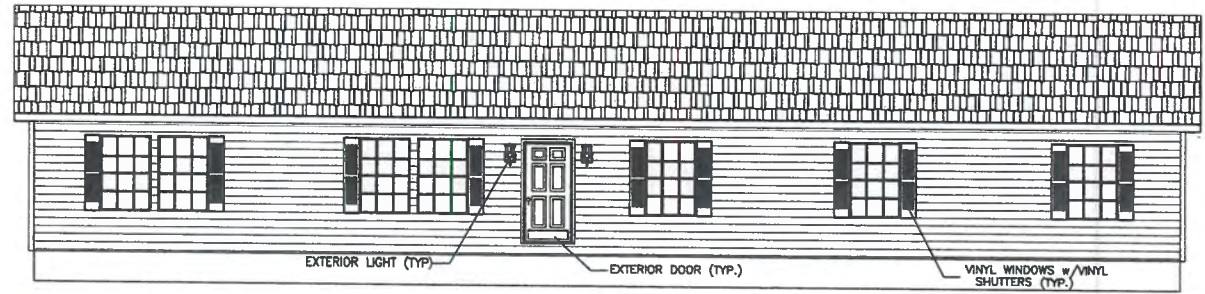
ADVENTURE HOMES 1119 FULLER DR. GARRETT, IN. 46738		Drawn By: DRFTR Date: 04/21/21 Scale: NTS Rev / Rev Date: REV / REV_DATE
Title: COVER		
Model #: MOD0764R-14208	Sheet: 1 OF 8	



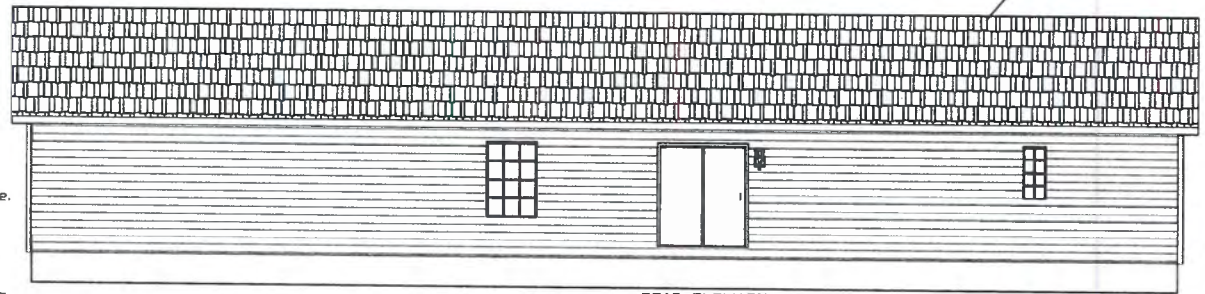
NOTES:

1. All notes stating "by others" are obligations pertaining to the dealership/builder.
- \* 2. Gutters and leaders by owners.
3. Shutters are std. on front of home, optional on sides and rear of home.
- \* 4. All Footings, Foundations, and steps are field installed.
- \* 5. Vinyl siding for right and left ends factory supplied and field installed.  
-Siding may be omitted from front and rear at customers request. (for future garage or alt. exterior covering)
- \* 6. Exterior lights may be shipped loose for field installations.
7. Ridge vents and eave soffit vents equal to 1/300 of total roof area (with a vapor barrier of 1 perm or less installed in attic).  
Ridge vents = 72 sq in net free area per 4ft section. Soffit vents = 12 sq in per lineal foot net free area.
- \* For future garage siding to be removed and the garage shall be completely separated from the adjacent interior spaces and attic by means of 5/8" gyp board or equiv. applied to the garage by owner. A 1 3/8" steel door w/A 20 min. fire rating shall be used between garage and residence. The sills for these doors shall be raised not more than 4' above the garage door.

