

Franklin County Board of Commissioners Rezoning Hearing

**Franklin County Courthouse
373 South High Street – 26th Floor
Columbus, OH 43215**

**Tuesday, February 12, 2019
10:00 a.m.**

1. Call roll for board members
2. Introduction of staff
3. Swearing in of witnesses
4. Approval of minutes from the September 11, 2018 meeting
5. New Business:

i. ZON-18-06 – Brad Fisher

Owner:	Frank Road, LLC
Applicant:	Werner Enterprises, Inc.
Agent:	KBM
Township:	Franklin Township
Site:	977 Frank Rd. (PID#140-003149)
Acreage:	12.289-acres
Utilities:	Public water and wastewater
Request:	Requesting to rezone from the Limited Industrial (LI) district to the Select Commercial Planned District (SCPD) to allow for a range of industrial uses and a commercial truck driving school.

6. Adjournment of Meeting to March 12, 2019



Franklin County
Board of Commissioners

**ECONOMIC DEVELOPMENT
& PLANNING**

**MINUTES OF THE
FRANKLIN COUNTY BOARD OF COMMISSIONERS
REZONING HEARING**

Tuesday September 11, 2018

The Franklin County Board of Commissioners convened in the Franklin County Commissioners Hearing Room, 373 South High Street, 26th Floor, Columbus, Ohio 43215, on Tuesday, September 11, 2018.

Present were:

Kevin L. Boyce, Chairperson
Marilyn Brown, Commissioner
John O'Grady, Commissioner

Franklin County Economic Development and Planning Department members:

Jenny Snapp, Planning Assistant Director
Matt Brown, Planning Administrator
Brad Fisher, Planner

Chairperson Boyce opened the hearing.

The first order of business being the roll call of members, the introduction of Staff, and the swearing in of witnesses.

The next item of business was the approval of the minutes from the July 10, 2018, hearing. Commissioner O'Grady made a motion to approve the minutes of the July 10, 2018, hearing. It was seconded by Commissioner Brown. The motion was passed by a three-to-zero vote.

NEW BUSINESS:

The next order of business being County Rezoning Case ZON-18-05. The applicant and owner is Emig Road, LLC. The agent is Jack Reynolds with Smith & Hale. The site is located in Franklin Township at 1350 Emig Road. The request is to rezone from the Rural District to the General Industrial District. Mr. Brad Fisher read and presented the case to the Franklin County Board of Commissioners. Mr. Jack Reynolds spoke on behalf of the applicant. A motion was made by Commissioner O'Grady and seconded by Commissioner Brown to approve rezoning from Rural District to General Industrial District. The motion was approved by a three-to-zero vote.

There being no further business to come before the Franklin County Board of Commissioners, Chairperson Boyce adjourned the hearing. The hearing was adjourned at 10:30 a.m.

Signature

Minutes of the September 11, 2018, Franklin County Board of Commissioners Rezoning Hearing were approved this 12th day of February, 2019.

STAFF REPORT

Board of County Commissioners
February 12, 2019

Case: ZON-18-06

Prepared by: Brad Fisher

Owner:	Frank Road, LLC
Applicant:	Werner Enterprises, Inc.
Agent:	Kara Burkhardt – KBM
Township:	Franklin Township
Site:	977 Frank Rd. (PID #140-003149)
Acreage:	12.289-acres
Utilities:	Public water and wastewater
Request:	Requesting to rezone from the Limited Industrial (LI) district to the Select Commercial Planned District (SCPD) to allow for a range of industrial uses and a commercial truck driving school.

Summary

The applicant is requesting to rezone from the Limited Industrial (LI) district to the Select Commercial Planned District (SCPD) to allow for a range of industrial uses and a commercial truck driving school. Staff recommends *approval* with conditions.

Request

The subject site is located on the south side of Frank Road, between Brown Road and Interstate 71 in Franklin Township. The subject site was developed in 1963 and is currently used as a trucking terminal. The site includes two buildings that total 44,000 +/- square feet in size, 8.2 +/- acres of paved parking surface and 3.8-acres of woods.

The proposal is to rezone from the Limited Industrial (LI) district to the Select Commercial Planned District (SCPD) to allow all uses permitted in the LI district and a commercial truck driving school. All existing structures will be removed in order to redevelop the site.

Surrounding Land Use/Zoning

The surrounding area is developed industrially and zoned Limited Industrial (LI) in Franklin Township to the east, south and west, and Manufacturing in the City of Columbus to the north. The property to the north is developed with a gas station and tractor trailer parking facility. The properties to the east are developed with Republic Services recycling offices and truck repair garage. The property to the south is Frank Road Recycling Solutions and the property to the west is Estes Express Lines truck terminal and repair shop.

Comprehensive Plans

The subject site is located within the planning area of the Southwest Area Plan, which was adopted by the City of Columbus and Franklin County in 2009. The Plan includes a Future Land Use Map that recommends light industrial uses for the subject site and the surrounding area, which include the following: light manufacturing, assembling and processing, warehousing and distribution, and mixed

business parks containing compatible industrial and non-industrial uses. Corresponding zoning districts include Restricted Industrial (RI) and Planned Industrial Park (PIP).

The Plan also recommends maintaining existing industrial land uses and utilizing urban design standards that promote high quality development and improved aesthetics. These design standards include: landscaping between buildings and public streets, orient buildings to screen external activities and parking to the rear or side of a building. Sidewalks are also recommended for this section of Frank Road, however they are a low priority.

The proposed use and redevelopment of the subject site are in keeping with the Plan's recommendations, however no sidewalk is proposed. Staff notes that there are no existing sidewalks to the east or west, or on the north side of Frank Road that the subject site would connect to.

Staff Analysis

Existing zoning – Limited Industrial:

The Limited Industrial (LI) district is provided for a broad range of industrial activities which are more intense than those permitted in the Restricted Industrial (RI) district. Outdoor storage, general warehouse-related truck traffic, service vehicles and equipment may occur in this district. Types of permitted uses include: Manufacturing, Commercial Establishments, Administrative Offices, Personal, Consumer and Business Services.

Proposed zoning – Select Commercial Planned District:

The Select Commercial Planned District (SCPD) is intended to provide for any use permitted in a straight commercial, restricted industrial, and limited industrial zoning district to locate in residential areas with development controls to ensure compatibility with the surrounding environment. Any deviation from the SCPD standards must be requested as a waiver and approved as part of the SCPD. Any change or modification to an approved development plan or change to the list of permitted uses must be approved as an amendment through the rezoning process.

Proposed permitted uses include all uses found in the Limited Industrial (LI) district and Standard Industrial Classification Code 8249, Truck Driving Training School.

Access/Traffic:

One, 38 feet wide, two-way access point is provided.

Parking:

A total of 29 parking spaces are required and 99 total parking spaces will be provided.

- Student/Employee
 - 94 Regular spaces
 - 5 ADA compliant spaces

Storm Water/Drainage:

Existing drainage outlet locations shall be maintained as shown on the Development Plan and may be adjusted with the final construction of the site and will comply with the Franklin County Stormwater Drainage Manual.

Sewage Disposal and Water Supply:

Existing sewer lines will be utilized.

Existing wells will be abandoned and water service will be provided by the City of Columbus.

Architectural Design:

One 2-story building, 5,490 square feet in size, which will provide a main entrance facing the street, and using metal paneling and windows with clear glazing on the façade. The first floor will include: eight (8) offices, three (3) storage rooms, two (2) open rooms, data room, staff break room, reception hall, covered patio and restrooms. The second floor will include: class room, student break room, staff break room, two (2) offices, two (2) open rooms, storage room, lobby and restrooms.

One 200 square foot storage shed.

Outside Storage and Utilities:

15 semi-trucks with trailers are owned by the business, and will be stored on-site within the fenced Driver Training Course area during non-school hours.

Existing vegetation/woods will be used to screen the storage of trucks and trailers to the south and west.

