



Commissioner Kevin L. Boyce • Commissioner Marilyn Brown • Commissioner John O'Grady
President

Economic Development & Planning Department
James Schimmer, Director

Technical Review Committee Agenda

Franklin County Engineer's Office
970 Dublin Road
Columbus, OH 43215

September 25, 2018
1:30 p.m.

1. New Business

A. Planning Commission

i. 667-FP(f) – Matt Brown

Owner /Applicant:	Pulte Homes of Ohio
Engineer:	EMH&T-Matthew Kirk
Township:	Jefferson Township
Site:	1290 N. Waggoner Rd. (PID #171-000029)
Acreage:	7.305-acres
Utilities:	Public water and wastewater
Request:	Requesting Final Plat approval of the Villages at Jefferson Run Phase 6 subdivision to allow the creation of a 36 single-family lots.

ii. JEFF-18-04 – Brad Fisher

Owner:	Guy & Esther Maxey, Freda Gray, Chance Hopeful
Agent:	David Hodge
Township:	Jefferson Township
Site:	726 Reynoldsburg - New Albany Rd. (PID# 170-000737, 170-000282, 170-0000208)
Acreage:	12.400-acres
Utilities:	Public water and wastewater
Request:	Requesting to rezone from the Restricted Industrial (RI) and Countryside Residential (CSR) districts to the Planned Commercial district.

B. Board of Zoning Appeals

i. VA-3904 – Brad Fisher

Owner/Applicant:	James & Charlene Davison
Agent:	Rebecca Mott
Township:	Norwich Township
Location:	4180 Saturn Rd. (PID #200-001828)
Acreage:	4.400-acres
Utilities:	Private water and wastewater
Request:	Requesting a Variance from Sections 302.021(a(1)), 302.041(a) and 302.042 of the Franklin County Zoning Resolution to allow for the creation of two lots that would result in a residual lot of less than 5-acres and create two lots that fail to meet the minimum lot size requirement of 2.5 acres or provide for 150 feet of road frontage in an area zoned Rural.

ii. VA-3915 – Phil Ashear

Township:	Pleasant Township
Location:	5550 Grove City Rd. (PID #230-001847)
Acreage:	19.018-acres
Utilities:	Private water and wastewater
Request:	Requesting a Variance from Section 110.041 of the Franklin County Zoning Resolution to allow the construction of a conforming structure on a lot that does not have a minimum of 60 feet of road frontage.

iii. VA-3916 – Phil Ashear

Owner:	Whitney Johns
Applicant:	Jerome Michael
Township:	Norwich Township
Location:	3640 Ridgewood Rd. (PID #200-002545)
Acreage:	0.290-acres
Utilities:	Public water and wastewater
Request:	Requesting a Variance from Section 308.042 of the Franklin County Zoning Resolution to allow the construction of a room addition that would cause the site to exceed the maximum lot coverage in an area zoned Suburban Residential (R-4).

iv. CU-3917 – Brad Fisher

Owner/Applicant:	1350 Emig Rd., LLC.
Agent:	Jackson B. Reynolds, III
Township:	Franklin Township
Location:	1350 Emig Rd. (PID #140-000386)
Acreage:	11.800-acres
Utilities:	Private water and public wastewater
Request:	Requesting a Conditional Use from Section 610.06(3), (4) and (7) of the Franklin County Zoning Resolution to allow storage and processing of materials, parking and loading areas and permanently place fill for a driveway in the floodway fringe.

v. **VA-3918 – Phil Ashear**

Owner:	Michelle Baker
Applicant:	Kyle Schneider
Township:	Pleasant Township
Location:	6534 Rolling Hills Ln. East (PID #230-002878)
Acreage:	0.970-acres
Utilities:	Private water and wastewater
Request:	Requesting a Variance from Section 512.02(2) and 512.02(2(a)) of the Franklin County Zoning Resolution to allow the construction of an accessory building that exceeds the maximum permitted size and is not located completely to the side or rear of the principal structure in an area zoned Rural.

vi. **VA-3919 – Phil Ashear**

Owner:	Debbie Gabriel
Applicant:	12156 Buckeye Point, LLC.
Township:	Pleasant Township
Location:	2802 Adams St. (PID #230-001347)
Acreage:	0.340-acres
Utilities:	Private water and wastewater
Request:	Requesting a Variance from Section 512.02(2) of the Franklin County Zoning Resolution to allow the construction of an accessory structure that would exceed the maximum size and would not meet the required setback on a site smaller than one (1) acre in an area zoned Rural.

vii. **CU-3920 – Brad Fisher**

Owner/Applicant:	Continental Hills, LLC.
Agent:	Tom Warner
Township:	Sharon Township
Location:	7870 Olentangy River Rd. (PID #250-000023)
Acreage:	11.170-acres
Utilities:	Public water and wastewater
Request:	Requesting a Conditional Use from Section 610.06(1), (2), (4), and (7) of the Franklin County Zoning Resolution to allow the construction of underground water supply, sanitary sewer, and storm sewers and works, residential structures, parking and loading areas, and the placement of fill in the floodway fringe.

viii. **VA-3921 – Phil Ashear**

Owner:	CIVF V-OH1B01 LLC.
Applicant:	James Whitacre
Township:	Hamilton Township
Location:	1661 Rail Court North (PID #150-002698)
Acreage:	501.012-acres
Utilities:	Public water and wastewater
Request:	Requesting a Variance from Sections 501.012, 501.024(b), and 501.013 of the Franklin County Zoning Resolution to allow for the construction of a fence that would exceed the maximum fence height between the street and principal structure, would include chain link fence between a street and principal structure, and would include barbed wire in an area zoned General Industrial.

2. **Adjournment of Meeting to October 23, 2018.**

RECEIVED

AUG 15 2018

Franklin County Planning Department
Franklin County, OH

SUBDIVISION FINAL PLAT APPLICATION

for unincorporated Franklin County

Franklin County Development Department – Franklin County Planning Commission
150 S. Front Street, FSL Suite 10 Columbus, OH 43215 Phone: (614) 525-3094

to be completed by FCPC Staff:

Date Submitted: 8 / 15 / 18

Received By: Matt Brown

Date Accepted / Rejected 8 / 20 / 18

By: Matt Brown

Application No.: 667-FP(A) Fee: \$4,350.00

FCPC Date: 10 / 10 / 18

I, PULTE HOMES OF OHIO LLC, being the owner of the lands within the
(print or type landowner's name)
proposed subdivision, hereby request the Franklin County Planning Commission (FCPC) to
approve the accompanying subdivision plat named VILLAGES AT JEFFERSON TOWN PHASE 1B located in
JEFFERSON Township. The plat contains 36 lots, 0 reserves and 7.305 total
acres. I understand approval action by the FCPC must be ratified by the full FCPC board prior
to the plat being signed by the executive director of FCPC.

Twenty (20) copies of the plat signed by the subdivider and engineer/surveyor, the original
Subdivider's Agreement signed by the subdivider, and one copy of the engineering and
construction plans signed by the county are submitted in support of this request. To the best of
my knowledge and belief, information and materials submitted to FCPC for the purposes of
obtaining approval of this plat are complete, true and correct.