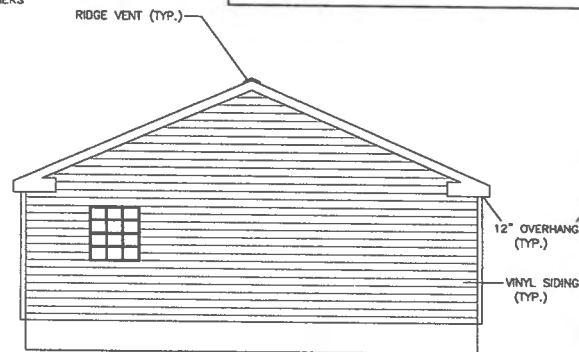
\* ITEMS INSTALLED ON SITE BY OTHERS



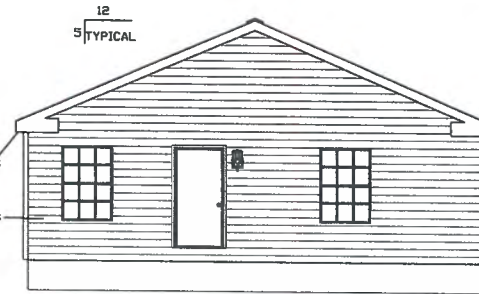
FRONT ELEVATION



REAR ELEVATION



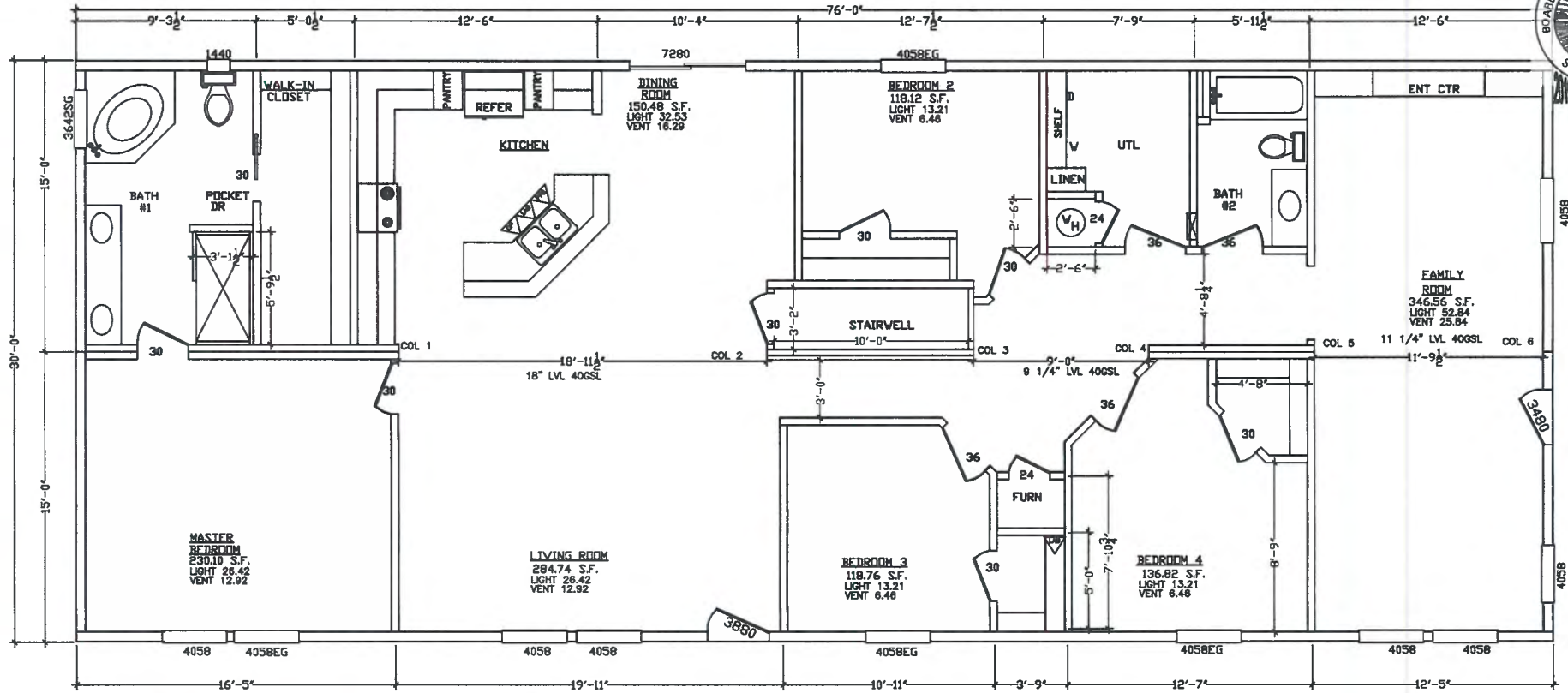
LEFT ELEVATION



RIGHT ELEVATION

<b>ADVENTURE HOMES</b> 1119 FULLER DR. GARRETT, IN. 46738		Drawn by: <b>DRFTR</b> Date: <b>04/21/21</b> Scale: <b>1/8"=1'-0"</b> Rev / Rev Date: REV / REV_DATE
<b>ELEVATION</b>		
Model # <b>MOD0764R-14208</b>	Sheet # <b>2</b>	OF 8





STANDARD WINDOW SCHEDULE				KORND SERIES (Uo = 3D)	
CODE	SIZE	ROUGH OPENING	ISH OP. AREA	GLAZE AREA	VENT TYPE
1	V3027	30 1/4 X 27 1/4	5.62	3.88	2.00 SINGLE FLG
2	V4658	40 1/4 X 58 1/4	16.12	13.21	6.46 SINGLE FLG
3	V3658	36 1/4 X 58 1/4	14.05	11.76	5.76 SINGLE FLG
4	V1440	14 X 40	3.98	2.48	1.29 TRANSOM
5	V3642	36 1/4 X 42 1/4	10.5	9.09	FIXED
5	P9834	92 1/4 X 54 1/4	36.09	28.87	14.43 PICTURE

STANDARD DOOR SCHEDULE			
CODE	SIZE	TYPE	USAGE
A	30x80	SOLID CORE EXT.	(Uo = 2D)
B	34x80	SOLID CORE EXT.	(Uo = 2D)
C	24x80	HOLLOW CORE	INT. PASSAGE
B	30x80	HOLLOW CORE	INT. PASSAGE
E	24x80	HOLLOW CORE/RAG	FURN. DOOR
F	6/8x6/8	SGD-SAFETY	(Uo = 3D)
G	36x80	HOLLOW CORE	INT. PASSAGE