Pollution:

No smoke or odor will be emitted or produced on the property and no noise will be emitted greater than 60 decibels.

Graphics and Signage:

The Development Plan shows one wall sign on the front of the building, measuring 85.71 square feet in size, one wall sign on the east side of the building, measuring 23.94 square feet in size, and the location of a monument sign that is not to exceed the maximum allowable sign facing size.

Any future proposed signage must be compatible to the overall architectural design of the building, and wall signs shall be permitted on the primary and secondary frontage and comply with the sign regulations in Section 541 of the Franklin County Zoning Resolution.

Lighting:

All lighting shall be as depicted on the Lighting Plan. Parking lot light fixture will not exceed 28 feet in height, and are cut-off type fixtures.

Screening & Landscaping Plan:

A six (6) foot chain link fence is proposed along the west, south and east paved areas. The fence along the east side of the property will include slats. A decorative wall/fence, six (6) feet tall is proposed along the frontage of the building, setback 27 feet from the new right-of-way.

Landscaping includes existing heavily wooded area along the entire western and southern property line. 10 trees will be located in the parking area and 7 trees will be located outside of the right-of-way along the frontage of the lot, east of the access drive.

Technical Review Agencies

Franklin County Engineer's Office

A Traffic Access Study (TAS) is currently being reviewed and must be approved prior to the approval of a Zoning Compliance.

Franklin Soil and Water Conservation District

Indicated no concerns with the rezoning request.

City of Columbus – Division of Water

Indicated that a 20 inch water main would service the property. The maximum tap size allowed for this property is a two (2) inch tap, taps larger than two (2) inch will require the property to be annexed into the City of Columbus.

Staff Review

The proposed truck driving school is in keeping with the Plan's recommendations and meet the applicable development standards. The proposed development would allow for compatible industrial and non-industrial uses, improved aesthetics that include a new two-story building, landscaping, a decorative fence/wall, and provide an educational services for local residents. No sidewalk is proposed, however, sidewalks are a low priority for this section of Frank Road and there are currently no existing sidewalks to the west, north or east.

Staff Recommendation

Staff recommends approval with conditions of the request to rezone from the Limited Industrial (LI) district to the Select Commercial Planned District (SCPD). The conditions are as follows:

1. The applicant must apply for and receive approval of a Certificate of Zoning Compliance with the Franklin County Economic Development and Planning Department.
2. Include dimensions of the monument sign.
3. Include dumpster information as required in Section 505 of the Franklin County Zoning Resolution.
4. The proposal must comply with the Franklin County Stormwater Drainage Manual.
5. The applicant must complete any improvements warranted by the Traffic Access Study (TAS).
6. Provide an updated Lighting Plan that clearly shows light fixtures will not cause light trespass onto adjacent properties.

Planning Commission Recommendation

On January 9, 2019, the Franklin County Planning Commission recommended approval of the proposed rezoning with Staff's conditions.

Rural Zoning Commission Recommendation





On January 17, 2019, the Franklin County Rural Zoning Commission approved the proposed rezoning with Staff's conditions.

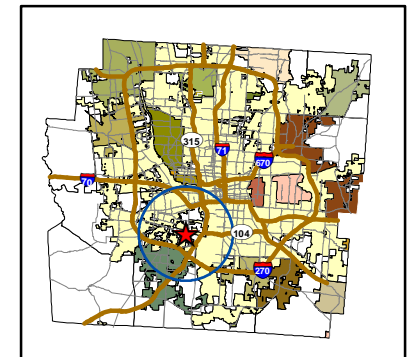


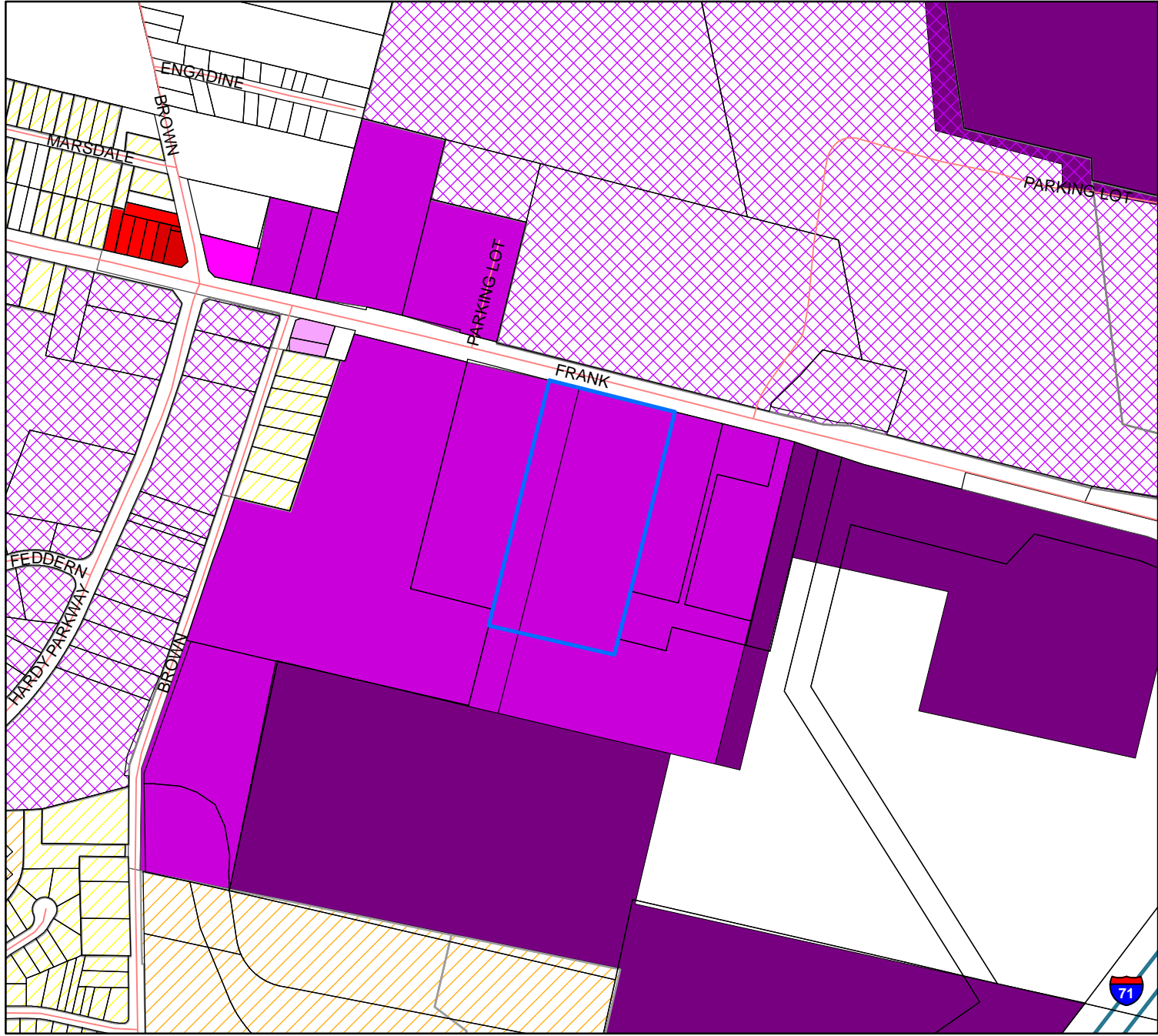
ZON-18-06

Requesting to rezone from the Limited Industrial (LI) district to the Select Commercial Planned District (SCPD) to allow for a range of industrial uses and a commercial truck driving school.