Property Owner/Subdivider

Signature: _____

Date: / /

Name: PULTE HOMES OF OHIO LLC

Address: 475 METRO PLACE SOUTH

City, State, Zip: DUBLIN, OHIO, 43017

Phone No.: (614) 376-1000

Engineer/Surveyor

Signature: Matthew A. Kirk

Date: 8 / 14 / 18

Name: MATT KIRK - EMTT

Address: 5500 NEW ALBANY ROAD

City, State, Zip: COLUMBUS, OHIO, 43054

Phone No.: (614) 775-4131

VILLAGES AT JEFFERSON RUN

PHASE 6

Situated in the State of Ohio, County of Franklin, Township of Jefferson, and in Quarter Township 4, Township 1, Range 16, United States Military Lands, containing 7.305 acres of land, more or less, said 7.305 acres being part of that tract of land conveyed to PULTE HOMES OF OHIO LLC, by deed of record in Instrument Number 201409120121132, Recorder's Office, Franklin County, Ohio.

The undersigned, PULTE HOMES OF OHIO LLC, a Michigan limited liability company, by MATTHEW J. CALLAHAN, Division Vice President of Land Acquisition, owner of the land planned herein, duly authorized in the premises, does hereby certify that this plat correctly represents its "VILLAGES AT JEFFERSON RUN PHASE 6", a subdivision containing Lots numbered 130 to 165, both inclusive, does hereby accept this plat of same and dedicates to public use, as such, all of the Court, Drive and Street shown hereon and not heretofore dedicated.

In consideration of approval of this plat, the undersigned understands and agrees to fulfill their obligations and responsibilities reflected in the subdivision's agreement and the subdivision regulations of Franklin County, Ohio. Zoning, building and health permits may be withheld in this subdivision until the subdivisor has complied with the subdivision's agreement.

Easements are hereby reserved in, over and under areas designated on this plat as "Easement" or "Drainage Easement". Each of the aforementioned designated easements permit the construction, operation and maintenance of all public and quasi-public utilities above, beneath and on the surface of the ground and, where necessary, are for the construction, operation and maintenance of service connections to all adjacent lots and lands and for storm water drainage. Within those areas designated "Drainage Easement" on this plat, an additional easement is hereby reserved for the purpose of constructing, operating and maintaining major storm water drainage (wales) and/or other above ground storm water drainage facilities. No above grade structures, dams or other obstructions to the flow of storm water runoff are permitted within Drainage Easement areas as delineated on this plat unless approved by the Franklin County Engineer.

Iron pins shall be set at all lot corners prior to the transfer and acceptance of any street for public purpose.

In Witness Whereof, MATTHEW J. CALLAHAN, Division Vice President of Land Acquisition of PULTE HOMES OF OHIO LLC, has hereunto set his hand this day of _____, 20__.

Signed and Acknowledged
In the presence of: PULTE HOMES OF OHIO LLC

By MATTHEW J. CALLAHAN,
Division Vice President of
Land Acquisition

STATE OF OHIO
COUNTY OF FRANKLIN ss:

Before me, a Notary Public in and for said State, personally appeared MATTHEW J. CALLAHAN, Division Vice President of Land Acquisition of PULTE HOMES OF OHIO LLC, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed and the voluntary act and deed of said PULTE HOMES OF OHIO LLC, for the uses and purposes expressed herein.

In Witness Whereof, I have hereunto set my hand and affixed my official seal this day of _____, 20__.

My commission expires _____, 20__.
Notary Public, State of Ohio

The undersigned hereby certifies that this subdivision plat conforms to applicable zoning regulations.

Approved this _____ Day of _____, 20__
Jefferson Township Zoning Inspector

The undersigned hereby certifies adequate and legal water and sanitary sewer plant capacities exist to serve this subdivision.

Approved this _____ Day of _____, 20__
Director,
Jefferson Water and Sewer District

The undersigned hereby certifies that this subdivision plat conforms to applicable subdivision regulations.

Approved this _____ Day of _____, 20__
Franklin County Planning Commission

Approved this _____ Day of _____, 20__
Franklin County Engineer

Approved this _____ Day of _____, 20__
Franklin County Drainage Engineer

This _____ day of _____, 20__ rights-of-way for the Court, Drive and Street herein dedicated to public use are hereby approved and accepted as such for the County of Franklin, State of Ohio.

Franklin County Commissioners

This plat shall not be transferred or recorded until all required signatures are secured.

Transferred this _____ day of _____, 20__
Auditor, Franklin County, Ohio

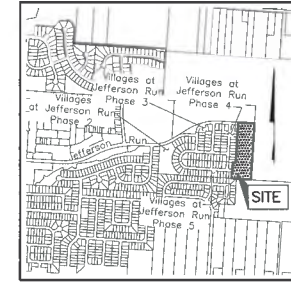
Deputy Auditor, Franklin County, Ohio

Filed for record this _____ day of _____, 20__ at _____ M. Fee \$_____
Recorder, Franklin County, Ohio

File No. _____

Recorded this _____ day of _____, 20__
Deputy Recorder, Franklin County, Ohio

Plat Book _____, Pages _____



LOCATION MAP AND BACKGROUND DRAWING
NOT TO SCALE

SURVEY DATA:

BASIS OF BEARINGS: The bearings shown hereon are based the bearing of North 03° 44' 12" West for the easterly line of "Waggoner Chase North", a subdivision of record in Plat Book 102, Page 35.

SOURCE OF DATA: The sources of recorded survey data referenced in the plan and text of this plat are the records of the Recorder's Office, Franklin County, Ohio.

IRON PINS: Iron pins, where indicated hereon, unless otherwise noted, are to be set and are iron pipes, thirteen sixteenths inch inside diameter, thirty inches long with a plastic plug placed in the top end bearing the initials EMHT INC.

PERMANENT MARKERS: Permanent markers, where indicated hereon in the public street centerline, are to be one-inch diameter, thirty-inch long, solid iron pins, are to be set to monument the points indicated, are to be set after the construction installation of the street pavement and are to be set with the top end one-fourth inch below the top of the pavement. Once installed, the top of the pin shall be marked (punched) to record the actual location of the point. Permanent markers, where indicated hereon in positions other than in the public street centerline, are to be one-inch diameter, thirty-inch long, solid iron pins, are to be set to monument the points indicated and are to be set with the top end flush with the surface of the ground and then capped with an aluminum cap stamped EMHT INC. Once installed, the top of the cap shall be marked (punched) to record the actual location of the point.

SURVEYED & PLATTED
BY

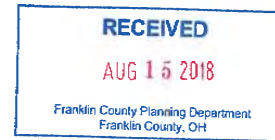


EMHT
Earth Measurement, Rehabilitation & Fixation, Inc.
2200 West Jefferson Avenue, Columbus, OH 43204
1800 West Avenue Road, Columbus, OH 43204
Phone: 614-773-0800 Fax: 614-773-3000

We do hereby certify that we have surveyed the above premises, prepared the attached plat, and that same plat is correct. All dimensions are in feet and decimal parts thereof.