NOTE:  
 1. All windows to be vinyl w/insulated glazing unless otherwise noted.  
 2. All egress windows must comply with 2018 RCO  
 3. SD denotes safety glass for windows.  
 4. Windows and ext. side hinged doors shall be labeled to indicate compliance with ANSI/WMA/CES1101.1/1.2/1/440.

1. Data plate & labels per print.
2. The support and fire stopping for flues and ducts for site installed heating systems, water heaters, fireplaces, etc. shall be installed by others.
3. This home may be built partially or completely reversed.
4. All hallways are min. 36" in width.
5. Furn., W/H, and Vents may be site installed. (combustion air & fresh air to be supplied on site by others).
6. All fireplaces to be installed per manufacturers specifications.
7. Min. property line requirements to adjacent bldg. 5' per RCO 302.1.
8. Per RCO 702.3.8 water resistive gypsum installed around bathtubs shall conform to ASTM C1396, C1178 or C1278.

COLUMN	40 GSL
1	(4)2x4
2	(4)2x4
3	(2)2x4
4	(2)2x4
5	(2)2x4
6	(2)2x4

LVL SIZES, SPANS AND COLUMN SUPPORT INFO PER PAGES 13 & 18 OF THE STRUCTURAL SECTION OF THIS SUBMITTAL.