Acres: 12.289
Township: Franklin

-  977 Frank Road
-  Parcels
-  Interstate
-  Streets





ZON-18-06

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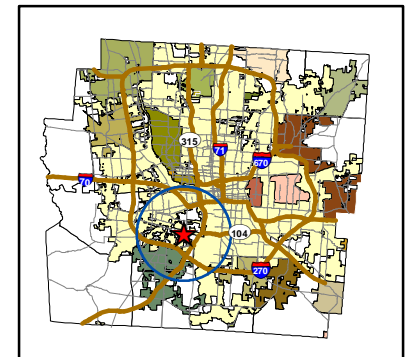
- 977 Frank Road
- Parcels
- Interstate
- Streets

Franklin County Zoning

- Community Commercial
- Community Service
- General Industrial
- Limited Industrial
- Neighborhood Commercial
- Restricted Industrial
- Rural

Columbus Zoning

- Residential
- Multi-family
- Manufacturing






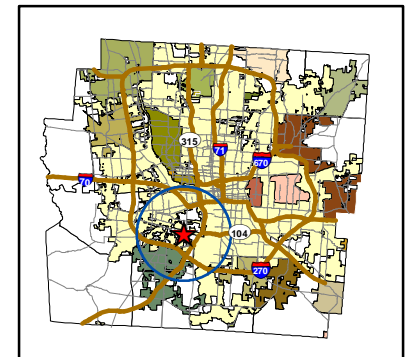


ZON-18-06

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Acres: 12.289
Township: Franklin

-  977 Frank Road
-  Parcels
-  Streets





EXTERIOR RENDERING
 SCALE: NTS



EXTERIOR RENDERING
 SCALE: NTS

D.E. Designs

DATE: 12/18/18
 DRAWN BY: J. W. WOOD
 CHECKED BY: J. W. WOOD

ROADMASTER DRIVERS SCHOOL
 EXTERIOR ELEVATION RENDERERS

NO. 18-06

DAVID A. WOOD
 LICENSE NO. 000000000000000000
 EXPIRE DATE: 03/31/2019

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D.E. Designs
 124 E. THIRD STREET
 DAYTON, OH 45402
 PHONE: (937) 299-3513

D.P.E. Designs

DATE: 12/18/18
SCALE: AS SHOWN
DRAWN BY: JACOB
CHECKED BY: DAE

ROADMASTER DRIVERS SCHOOL
DIMENSIONED 1ST FLOOR PLAN

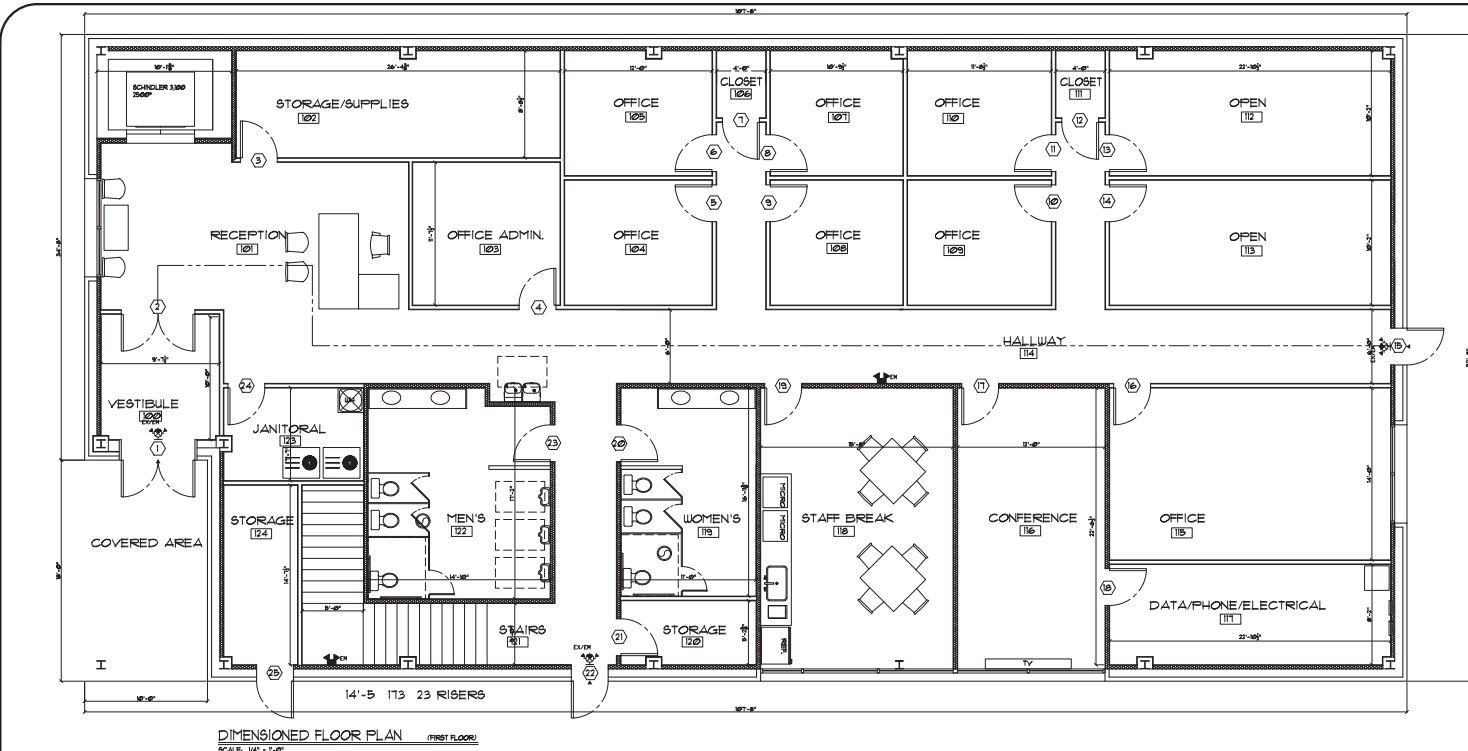
NO. REVISIONS

DATE: 12/18/18
BY: JACOB
CHECKED BY: DAE

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124 E. THIRD STREET
DAYTON, OH 45402
PHONE: (937) 299-3213

A-1



DIMENSIONED FLOOR PLAN (FIRST FLOOR)
SCALE: 1/4" = 7'-0"

DOOR TYPES

NOTE: WINDOWS AND DOORS TO ROOFS SHALL BE LOCATED 3'-0" TO 4'-0" ABOVE FINISHED FLOOR. ALL ARCHITECTURAL GLAZING WITHIN 48" OF DOORS SHALL BE THERMOPLASTIC GLAZING OF DOORS.

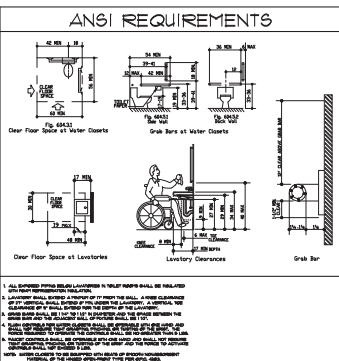
ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT SPECIAL KNOWLEDGE, SKILL OR USE OF A KEY.

DOOR HANDLES, PULLS, LATCHES, LOCKS AND DOOR HANGERS, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE A MINIMUM OF 34" ABOVE FINISHED FLOOR AND A MAXIMUM OF 48" ABOVE FINISHED FLOOR. OPERATING DEVICES SHALL BE OPERABLE BY OPERATION WITH ONE HAND AND SHALL NOT REQUIRE COORDINATED TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. (ICC 103.5.5.2)

NONFLUSH

DOOR SCHEDULE							
NO.	DOOR SIZE	TYPE	MATL.	FRAME	LOCATION	HARDWARE SET	REMARKS
PRELIMINARY							

HARDWARE	
	PASSAGE LATCH BOTH LEVERS ALWAYS UNLOCKED.
	ENTRANCE LOCK UNLOCKED BY KEY FROM OUTSIDE. LOCKED BY LEVER FROM INSIDE. LEVER MUST BE ALWAYS UNLOCKED.
	OFFICE LOCK PUSH-BUTTON LOCKING. PUSH-BUTTON LOCKING UNLOCKED WITH A KEY OR BY TURNING HANDLE LEVER.
	CLASSROOM LOCK PUSH-BUTTON LOCKING. TURNING HANDLE LEVER UNLOCKED AND UNLOCKED BY KEY. HANDLE LEVER ALWAYS UNLOCKED.
	TOILET / PRIVACY LOCK TURNING HANDLE LEVER UNLOCKED AND UNLOCKED BY KEY. HANDLE LEVER ALWAYS UNLOCKED.
	PANIC BAR RELEASE DOOR LOCKED BY KEY FROM OUTSIDE OR HANDLE LEVER FROM INSIDE. LOCK RELEASES BY PUSHING DOWN HANDLE LEVER.
	PANIC BAR RELEASE DOOR LOCKED BY KEY FROM OUTSIDE OR HANDLE LEVER FROM INSIDE. LOCK RELEASES BY PUSHING DOWN HANDLE LEVER.