- = Iron Pin (See Survey Data)
- = MAG Nail to be set
- ⊗ = Permanent Marker (See Survey Data)

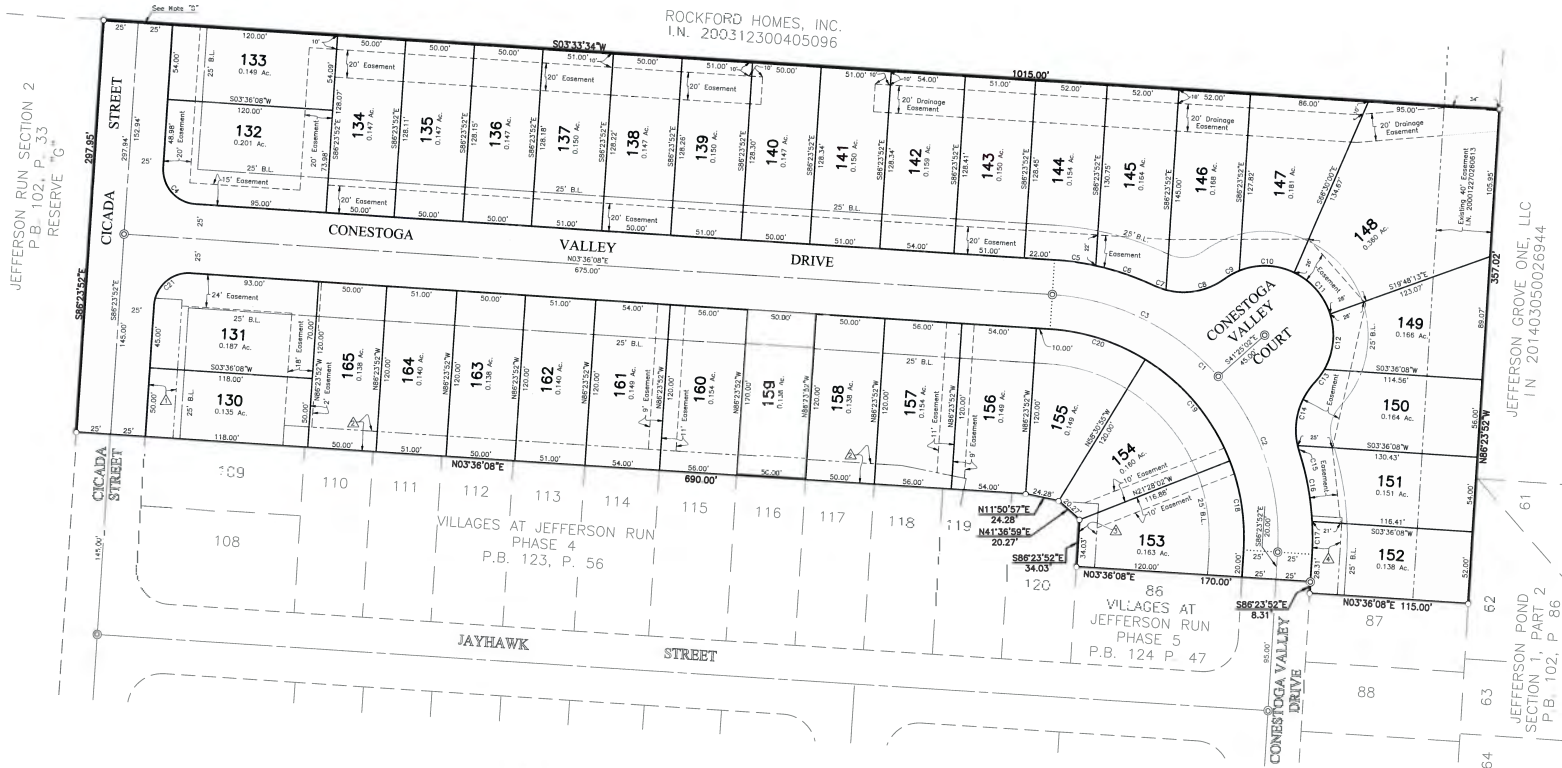
By _____
Professional Surveyor No. 7865 Date _____



VILLAGES AT JEFFERSON RUN

PHASE 6

ROCKFORD HOMES, INC.
I.N. 200312300405096



JEFFERSON RUN SECTION 2
P.B. 102, P. 33
RESERVE "G"

JEFFERSON GROVE ONE, LLC
I.N. 20041202026944

VILLAGES AT JEFFERSON RUN
PHASE 4
P.B. 123, P. 56

VILLAGES AT JEFFERSON RUN
PHASE 5
P.B. 124 P. 47

JEFFERSON POND
SECTION 1, PART 2
P.B. 102, P. 86

NOTE "A": At the time of planting, all of the land hereby being planted as Villages at Jefferson Run Phase 6 is in Zone X (Areas determined to be outside of the 0.2% annual chance floodplain), as designated and delineated on the FEMA Flood Insurance Map for Franklin County, Ohio, and Incorporated Areas, map number 39049C0219K, with effective date of June 17, 2008.

NOTE "B": The purpose of this plat is to show certain property, rights of way, and easement boundaries as of the time of planting. At the request of zoning and planning authorities at the time of planting, this plat shows some of the limitations and requirements of the zoning code in effect on the date of filing this plat for reference only. The limitations and requirements may change from time to time and should be reviewed to determine the then current applicable use and development limitations of the zoning code as adopted by the government authority having jurisdiction. The then applicable zoning code shall have control over conflicting limitations and requirements that may be shown on this plan. This note should not be construed as creating plat or subdivision restrictions, private use restrictions, covenants running with the land or title encumbrances of any nature, except to the extent specifically identified as such.

NOTE "C": At the time of planting, all of Villages at Jefferson Run Phase 6 is in the Licking Heights Local School District.

NOTE "D" - ACREAGE BREAKDOWN:

Total acreage:	7.305 Ac.
Acreage in right-of-way:	1.583 Ac.
Acreage in remaining lots:	5.722 Ac.

NOTE "E" - ACREAGE BREAKDOWN: Villages at Jefferson Run Phase 6 is out of the following Franklin County Parcel Number:

Parcel Number 171-000029	7.305 Ac.
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NOTE "F" - LOTS IN VILLAGES AT JEFFERSON RUN PHASE 6: Prior to the construction of the footing/foundation for the residential building to be constructed on each of lots 130, 131, 139-150 and 152-156, all inclusive, the builder of such building shall confer with the Franklin County Economic Development and Planning Department for the purpose of determining if special foundation and/or basement construction techniques and/or materials are to be employed on such lot.

NOTE "G": Stub streets are intended to be extended in the future for access to adjacent properties. No extension of the stub street will be allowed without plat or deed.

NOTE "H": At the time of planting, electric, cable, and telephone service providers have not issued information required so that easement areas. In addition to those shown on this plat as deemed necessary by these providers for the installation and maintenance of all of their main line facilities could conveniently be shown on this plat. Existing recorded easement information about Villages at Jefferson Run Phase 6 or any part thereof can be acquired by a competent examination of the then current public records, including those in the Franklin County Recorder's Office.



CURVE NO.	CURVE TABLE			
	DELTA	RADIUS	CHORD BEARING	CHORD DISTANCE
C1	90°00'00"	175.00	274.89°	247.74'
C2	49°01'00"	178.00	137.50°	133.99'
C3	44°58'20"	178.00	137.36°	133.00'
C4	90°00'00"	25.00	39.27°	35.36'
C5	8°37'37"	200.00	30.11°	30.09'
C6	12°53'03"	200.00	44.97°	44.88'
C7	10°21'34"	50.00	9.04°	8.03'
C8	50°46'28"	50.00	44.35°	42.91'
C9	14°11'30"	50.00	12.36°	12.35'
C10	8°22'22"	50.00	41.36°	40.18'
C11	40°40'51"	50.00	40.74°	38.62'
C12	4°22'20"	50.00	41.39°	40.22'
C13	13°37'05"	50.00	11.88°	11.86'
C14	56°03'54"	50.00	48.03°	47.00'
C15	5°07'08"	50.00	4.47°	4.44'
C16	14°44'55"	200.00	51.48°	51.34'
C17	4°48'05"	200.00	23.74°	23.73'
C18	29°04'10"	150.00	65.63°	65.11'
C19	12°02'57"	150.00	46.99°	46.31'
C20	27°52'57"	150.00	73.00°	72.28'
C21	80°00'00"	25.00	38.27°	35.30'