HEADER, JACK & JAMB STUD TABLE	
HEADERS-DOORS/WINDOWS	CD 2 x 6 @ 6 SPP
HEADERS-SGD	CD 2 x 10 @ 6 SPP
HEADERS-PIC WINDOW	CD 2 x 12 @ 6 SPP
JACK STUDS	CD 2 x 6 @ 6 SPP EA SIDE
JAMB STUDS	CD 2 x 6 @ 6 SPP EACH END OF HEADER

ALL HEADERS, JACK & JAMB STUDS PER 2019 RCO PERSPECTIVE INFO

FLOOR: 30'-0"x76'-0"
2x10 FLOOR SYS. STD.
9'-0" CLG. HGT. MAX.
STD. WINDOW RH.O.
161.20 sq. ft.
DATA PLATE SYMBOL
PFS INSIGNIA
STATE LABEL

<b>ADVENTURE HOMES</b> 1119 FULLER DR. GARRETT, IN. 46738	Drawn by: DRFTR
	Date: 04/21/21
	Scale: 3/16" = 1'-0"
	Rev / Rev Date
Title: <b>Floorplans</b>	
Model #: MOD0764R-14208	Sheet #: 3 OF 8

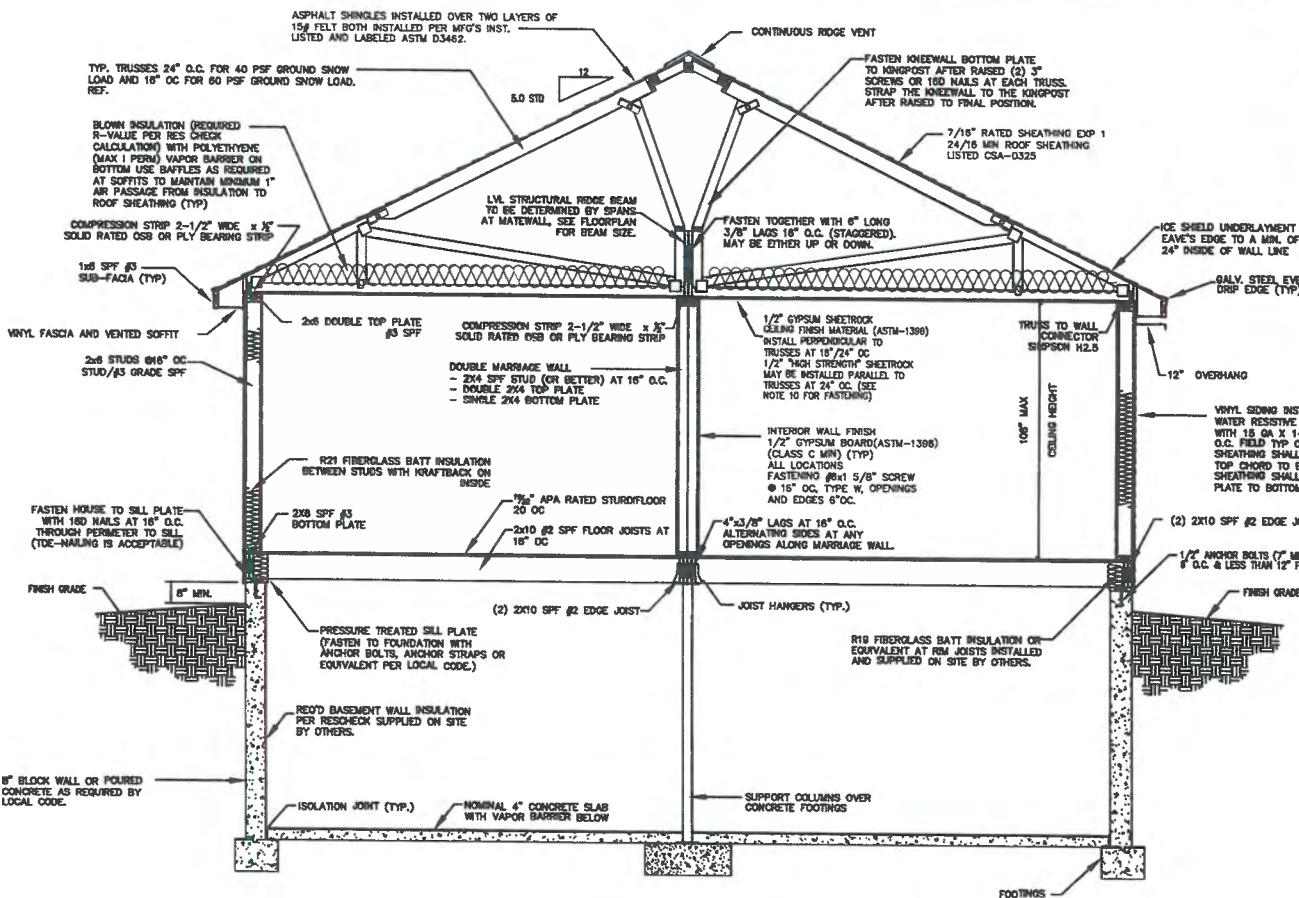
3: 36; 04/22/2021; U043721709; OHIO BBS/U. approval limited to installations on conditioned basement & excludes site installed items.