GENERAL NOTES

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND REGULATIONS.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONTRACT. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND/OR CORRECTED BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.

ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED. EXISTING DIMENSIONS ARE 1/4" AND MUST BE FIELD VERIFIED PRIOR TO COMMENCING WITH THE WORK. NEW DIMENSIONS ARE TO FACE OF GLASS OR DUL.

ALL NEW WALLS TO BE OF FREE-FIELD CONSTRUCTION. ALL NEW CONCRETE MATERIALS, A MIN. OF 3000 PSI, 4" OR 6" THICK. 1/2" MIN. RIGID BATT INSULATION. ALL NEW RESTROOM WALLS TO RECEIVE BOARD BATT INSULATION.

UNLESS OTHERWISE SHOWN OTHERWISE DOOR LOCATIONS NOT LOCATED BY THESE NOTES SHALL BE CENTERED IN WALL. DOOR LOCATIONS NOTED AS TO CO-ORDINATE ALL BLOCKS IN WALLS FOR ALL WALL MOUNTED ITEMS.

ALL MATERIALS THAT MEET FLAME RESISTANCE REQUIREMENTS OF LOCAL CODES.

WOOD BLOCKING, BRACING AND FRAMING MATERIALS ARE ONLY ALLOWED BELOW THE FINISHED CEILING LINE UNLESS FIRE-RETARDANT TREATED AND PAINTED AS EACH.

ANY PENETRATIONS OF OR MODIFICATIONS TO THE EXISTING STRUCTURAL SYSTEMS, CONCRETE, ETC. MUST BE COORDINATED WITH THE ARCHITECT AND LOCAL AUTHORITIES. ANY MODIFICATIONS MUST BE APPROVED BY THE ARCHITECT AFTER SUBMISSION OF A DETAIL SCOPE OF WORK CALLOUT.

CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS PER LOCAL FIRE DEPARTMENT.

FIRE ALARMS AND DRAFTSTOPPING TO BE INSTALLED, AS APPLICABLE, PER OBC, SECTION 707.

LEGEND	
	NEW FULL HEIGHT WALL TO CEILING

D.A.E. Designs

DATE: 12/18/18
SCALE: AS SHOWN
DRAWN BY: DAE
CHECKED BY: DAE

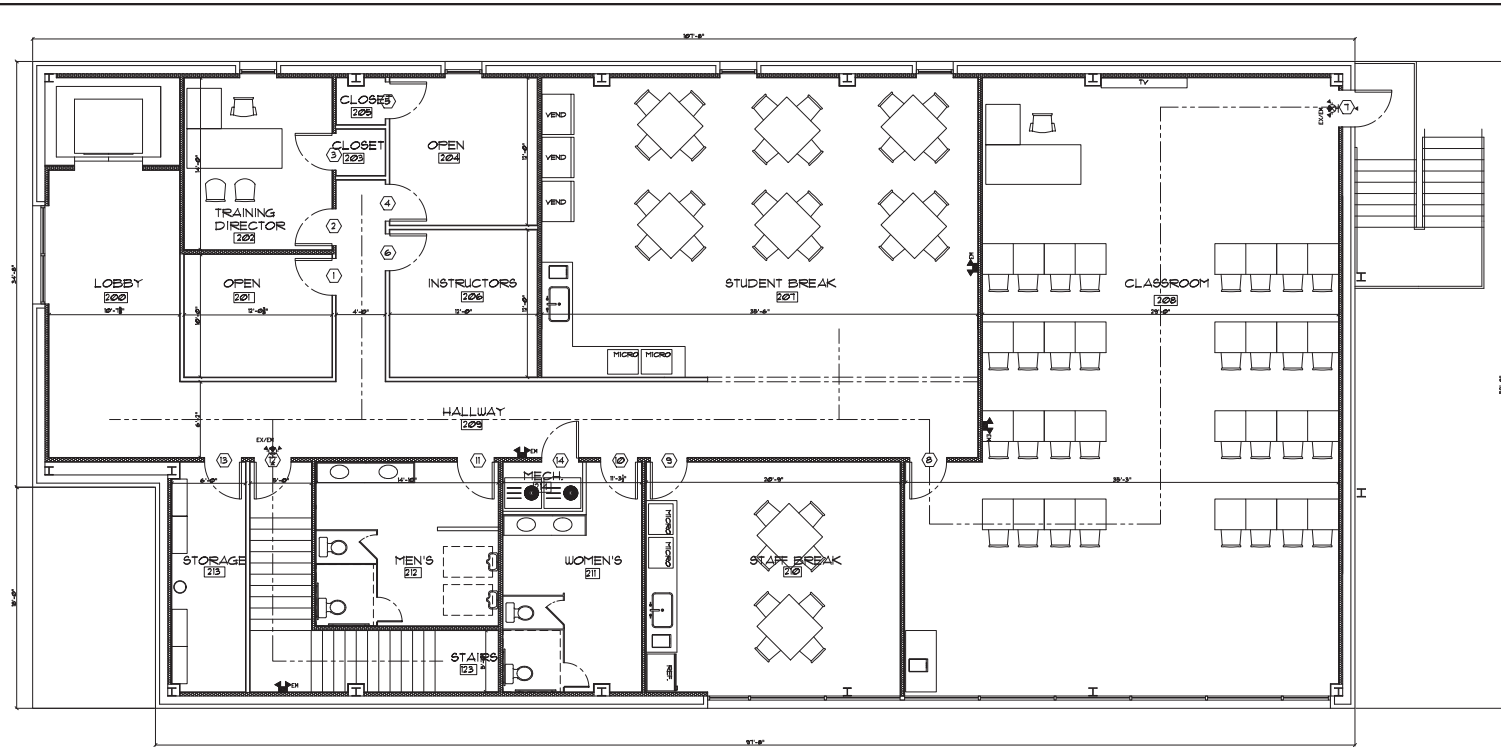
**ROADMASTER DRIVERS SCHOOL
DIMENSIONED 2ND FLOOR PLAN**

REVISIONS:
NO. DESCRIPTION
DATE

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DATE: 12/18/18
BY: DAE

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124 E. THIRD STREET
DAYTON, OH 45402
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A-2

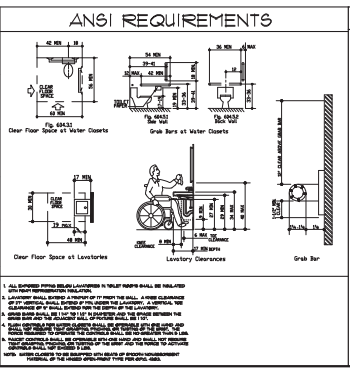
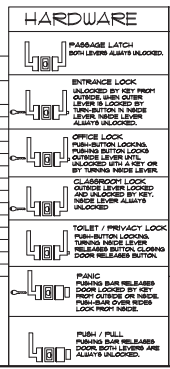
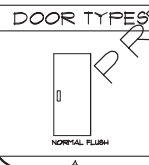


DIMENSIONED FLOOR PLAN (SECOND FLOOR)
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