VILLAGES AT JEFFERSON RUN



PHASE 6

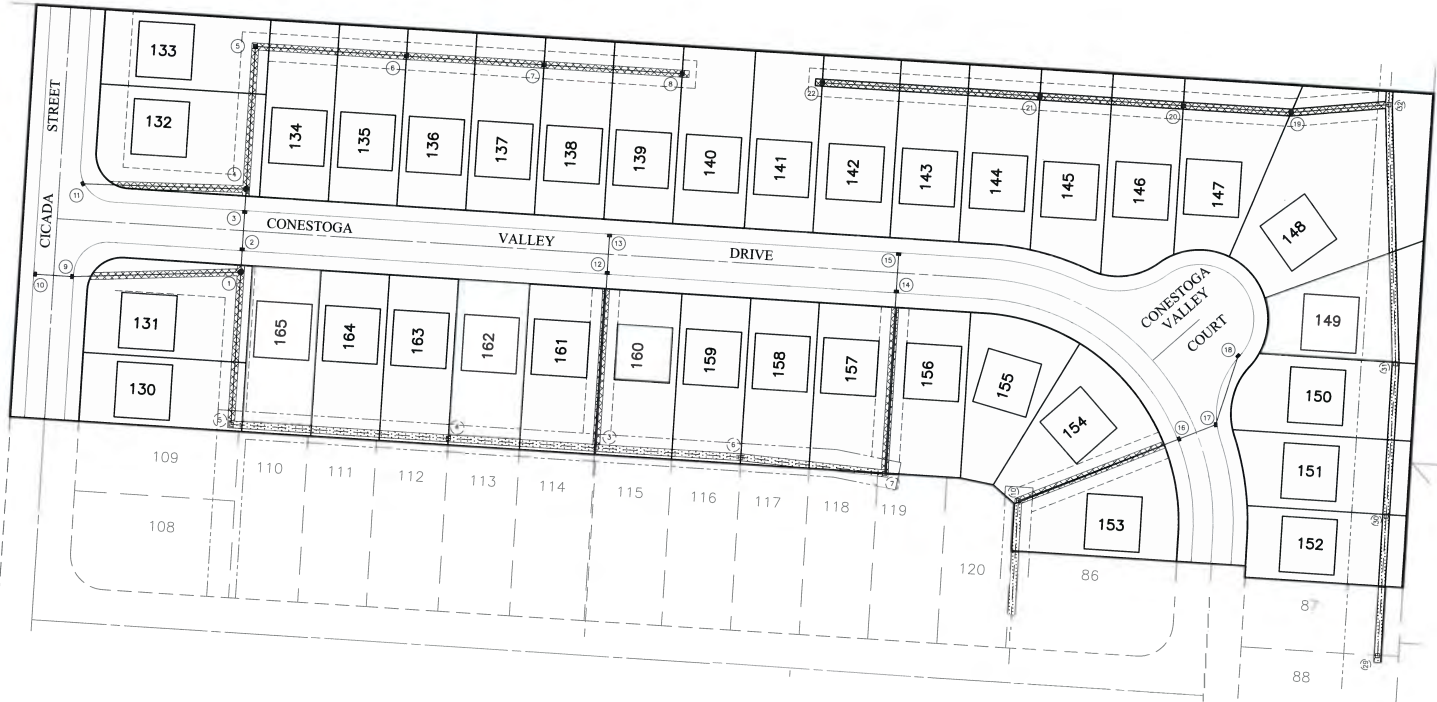
DRAINAGE EASEMENT
FRANKLIN COUNTY DRAINAGE ENGINEER

1. The shaded area (designated the Storm Water Maintenance Easement) has been granted to the Franklin County Commissioners so that the Franklin County Drainage Engineer can maintain the Storm Sewers, Subsurface Drains, Structures and Culverts.
2. No structure or improvements of any kind, including sheds, fences, flower beds, rock gardens and trees (but excluding grass and approved bank protection), shall be erected or planted within the easement provided for the watercourse unless reviewed and approved by the Franklin County Drainage Engineer.
3. Every owner of property within the storm water maintenance easement shall maintain the portion of said storm water easement in their property and keep the same free of debris and obstruction of all kinds. Said maintenance shall be limited to mowing, removal of debris and turf maintenance. All other maintenance of the grassed waterways, drainage channels, subsurface drains and storm sewers shall be performed at the direction of the Franklin County Drainage Engineer.
4. The property owner will maintain the drainage structures, swales, underdrains and storm sewers along the side and back lot lines.
5. These restrictions and agreements shall run with the land and shall bind the owner, his successors and assigns until and until a modification or change thereto is agreed to and approved by Franklin County.
6. All areas disturbed during maintenance operations will be reestablished with grass; tree removal will not be replanted.

This sheet is for information purposes only and is not intended to create plat restrictions. More information required regarding the Ditch Maintenance Plan can be acquired by a competent examination of the then current public records, including those in the Recorder's Office, Franklin County, Ohio.

HATCH LEGEND

-  Hatching for ditch maintenance areas is shown here at constant widths. However actual widths of allowable maintenance areas vary based on size of pipe and easement. Ditch maintenance allows ingress egress to all areas requiring maintenance and will require funding sufficient to maintain adequate drainage.
-  Denotes areas/sewers added to Ditch Maintenance Program with Villages at Jefferson Run Phases 4 and 5.



J:\V170810.DWG (PROJECTS) P:\V170810\170810-05-01-CAD-Phase6.dwg printed by PITCHARD, WJ on 12/18/2017 11:43:29 AM with model by PITCHARD, WJ on 12/18/2017 11:07:18 AM

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SEP 18 2018

Franklin County Planning Department
Franklin County, OH

JEFF-18-04

**JEFFERSON TOWNSHIP
ZONING COMMISSION**



TEL: (614) 855-4265
www.jeffersontownship.org
Email: cmccroskey@jeffersontownship.org

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SEP 13 2018

JEFFERSON TWP. ZONING

APPLICATION FOR ZONING CHANGE

12.4

Case Number: R218-00002 Date: September 13, 2018

Applicant: Metro Development LLC c/o David Hodge Property Owner: Gray Richard Wayne TR, et. al

Street Address: 8000 Walton Parkway, Suite 260 Street Address: 712 Reynoldsburg-New Albany Road

City: New Albany State: Ohio Zip: 43054 City: Blacklick State: Ohio Zip: 43004

Phone Number: (614) 335-9320 Phone Number: ()

E-Mail Address: david@uhlawfirm.com E-Mail Address: _____

*In accordance with the provisions of Article IX, Section 920 of the Jefferson Township Zoning Resolution,
I hereby apply to the Zoning Commission and the Township Trustees for a rezoning from the
RI/CSR Zoning District to the PC Zoning District for property located at:
170-000737, 170-000208,*

Street Address: 712-726 Reynoldsburg – New Albany Road Parcel #: 170-000282

Acreage to be rezoned: +/- 12.4

---- Please type or print information ---
--- Please answer the following questions thoroughly and completely ---
--- If additional space is needed, attach extra sheets ---

1. The proposed use of the property is:

A mixed-use redevelopment with first floor commercial uses and residential hotel use above the commercial uses and to the east the balance of the property.

2. The property is currently being used for:

Single-family residential.

3. The legal description of the property for which the rezoning is requested:

See attached.