OHIO BBS/I.U. APPROVAL IS LIMITED TO INSTALLATIONS ON CONDITIONED/UNVENTILATED CRAWLSPACE OR BASEMENT PER RCO SECTION 408.3 & THE ATTACHED RESCHECK FORM. SUBFLOOR DECK INSULATION IS TO BE ONLY ON THE EXTERIOR BASEMENT OR CRAWLSPACE WALLS & NOT IN THE FLOOR.

**GENERAL NOTES**

1. Exterior joints in the building envelope that are sources of air leakage such as ground windows and door frames, between walls and foundations, between walls and roof/ceiling and between wall panels, openings or penetrations of utility services through walls, floors and roofs and all other such openings in the building envelope shall be caulked, gasketed, weather stripped, or otherwise sealed in an approved manner.
2. Ridge vents and soffit vents equal to 1/300 of total roof area (with a vapor barrier of 1 perm or less installed in attic). Ridge vents = 72 sq in net free area per 4ft section. Soffit vents = 12 sq in per 16ft net free area. See individual model plans for minimum required areas.
3. If garage is constructed on-site by others, walls between dwelling unit and garage to be sheathed with 3/8" minimum gypsum from bottom of floor to roof sheathing.
4. All interior finish materials shall be approved and listed as Class C or better. All interior non bearing studs shall be 2x4 @3' at 16" o.c.
5. All materials, assemblies, construction and equipment shall conform to the regulations and generally accepted standards of the applicable state fire prevention and building codes.
6. Safety glazing required in interior and exterior doors, fixed side panels, tub and shower enclosures (including doors, panels and windows). Windows other than in tub/shower enclosure as well as glazing in interior partitions shall be safety glazed if there is a 5.7 sq. ft. or more of glazed panel where any part of such a panel is located within 18" of the floor level.
7. Provide 1" minimum distance between sheathing and insulation at roof eaves.
8. Basement foundations shall meet the local requirements. Alternate types of foundations approved by the local deed authority may be used.
9. Hangers on trusses to LVL beam at all openings:  
180" Sdsc H2.5 hanger or equivalent, 243# uplift, 764# gravity capacity.  
180" Sdsc H2.5 or equivalent 177# uplift.  
180" Sdsc H2.5 hanger or equivalent, 280# uplift, 823# gravity capacity.  
180" Sdsc H2.5 hanger or equivalent, 238# uplift capacity.
10. Alpha 5200 ASTM C857 for ceiling drywall fastening. A full width bead on both sides where there is an edge seam of drywall under the truss bottom chord, and on alternate sides in the field of the drywall overlapping approx. 12" to 14" in the center of the bottom chord of the truss.



ADVENTURE HOMES		Drawn by	DRFTR
1119 FULLER DR.		Date	04/21/21
GARRETT, IN. 46738		Scale	NTS
		Rev	REV_DATE
		REV	REV_DATE
Title CROSS SECTION-BSMT			
Model # MOD0764R-14208		Sheet #	8 OF 8

9-36; 04/22/2021; 10043771709; OHIO BBS/I.U. approval limited to installations on conditioned basement & excludes site installed items.