NO.	DOOR SIZE	TYPE	FRAME	LOCATION	HARDWARE SET	REMARKS
1	3'-0" x 8'-0"	A	WOOD	HPL OFFICE (200)	OFFICE	
2	3'-0" x 8'-0"	A	WOOD	HPL DIRECTOR (202)	OFFICE	
3	3'-0" x 8'-0"	B	WOOD	HPL CLOSET (203)	PASSAGE	
4	3'-0" x 8'-0"	D	WOOD	HPL OFFICE (204)	OFFICE	
5	3'-0" x 8'-0"	F	WOOD	HPL CLOSET (205)	PASSAGE	
6	3'-0" x 8'-0"	D	WOOD	HPL INSTRUCTOR (206)	OFFICE	
7	3'-0" x 8'-0"	E	METAL	HPL EXIT STAIR (208)	PLING	
8	3'-0" x 8'-0"	F	WOOD	HPL CLASSROOM (208)	CLASSROOM	
9	3'-0" x 8'-0"	F	WOOD	HPL STAFF BREAK (209)	CLASSROOM	
10	3'-0" x 8'-0"	F	WOOD	HPL MEN'S R (212)	RESTROOM	
11	3'-0" x 8'-0"	F	WOOD	HPL WOMEN'S R (211)	RESTROOM	
12	3'-0" x 8'-0"	F	WOOD	HPL STAIRS (213)	PUSH / PULL	
13	3'-0" x 8'-0"	F	WOOD	HPL STORAGE (218)	ENTRANCE	
14	3'-0" x 8'-0"	F	WOOD	HPL MECHANICAL (214)	ENTRANCE	

NOTE: WINDOWS AND DOORS TO OPEN WITH OMC. OMC 5686.
ALL DOOR HANDLES TO COMPLY WITH ICC ANS I-103.00. ALL ARCHITECTURAL GLAZING WITHIN 48" OF DOORS SHALL BE TYPED TO INDICATE GLAZING TYPE.
ALL EXIST DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT SPECIAL KNOWLEDGE, EFFORT OR USE OF A KEY.
DOOR HANDLES, PULLS, LATCHES, LOCKS AND DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE OPERABLE FROM BOTH SIDES OF THE DOOR. OPERATING DEVICES SHALL BE OPERABLE FROM BOTH SIDES OF THE DOOR. OPERATING DEVICES SHALL BE OPERABLE FROM BOTH SIDES OF THE DOOR. OPERATING DEVICES SHALL BE OPERABLE FROM BOTH SIDES OF THE DOOR.
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GENERAL NOTES

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND REGULATIONS.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONTRACT. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY AND BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.

ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.

ALL NEW WALLS TO BE OF FREE-FIELD CONSTRUCTION. ALL NEW CONCRETE FOUNDATIONS, FLOOR OR GROUND FLOOR, SHALL BE 12" MIN. THICK. ALL NEW CONCRETE FOUNDATIONS SHALL BE REINFORCED WITH #4 BARS @ 18" ON CENTER. ALL NEW CONCRETE FOUNDATIONS SHALL BE REINFORCED WITH #4 BARS @ 18" ON CENTER.

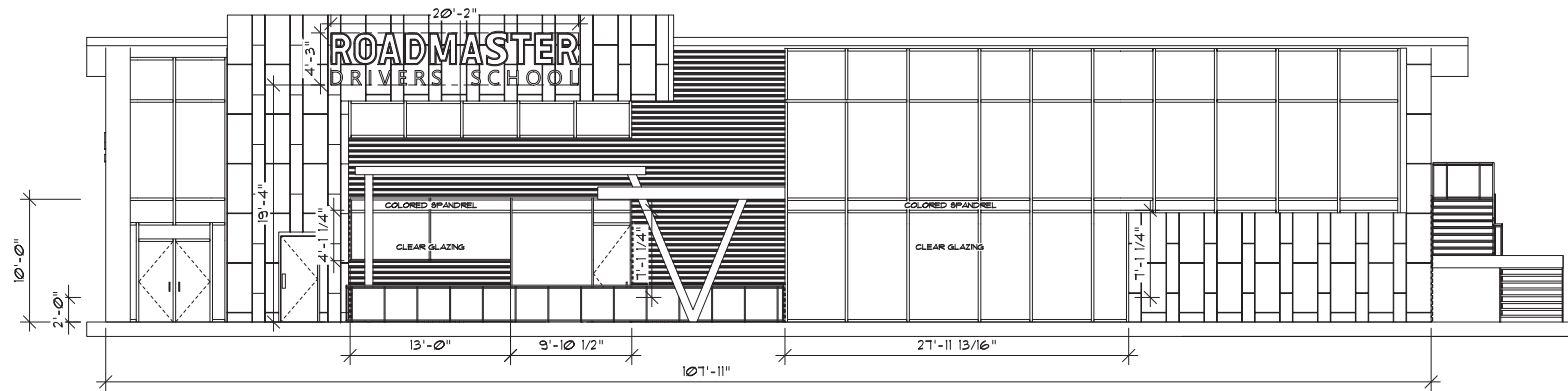
WOOD BLOCCING, BECKING AND TRAPPING MATERIALS ARE ONLY ALLOWED BELOW THE FINISHED CEILING LINE UNLESS FIRE-RETARDANT TREATED AND MARKED AS SUCH.

CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS PER LOCAL FIRE DEPARTMENT.

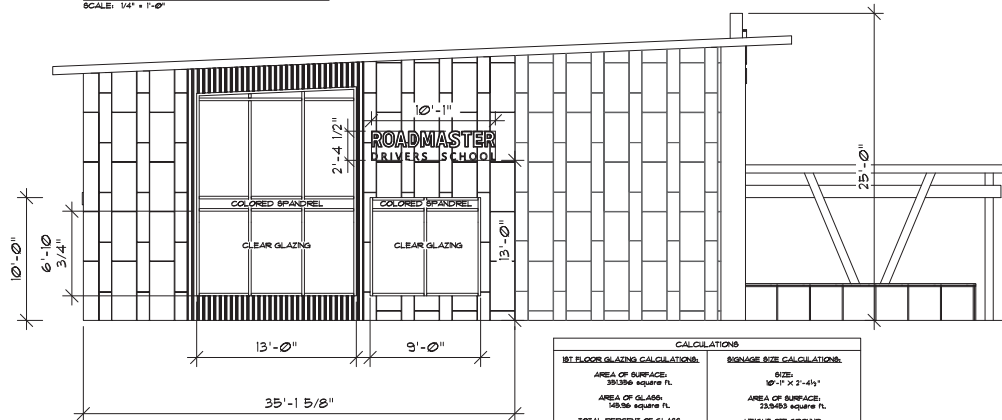
FRISBLOCCING AND DRAFTSTOPPING TO BE INSTALLED, AS APPLICABLE, PER OMC SECTION 701.

LEGEND

=====	NEW FILL HEIGHT WALL TO CEILING
=====	NEW FILL HEIGHT WALL TO CEILING
=====	NEW 6" WALL TO 48"-10"
=====	NEW 4" WALL TO 48"-10"
=====	DOOR IDENTIFICATION
=====	WINDOW IDENTIFICATION
=====	PLAN NOTE REFERENCE
=====	ELEVATION REFERENCE
=====	SECTION REFERENCE
=====	FLOOR FINISH REFERENCE



WEST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

CALCULATIONS	
1ST FLOOR GLAZING CALCULATIONS:	SIGNAGE SIZE CALCULATIONS:
AREA OF SURFACE: 184 square ft.	SIZE: 20'-2" X 4'-3"
AREA OF GLASS: 32 square ft.	AREA OF SURFACE: 85.71 square ft.
TOTAL PERCENT OF GLASS: 32/184 = 17.39%	HEIGHT OFF GROUND: 10'-0" (GULLY HOISTED)
	WORK HOURS: 258+50 308+300 square ft. allowable

CALCULATIONS	
1ST FLOOR GLAZING CALCULATIONS:	SIGNAGE SIZE CALCULATIONS:
AREA OF SURFACE: 38.98 square ft.	SIZE: 10'-1" X 2'-4 1/2"
AREA OF GLASS: 149.86 square ft.	AREA OF SURFACE: 23.8-453 square ft.
TOTAL PERCENT OF GLASS: 149.86/38.98 = 439%	HEIGHT OFF GROUND: 10'-0" (GULLY HOISTED)
	WORK HOURS: 109+34 343+204 square ft. allowable

NOTE

GLAZING: For a primary building frontage of a commercial use, a minimum of 40 percent of the area between the height of 2 feet and 10 feet above grade shall be in clear window glass that permits a full unobstructed view of the interior to a depth of at least 4 feet. For any secondary building frontage, the portion of window glass shall contribute from the primary building frontage a minimum distance of 10 feet.