4. The property is outlined on the attached Franklin County Auditor map.

Type of Official Map

5. Statement of the relation of the proposed zoning change to the general health, safety and welfare in terms of need or appropriateness within the area, by reason of changed or changing conditions; and the relation to changing conditions and the relation to appropriate plans of the area. Also approval by the controlling health agency and where applicable the Franklin County Engineer:

The applicant submits this rezoning to provide for planned commercial development consistent with the goals, principles and policies of Jefferson Township and pursuant to its newly adopted Comprehensive Plan. The goal of this request is to accommodate mixed-use redevelopment of the property consistent with plan recommendations. This development allows Jefferson Township to control the development of this property and to do so in a manner consistent with the long standing Jefferson Township goals for Blacklick development to vitalize the area.

either met with staff, through a scheduled appointment, or have waived my right to do so.

Applicant / Agent Signature: David Hodge - attorney Date: 9/13/18

8. Certification:

Before completing this application and executing the following cortication, it is recommended that the application be discussed with the Staff of the Jefferson Township Zoning Department.

APPLICANT'S CERTIFICATION

I / WE Please see attached. certify that I am / We are the owner(s) of land included in the application and that the foregoing statement herein contained and attached, and information or attached exhibits thoroughly to the best of my / our ability present the arguments in behalf of the application herewith submitted and that the statements and attached exhibits above referred to are in all respects true and correct to the best of my / our knowledge and belief.

Signature of Property Owner: _____ Please Print: _____

Mailing Address: _____

City, State, and Zip: _____

Phone Number: () _____ Cell #: () _____

E-Mail Address: _____

Signature of Applicant: David Hodge Please Print: Metro Development LLC
(If different than property owner) c/o David Hodge

Mailing Address: 8000 Walton Parkway, Suite 260

City, State, and Zip: New Albany, Ohio 43054

Phone Number: (614) 335-9329 Cell #: (614) 306-4649

E-Mail Address: david@uhlfirm.com

KENMORE PLACE

Planned Commercial District
Reynoldsburg - New Albany Road
Jefferson Township, Ohio
September 13, 2018



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PLANNED COMMERCIAL DISTRICT
12.4+/- ACRES

Kenmore Place

September 13, 2018

BACKGROUND

On September 10, 2018 Jefferson Township adopted a new comprehensive plan, Jefferson Township 2050 – A Vision for the Future, after a lengthy and thorough public discussion to map the future course for Jefferson Township. This section of the township has long been identified as an appropriate location for commercial and mixed-use redevelopment, which position was affirmed with the new plan adoption.

Consistent with the Jefferson Township 2050 plan, the applicant submits this request to rezone the subject properties from the Restricted Industrial and Countryside Residential Districts to accommodate a mixed-use commercial development on the property in the Planned Commercial District. The following statements from the Jefferson Township 2050 plan support this proposed rezoning:

- Multi-unit apartments and condominiums allow busy young adults to live, work and play centrally, with low maintenance costs and a small environmental footprint. These types of developments are easily developed as mixed-use developments, where a café, restaurant, gym, neighborhood office or small retail space could enhance quality of life for area residents. The insight2050 report anticipates greater demand for these types of residential developments as demographics and market demands change. Jefferson Township should encourage mixed use and multi-unit housing developments in appropriate locations and where there is context aesthetically.
- The Blacklick Area... should be reimaged to include a commercial corridor of shops along High Street, with the potential for upper floor office and residential uses... Planned Commercial zoning should be encouraged and development plans that integrate into the natural environment should be rewarded with reduced setbacks along High Street.
- Small scale retail, restaurant, and office uses may comingle with residential uses in this area. Specifically, boutique retail, cafes, bars, restaurants.... and similar uses. Ideally these uses would occupy the first floor of two- or three-story multi-unit residential buildings.
- Building size will be dictated by context. In some instances, a building and parking may occupy up to 90 percent of the total lot acreage.
- Setback distances will vary based upon the context of the site and the necessary parking provisions; short setbacks, enough to provide a substantial front sidewalk, are encouraged when buildings are placed along roads.
- Off-street parking should be provided for each component of the mixed-use development, relying on parking requirements found in the Jefferson Township Zoning Resolution, except that shared parking may be utilized to better utilize space for meaningful development.

- Street trees should be planted along wide sidewalks to protect pedestrians and soften the transition between multi-story buildings.

The subject property is located on the east side of Reynoldsburg - New Albany Road and south of Taylor Road, north of the railroad tracks. The property is comprised of three tax parcels, parcel 170-000282, 170-000208, and 170-000737. The property consists of 12.4+/- acres and is surrounded by railroad tracks on the south, park to the east, and industrial and commercial zonings and uses to the north and west.

The applicant is Metro Development LLC. Underhill & Hodge LLC will be representing the applicant. Faris Planning & Design will be providing the development plans, landscape plans, building elevations and site lighting information, and Advanced Civil Design will be providing the surveying, utility layout, and engineering.

The Jefferson Township 2050 Plan's land management map designates this site for the Blacklick Area. In the Blacklick Area, a mixture of office, retail and residential uses in higher densities than are found in other areas of Jefferson Township is encouraged.

DEVELOPMENT PLAN SUBMISSION

The application includes site plans which include topographical contours at two-foot intervals, lot locations, soil data, wooded areas, storm water detention areas, and preliminary sewer and water line locations. The application also includes architectural elevations, landscape plans, and lighting plans.

The total site encompasses 12.4+/- acres and the proposal is to rezone the property to the Planned Commercial District to allow the construction mixed-use development including commercial and residential hotel uses with accessory parking, clubhouse, fitness and pool amenities, with a total of 240 suites and 33,600 square foot of commercial use.

1.00 DESCRIPTION AND LOCATION:

The property is 12.4 +/- acres and is located on the east side of Reynoldsburg - New Albany Road in Blacklick north of the railroad tracks. The site will be developed in accordance with the Development Plan, which shows a total of 240 residential hotel suites, 33,600 square feet of neighborhood and community commercial spaces, with 48 residential hotel suites above the commercial spaces.

1.01 PERMITTED USES / DEVELOPMENT STANDARDS

- a. The uses permitted shall be the permitted and conditional uses of the Suburban Office District, Sections 540.02 and 540.03, except rooming and boarding houses and crematories; the permitted and conditional uses of the Neighborhood Commercial District, Sections 550.02 and 550.03; and hotels as provided in the Community Service District, Section 560.02.

- b. Prohibited uses shall be novelty shops selling articles that are arguably adult-oriented, vape or smoke shops, marijuana dispensaries, tobacco shops, pawn shops, and tattoo parlors.
- c. Except as otherwise noted in this Development Text, the applicable development standards of the Planned Commercial District of the Jefferson Township Zoning Resolution shall apply.

1.02 YARD AND SETBACK REQUIREMENTS

- a. The minimum building setback from Reynoldsburg - New Albany Road shall be 15 feet.
- b. The minimum building setback from the north and south perimeter shall be 25 feet.
- c. The minimum pavement/parking setback from the north and south perimeters shall be zero.

1.03 HEIGHT REQUIREMENTS

The maximum building height shall be 50 feet as provided by Zoning Resolution Section 640.04(J)(4).

1.04 TRAFFIC AND CIRCULATION

- a. Access to the site shall be via two full service access points, located as depicted on the attached Development Plan.
- b. Right-of-way shall be dedicated to accommodate future roadway improvements, if required by the Franklin County Engineer.
- c. Parking spaces shall be a minimum of 9' X 20'. Parking spaces and drive aisles are arranged for efficient internal traffic circulation.

1.05 OPEN SPACE, LANDSCAPING AND BUFFERING

- a. The property shall be landscaped in conformity with the Landscape Plans attached hereto.
- b. Existing vegetation within the perimeter pavement and building setbacks will be preserved when feasible.
- c. All landscaping shall be maintained by the property owner. Newly installed landscaping that fails to thrive shall be replaced within six months.