SIGNAGE: Signage requirements based upon section 841.02.
MASS FACTOR x AREA OF FACE = ALLOWABLE SIZE

D.P.E. Designs

DATE: 12/18/18
DRAWN BY: J. D. BOYD
CHECKED BY: J. D. BOYD
DESIGNED BY: D.P.E.

ROADMASTER DRIVERS SCHOOL
EXTERIOR ELEVATION

DAYTON, OH 45424
PHONE: (937) 299-3213
EXP. DATE: 12/31/2019

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D.P.E. Designs

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PHONE: (937) 299-3213

Stormwater Drainage:

The part of the site that is planned to be redeveloped is currently 100% pervious area. This development will reduce the amount of impervious area and likely the volume of runoff. We do not anticipate a stormwater volume detention requirement. However due to the number of acres that will be disturbed we do foresee the need to provide water quality measures as will be required by the OEPA. Initial thoughts are to utilize pre engineered underground water quality units. We intend full compliance with Franklin County Regulations as well as OEPA requirements and notifications.

Sewage Disposal & Water Supply:

Water:
There is a City of Columbus 20" watermain located in Frank Road. This property has the right to have a maximum of a 2" water tap. The site is currently served by a private well. There are actually 2 existing wells on the property. Both of the existing wells are abandoned.
Sewer:
Sewer is currently being served by the 30" main in Frank Road. The site will continue to utilize this existing tap.

Property Information:

977 Frank Road
PID# 140-003149
ROW Dedication 0.120 Acre
Residual Property 12.102 Acre
Parcel Contains 12.289 Acre

Zoning:

Property is currently zoned "LI"
Light Industrial.
Proposed Zoning is "SCPD"
Select Commercial Planned District

Existing Uses:
Trucking Terminal
Drop Lot

Proposed Use:
CDL Drivers School
CDL Testing Facility

Building Setbacks:

Building Setbacks
Front = 27'

Parking / Paving Setback:
Front = Cannot park or pave in front yard.

Applicant:

Werner Enterprises Inc.
Contact: Jody Green
14507 Frontier Road
Omaha Nebraska 68138
(402)895-6640 x 3133

Architect:

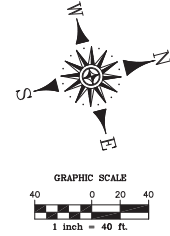
DAE Designs
Contact: Dove Eaton
124 E. Third Street
Suite 201
Dayton, Ohio 45402
(937)299-3213

Engineer/Surveyor:

Land Consultants
Contact: Kara Burkhardt Meineke
314 Front Street
Lawrenceburg, Indiana 47025
(937)838-6930

Landscape Architect:

Joe David Roller
Landscape Architect
2324 Shelterwood Drive
Dayton, OH 45409
(937) 313-3872



Parking Summary:

Regular Spaces 04
ADA Compliance Spaces 3
Total Spaces 99

PLANS PREPARED BY:
LAND CONSULTANTS
SBE Certified
associate companies and services
THE ENGINEERING GROUP
THE SURVEY COMPANY
LAND DEVELOPMENT CONSULTING
COMMUNITY AND ECONOMIC PLANNING
314 FRONT STREET
LAWRENCEBURG, IN 47025
(812) 537-2145
FAX (812) 537-4901
(888) 537-2145
555 GEST STREET
SUITE 200
CINCINNATI, OH 45203
(513) 381-1020
FAX (513) 381-1070
WWW.LANDCONSUL.COM

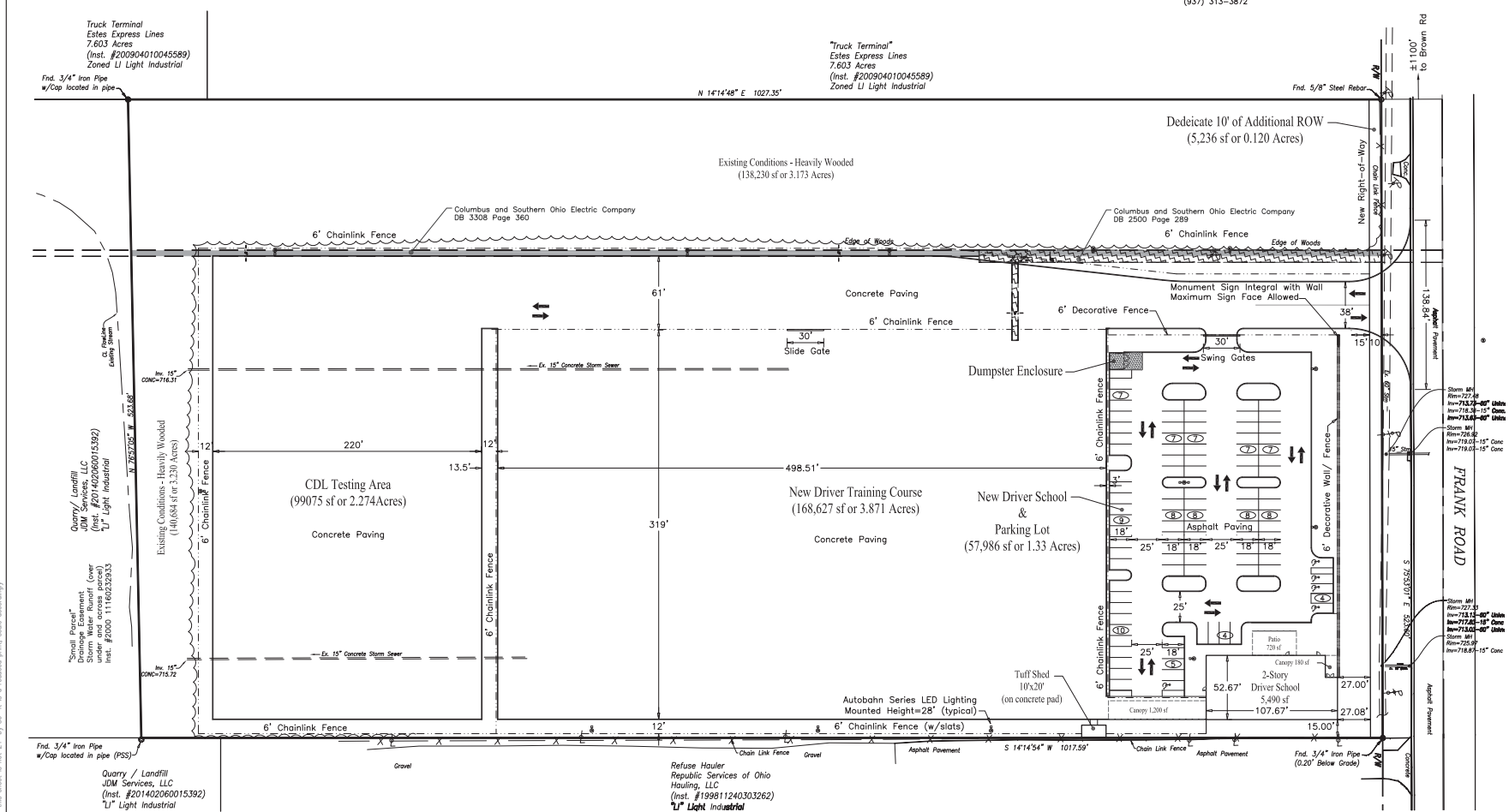
IN ASSOCIATION WITH:
Kara Burkhardt Meineke
5334 Far Hills Avenue
Suite 305
Dayton, OH 45429
Phone: (937)838-6930
Fax: (815) 417-6155
KBURK99@SBCGLOBAL.NET

NO.	DATE	DESCRIPTION	REVISIONS

PLANS PREPARED FOR:
Werner Enterprises Inc.
14507 Frontier Road
P.O. Box 45308
Omaha, NE 68145-0308
PROJECT NAME:
Werner Enterprises Roadmaster Drivers School
977 Frank Road
Franklin Township
Franklin County, Ohio 43223

SHEET TITLE:
DEVELOPMENT PLAN

LC PROJ. NO. 164018	BASE FILE NAME 114-18 CD.dwg
KRM PROJ. NO. 114-18	TAB NAME DEV
DATE 1-08-19	DRAWING NO. DEV
SCALE 1"=40'	SHEET 1 of 3



If this sheet is not 24" by 36" it is a reduced print, scale accordingly.

PLANT SCHEDULE:

QUAN	SYMBOL	COMMON/ BOTANICAL NAME	MIN SIZE & CONDITION
10		'AUTUMN GOLD' GINKGO/ <i>Ginkgo biloba</i> 'AUTUMN GOLD'	2" CAL., B&B
7		SKYLINE HONEYLOCUST / <i>Gleditsia triacanthos inermis</i> 'SKYLINE'	2" CAL., B&B

PLANT POTS	ASSORTED SIZES
	1"-2" WASHED RIVER STONE
	TURF
	2"-4" WASHED STONE MULCH (5" MIN. THICKNESS)

SHEET NOTES

- IN THE 2 FOOT WIDE AREA BETWEEN CURBS INSTALL FILL UP TO 3 INCHES BELOW TOP OF CURBS. OVER THE FILL INSTALL WASHED RIVER STONE MULCH AT 3" NOM THICKNESS. (ANTICIPATE APPROXIMATELY 4,216 SF OF AREA TO BE COVERED BY STONE.)
- INSTALL APPROXIMATELY 26,386 SF OF TURF. INSTALL GREEN VELVET "TROPHY" XRE TURF TYPE TALL FESCUE @ 10 LBS / 1000 SF OR APPROVED EQUAL. FERTILIZE AREA TO BE SEEDED WITH 18-24-12 STARTER FERTILIZER AT RATE OF 50 LBS PER 12,500 SF OF SOIL SURFACE. GREEN VELVET SOD FARM 6700 HUNTLY ROAD, COLUMBUS, OH 43229, 614 396-7247.

Joe D. Roller, R.L.A.
Ohio Landscape Architect No. 679

Date: _____

Applicant:

Werner Enterprises Inc.
Contact: Jody Green
14507 Frontier Road
Omaha Nebraska 68138
(402)895-6640 x 3133

Architect:

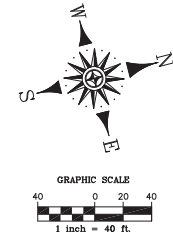
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Fax: (815) 417-6755
KBURK99@SBCGLOBAL.NET

NO.	DESCRIPTION	DATE

PLANS PREPARED FOR:

Werner Enterprises Inc.
14507 Frontier Road
P.O. Box 45308
Omaha, NE 68145-0308

PROJECT NAME:

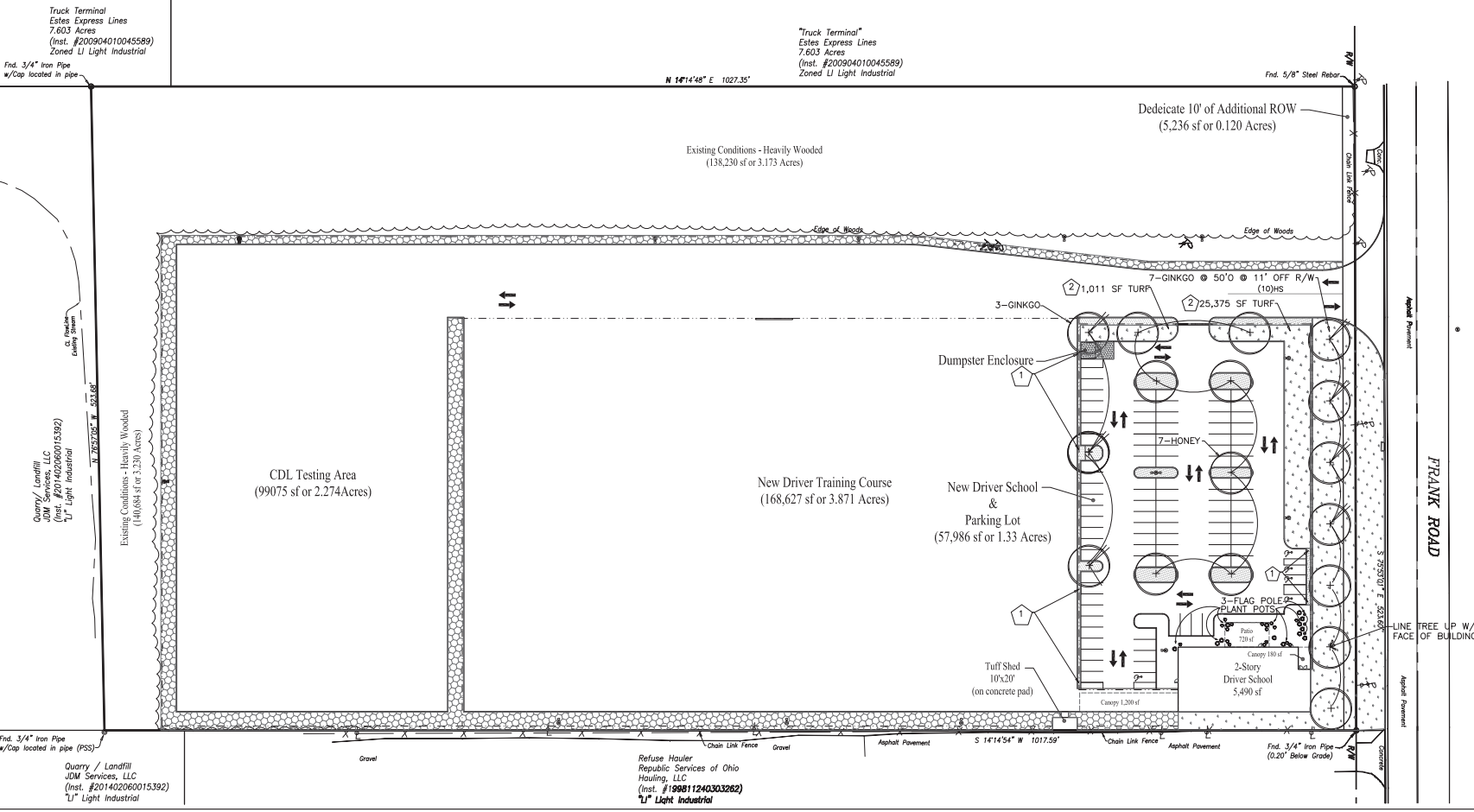
Werner Enterprises Roadmaster Drivers School

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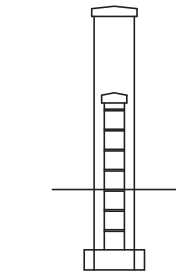
SHEET TITLE:

LANDSCAPE PLAN

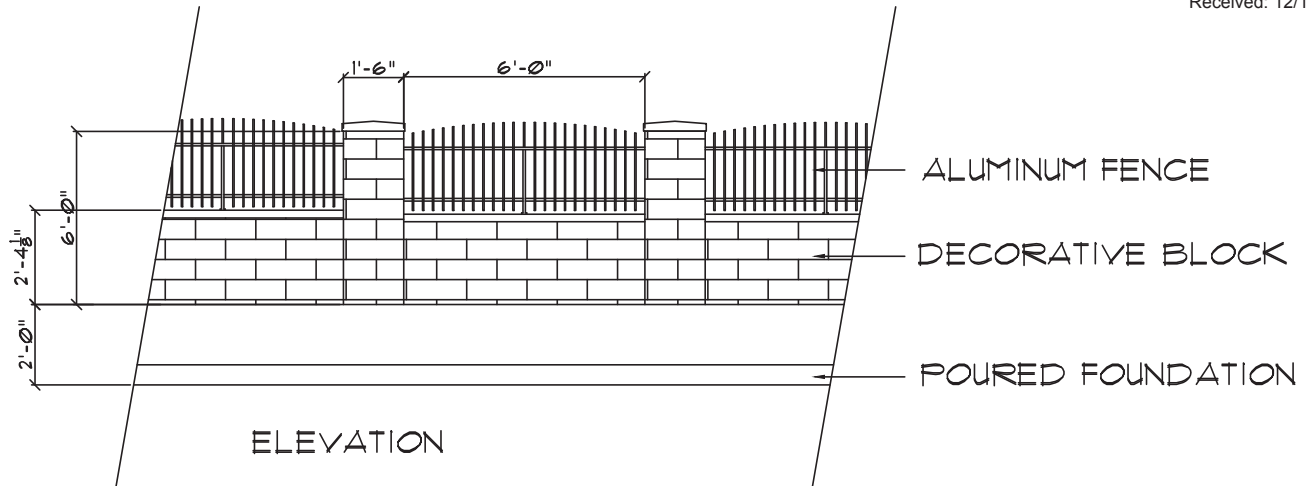
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KRM PROJ. NO. 114-18	TAB NAME Landscape
DATE 1-08-19	DRAWING NO. L 1.0
SCALE 1"=40'	SHEET 2 of 3



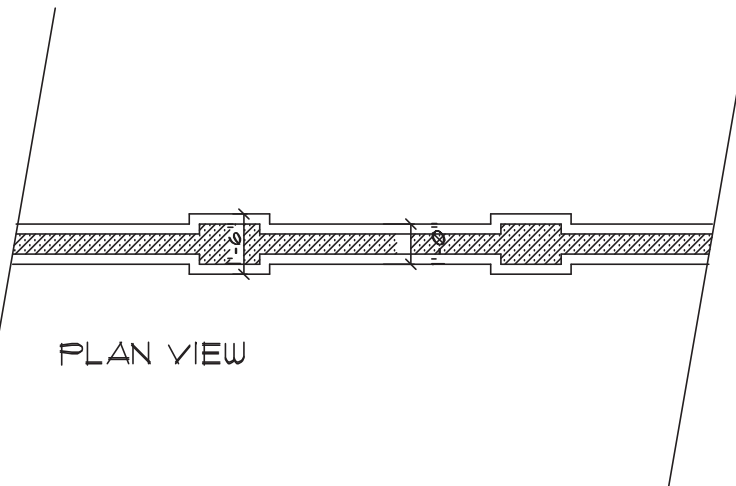
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SECTION



ELEVATION



PLAN VIEW

SHEET TITLE

SCALE: 3/8" = 1'-0"

DAVID A. EATON
 ARCHITECT #8824
 EXP. DATE: 12/31/2019

D.A.E. Designs

124 E. Third St.
 Dayton, OH 45402
 PHONE: (937) 299-3213

PROJECT:	ROADMASTER
LOCATION:	977 FRANK ROAD COLUMBUS, OHIO
SHEET TITLE:	6' FENCE/WALL

SHEET NO.	1
OF 1	

DATE:	12/17/18
SCALE:	SHOWN
REVISIONS:	

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Select Commercial Planned District
977 Frank Road, Franklin Township
Parcel #: 140-003149

Roadmaster Drivers School
by
Werner Enterprises

I. Introduction

Werner Enterprises (“applicant”) proposes the adoption of a Select Commercial Planned District for the parcel located at 977 Frank Road in Franklin Township. The lot is currently zoned Limited Industrial and the applicant seeks a rezoning to allow for the development of a drivers school where students learn to drive and maintain Semi-trailer trucks.

The applicant’s proposed use fits the existing character of the neighborhood and will be a significant upgrade to the current use of the parcel.

II. Permitted Uses

All the following shall be permitted uses in the proposed Select Commercial Planned District:

8249 Truck Driver Training School

And any permitted use of the LIMITED INDUSTRIAL DISTRICT as defined by the Franklin County Zoning Resolution **Section 344 – Limited Industrial District**.

III. Development Standards

The development standards of ARTICLE V, GENERAL DEVELOPMENT STANDARDS and the Southwest Area Plan shall apply to the SELECT COMMERCIAL PLANNED DISTRICT according to the specific zoning district and use selected in accordance with SECTION 420.02, Permitted Use and SECTION 420.033 Performance Standards, unless specifically set forth herein.

IV. Development Plan

A proposed development plan, Landscape Plan Existing Conditions Map, site map, and legal description and other supporting documents are submitted herein.

A. Traffic

The expected number of employees (24) and students (56) that will use the site each day has been shared with staff of the Franklin County Engineers office and it was decided that a Traffic Analysis is warranted. This traffic analysis work is underway. The findings of the analysis and any requirements of the Franklin County Engineers office will be incorporated into the final

construction documents for the parcel.

B. Access

The access to the redeveloped site will be thru one new drive approach. This drive approach is planned to be 38' wide at the ROW line and this is to accommodate the semi-trailers. This new drive approach is located in approximately the same location as the previous drive approach but is significantly reducing the width of the existing approach.

C. Parking

Parking shall be provided as depicted on the attached site plan.

D. Storm Water Drainage

Drainage and run-off from the proposed development shall not cause property damage to off-site areas. Existing drainage patterns within the specific areas of the site will be fine-tuned with the final construction drawings however the existing drainage outlet locations shall be maintained as shown on the development plan.

E. Sewage Disposal and Water Supply

The existing sewage disposal lateral which empties into a Franklin County maintained Sewer main will be reutilized for the proposed development.

The existing private wells that serve the site will be abandoned and The City of Columbus will provide domestic water service to the site.

The appropriate letters and documents of service are submitted herein.

F. Architectural Design

The building will be constructed as depicted on the attached drawings and renderings. It will be a well maintained building and will not exceed the maximums for lot coverage percentage or the height restriction.

G. Outdoor Storage

Roadmaster owns 15 vehicles. During non-school hours when these vehicles are not in use they will be parked on-site within the fenced area that will be the driver training course.

H. Utilities/Facilities

A new water service lateral is proposed with this plan but no other new utilities and/or facilities are proposed.

I. Pollution

No existing, proposed or future use and/or structure shall emit smoke or odorous gases. No use shall emit noise greater than sixty (60) decibels.

J. Graphics

Any future proposed signage must be compatible to the overall architectural design of the building and must comply with the development standards of Section 5 4 1 , of the Franklin County Zoning Resolution except as altered below. Wall Signs shall be permitted on the primary and secondary frontage. The dimensions of any signage shall not be greater than the dimensions depicted on the plans submitted herein.

K. Lighting

All lighting shall be as depicted on the site plan and shall be designed to eliminate off-site spillage of light and minimize off-site glare and reflection. When poles are for areas not immediately adjacent to Frank Road and not for passenger car parking areas then greater pole heights are allowable as shown on the attached plan.

L. Screening/Landscaping

All screening and landscaping shall be installed as indicated on the attached site map and development plan and will be maintained appropriately.

M. Fencing

All fencing shall be as depicted in the attached site map and development plan.

V. Conclusion

As proposed this Select Commercial Planned District will facilitate economic growth and activity while improving the nature and character of the surrounding area. The proposal will be constructed and maintained in accordance with all cited and relevant requirements. All deviations from the general standards are minimal and make sense for the area in which the site is located.