1.06 ARCHITECTURAL DESIGN

Representative samples of the architectural inspiration and styles of the product proposed to be constructed within this development are attached hereto. The attached architectural elevations, or comparable elevations, shall be deemed to meet the architectural standards. The finished product shall be substantially similar to the elevations submitted herewith.

- a. Color Palette: Earth tones.
- b. Exterior materials: Brick, stone, cultured stone, stucco, hardi-plank, heavy gauge vinyl if in combination with natural materials, vinyl shall be .44" thick or greater.
- c. Windows: Atria, single-hung vinyl.
- d. Roof: 30-year dimensional shingles.

1.07 REFUSE

- a. Refuse shall be by compactor located as indicated on the Development Plan.
- b. The compactor shall be enclosed as depicted on the Landscape Plans.
- c. Refuse service shall be by private hauler.

1.08 MISCELLANEOUS

- a. The applicant shall work cooperatively with Jefferson Township should it decide to pursue Tax Increment Financing (TIF) on the property.
- b. For finance reasons, among others, the frontage mixed-use buildings may reside on separate tax parcels, as generally indicated on the Development Plan.
- c. Applicant requests the following divergences:

Section 640.04(B), Side Yards – Which section requires side yards no less than 50 feet. Applicant requests a divergence to permit side yards reduced to zero for pavement/parking, to the south is a railroad and to the north is a landscaping and stone yard neither of which necessitate a perimeter setback.

Metro Development LLC

By:

A handwritten signature in blue ink that reads "David Hodge". The signature is written in a cursive style with a loop at the end of the "e".

Signature of Applicant: _____

Date: _____ September 13, 2018 _____

Exhibit "A-1" – Surrounding Property Owners

APPLICANT:

Metro Development
470 Olde Worthington Road, Suite 100
Westerville, OH 43082

PROPERTY OWNER(S):

Kanwal and Lynn Singh
1415 East Dublin Granville Rd., #101
Columbus, Ohio 43229

Mario Alvarez, Jr.
852 Taylor Station Road
Columbus, Ohio 43230

Mark & Judith Sweatland
1200 Taylor Station Road
Columbus, Ohio 43230

ATTORNEY:

David Hodge, Esq.
Underhill & Hodge LLC
8000 Walton Parkway, Suite 260
New Albany, Ohio 43054

SURROUNDING PROPERTY OWNERS:

Taylor Pointe Apartments LLC
470 Olde Worthington Road S.
Westerville, Ohio 43082

JCS Property Management LLC
5737 Westbourne Avenue
Columbus, Ohio 43213

JCS Property Management LLC
735 Cross Pointe Road, Suite C
Gahanna, Ohio 43230

CP Road LLC
2636 Berwyn Road
Columbus, Ohio 43221

Sutusa, Inc.
17350 Bittersweet Trail
Chagrin Falls, Ohio 44022

Bernie Cohen Venture Ltd.
1303 Poppy Hills Drive
Blacklick, Ohio 43004

G&A Blais Enterprises
680 Cross Pointe Road
Columbus, Ohio 43230

Ohio PIA Service Corp.
867 South James Road
Columbus, Ohio 43227

Macmarsh II LLC
500 North Hamilton Road
Columbus, Ohio 43219

Professional Insurance Agents
Association of Ohio, Inc.
600 Cross Pointe Road
Columbus, Ohio 43230

Tabaleen, Ltd.
5131 Brand Road
Dublin, Ohio 43017

790 Cross Pointe LLC
790 Cross Pointe Road
Columbus, Ohio 43230

Next Level Fitness Training LLC
720 Cross Pointe Road
Columbus, Ohio 43230-6685

City of Gahanna
200 South Hamilton Road
Columbus, Ohio 43230-2919

Franklin Steel Co.
Attn: President
820 State Avenue
Cincinnati, Ohio 45204

Kassel Co.
60 Rocky Creek Drive
Columbus, Ohio 43230

Warehouse Specialists LLC
650 Taylor Station Road
Columbus, Ohio 43230

Ribbon Technology Corp.
825 Taylor Station Road
P.O. Box 30758
Columbus, Ohio 43230-0758

United States of America
P.O. Box 59
Louisville, Kentucky 40201

Michael Halter
750 Cross Pointe Road
Columbus, Ohio 43230-6691

West Real Estate Co.
750 Cross Pointe Road, Suite C
Columbus, Ohio 43230-6691

Robert L. Causey
5514 Echo Road
Columbus, Ohio 43230

Kenney Co. LLC
Triangle Real Estate Investment, Inc.
470 Olde Worthington Road
Westerville, Ohio 43082-8985

Guadarrama LLC
Triangle Real Estate Investment, Inc.
470 Olde Worthington Road
Westerville, Ohio 43082

750 Gahanna LLC
2950 East Broad Street
Columbus, Ohio 43209

Mkick Management LLC
8276 Chippenham Drive
Dublin, Ohio 43016

Discovery Church
P.O. Box 307420
Columbus, Ohio 43230

Discovery Church
750 Cross Pointe Road, Suite L
Columbus, Ohio 43230

Venti Properties LLC
6907 Harlan Square
New Albany, Ohio 43054

Wand Family LLC
750 Cross Pointe Road, Unit D & P
Columbus, Ohio 43230

Wand Family LLC
106 Merrywood Lane
Peachtree City, Georgia 30269-3821

Moss Interactive LLC
7346 East Broad Street
Blacklick, Ohio 43004

Moss Interactive LLC
750 Cross Pointe Road, Suite Q
Columbus, Ohio 43230

Mark Sweatland
1200 Taylor Road
Columbus, Ohio 43230

Mario Alvarez
852 Taylor Station Road
Columbus, Ohio 43230

SS Gahanna LLC
7279 Talanth Place
New Albany, Ohio 43054

Bernard R. Black, Tr.
6125 Taylor Road
Columbus, Ohio 43230

Bernard R. Black, Tr.
3720 Elbern Avenue
Columbus, Ohio 43213-1720

Thomas J. Donley
1353 White Oak Lane
New Albany, Ohio 43054

Audrey Siders
6055 Taylor Road
Columbus, Ohio 43230

Audrey Siders
7940 Campton Court
Reynoldsburg, Ohio 43068-8139

Peniel Ethiopian Evangelical Church
6191 Taylor Road
Blacklick, Ohio 43004

McGraw Hill Education LLC
1221 Avenue of the Americas
New York, New York 10020

McGraw Hill Education LLC
860 Taylor Station Road
Columbus, Ohio 43230

Kimcin Properties LLC
5220 Harbor Pointe Drive
Galena, Ohio 43021-9023

Spnd Ltd.
600 Taylor Station Road
Columbus, Ohio 43230

Baker/MCB LLC
5612 Windwood Drive
Dublin, Ohio 43017

Carich Property Company
3300 Indianola Avenue
Columbus, Ohio 43214

GWJ Holdings II Ltd.
P.O. Box 1009
Reynoldsburg, Ohio 43068

Robert J. Eckart
P.O. Box 30251
Columbus, Ohio 43230

Exhibit "B-1 and B-2" – Zoning Legal Description and Zoning Exhibit/Boundary Survey

Zoning Description
12.4+/- Acre
South of Taylor Road
East of Reynoldsburg-New Albany Road

-1-

Situated in the State of Ohio, County of Franklin, Township of Jefferson, being part of Lots 19 and 22 in Section 4, Township 1, Range 16, United States Military Lands and containing 12.4+/- acres of land, said 12.4+/- acres being the remainder of an Original 6.11 acre tract of land (less exception) as conveyed to Guy Richard Maxey & Esther of record in Official Record 9849, Page J10, being all of the 0.682 acre (0.750 original less exception) tract of land as conveyed to Hopeful Chance of record in Instrument No. 201304020054007 and being part of that original 6 acre tract of land (less exception) as conveyed to Richard Wayne Gray and Robert William Gray, Trustees, by affidavit of record (originally conveyed to Freda Ann Gray and Lee R. Gray by Official Record 2253, Page 665), said 12.4+/- acres being more particularly described as follows;

Beginning at the northwesterly corner of the remainder of said Original 6.11 acre tract, said corner also being the northeasterly corner of that 0.107 acre tract of land conveyed as Parcel 30 WD to the County of Franklin of record in Deed Book 3325, Page 219, the southeasterly corner of that 0.223 acre tract of land conveyed as Parcel 31 WD to the County of Franklin of record in Deed Book 3323, Page 620, the southwesterly corner of the remainder of that Original 8.813 acre tract of land as conveyed to Kathleen M. Weber of record in Instrument No. 201510090143435 and being in the easterly right-of-way line of Reynoldsburg-New Albany Road;

Thence **S 85° 13' 59" E**, with the northerly line of said Orig. 6.11 acre tract and the southerly line of said Orig. 8.813 acre tract, **1329.7+/- feet** to a common corner thereof and in a southwesterly line of a 24.707 acre tract of land as conveyed to Jefferson Water & Sewer of record in Official Record 13814, Page D04;

Thence **S 55° 32' 18" E**, with a northeasterly line of said Orig. 6.11 acre tract and a southwesterly line of said 24.707 acre tract, **94.7+/- feet** to a common corner thereof and in the northerly right-of-way line of the Columbus and Ohio River Co. Railroad;

Thence with a southerly line of said Orig. 6.11 acre tract, across said Orig. 6 acre tract and with the northerly right-of-way line of said Railroad, the following two (2) courses and distances:

S 63° 52' 05" W, 366.9+/- feet to a point;

S 72° 40' 38" W, 1169.7+/- feet to a point in the westerly line of the remainder of said Orig. 6 acre tract, said point also being the southeasterly corner of that 0.378 acre tract of land conveyed as Parcel 28 WD to the County of Franklin of record in Deed Book 3323, Page 614 and in the easterly right-of-way line of said Reynoldsburg-New Albany Road;

Thence **N 03° 48' 11" E**, with the westerly line of the remainder of said Original 6 acre tract, the easterly line of said Parcel 28 WD and along said right-of-way line, **457.0+/- feet** to a northwesterly corner of the remainder of said Orig. 6 acre tract, said corner being the northeasterly corner of said Parcel 28 WD and in the southerly line of said 0.682 acre tract (Original 0.750 less 0.068 acre exception);

Thence **N 85° 45' 49" W**, with a northerly line of said Parcel 28 WD, a southerly line of said 0.682 acre tract and with said right-of-way line, **2.7+/- feet** to a southwesterly corner of said 0.682 acre tract and a southeasterly corner of that tract of land conveyed as Parcel 29 WD to the County of Franklin of record in Deed Book 3325, Page 225;

Thence **N 03° 59' 32" E**, with the westerly lines of said 0.682 acre tract and said Orig. 6.11 acre tract and with easterly lines of said Parcel 29 WD and said 30 WD, **218.3+/- feet** to the **True Point of Beginning** and containing **12.4+/- acre** more or less.

The above description was prepared by Advanced Civil Design Inc. on 9/12/2018 and is based on existing County Auditor records, County Recorder records and Franklin County GIS

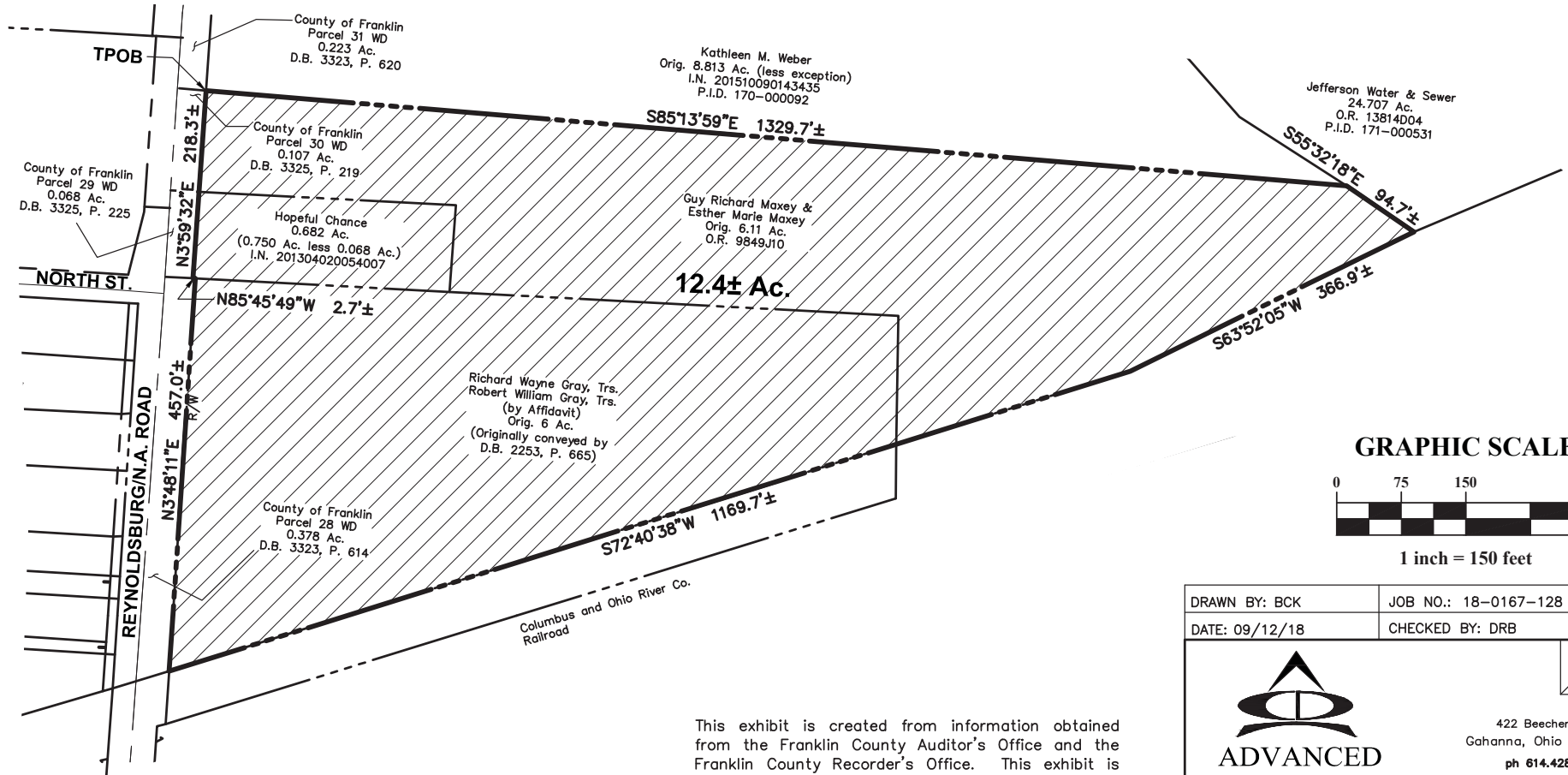
All references used in this description can be found at the Recorder's Office Franklin County Ohio.

This description is not to be used in the transfer of land.

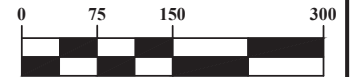
ADVANCED CIVIL DESIGN INC.

ZONING EXHIBIT ~ 12.4± ACRES

Situated in the Township of Jefferson, County of Franklin, State of Ohio,
Part of Lots 19 and 22 in Section 4, Township 1, Range 16, U.S.M.L.



GRAPHIC SCALE



1 inch = 150 feet

DRAWN BY: BCK	JOB NO.: 18-0167-128
DATE: 09/12/18	CHECKED BY: DRB



ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

422 Beecher Road
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

1
1

This exhibit is created from information obtained from the Franklin County Auditor's Office and the Franklin County Recorder's Office. This exhibit is not to be used for the transfer of land.

EXHIBIT B-2

Exhibit "C and C-1" – Illustrative Plan and Development Plan



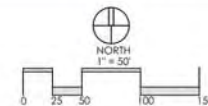
SITE DATA	
TOTAL ACRES	+/- 12.4 AC
TOTAL UNITS	240
PARKING PROVIDED	599
MIXED USE ONE	
11,200 SF COMMERCIAL	
RESIDENTIAL UNITS - 16	
SURFACE PARKING - 79	
MIXED USE TWO	
22,400 SF COMMERCIAL	
RESIDENTIAL UNITS - 32	
SURFACE PARKING - 136	
RESIDENTIAL HOTEL	
TOTAL UNITS - 192	
- 132 - 2 BED	
- 60 - 2 BED	
DENSITY - 15.48 DU/AC	
TOTAL PARKING SPACES - 384 (2.00 SPACES/UNIT)	
- 324 SURFACE	
- 60 GARAGE	

ILLUSTRATIVE PLAN

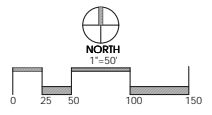
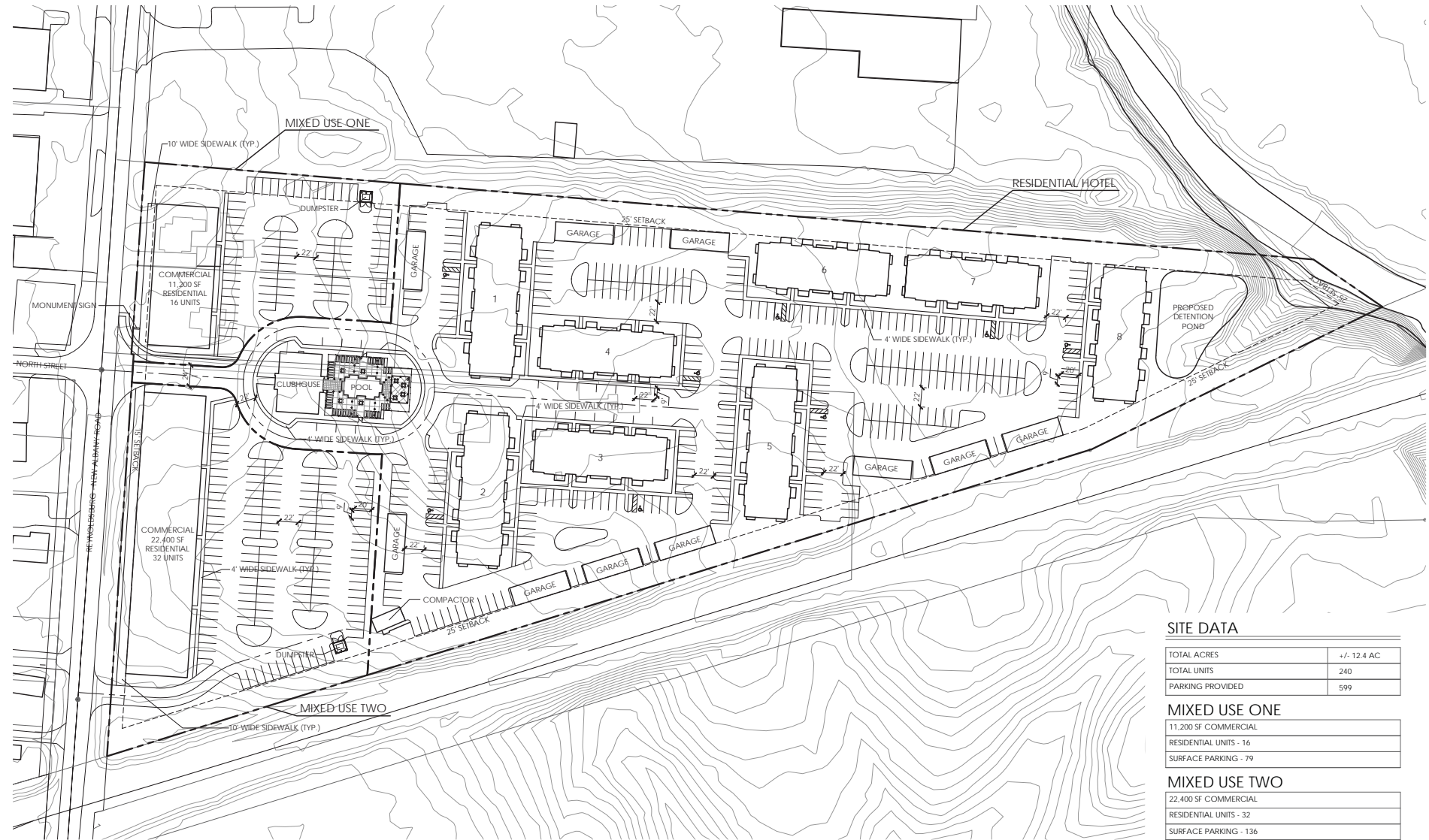
KENMORE PLACE

PREPARED FOR METRO DEVELOPMENT

DATE: 9/13/18



Faris Planning & Design
 LAND PLANNING LANDSCAPE ARCHITECTURE
 243 N. 5th Street Suite 401 Columbus, OH 43215
 p (614) 487-1964 www.farisplanninganddesign.com



SITE DATA

TOTAL ACRES	+/- 12.4 AC
TOTAL UNITS	240
PARKING PROVIDED	599

MIXED USE ONE

11,200 SF COMMERCIAL
RESIDENTIAL UNITS - 16
SURFACE PARKING - 79

MIXED USE TWO

22,400 SF COMMERCIAL
RESIDENTIAL UNITS - 32
SURFACE PARKING - 136

RESIDENTIAL HOTEL

TOTAL UNITS - 192
- 132 - 2 BED
- 60 - 2 BED
DENSITY - 15.48 DU/AC
TOTAL PARKING SPACES - 384 (2.00 SPACES/UNIT)
- 324 SURFACE
- 60 GARAGE

REVISIONS	

DEVELOPMENT PLAN

KENMORE PLACE
PROPOSED
METRO DEVELOPMENT
 470 OLDE WORTHINGTON RD., SUITE 100
 WESTERVILLE, OH 43082

Faris Planning & Design
LAND PLANNING LANDSCAPE ARCHITECTURE
 243 N. 9th Street Columbus, OH 43215
 P (614) 487-1944 www.farisplanninganddesign.com

DATE	9/13/18
PROJECT	18116
SHEET	

C-1

Exhibit "D-1 through D-5" – Overall Landscape Plan, Building Typical Landscape Plan, Clubhouse
Enlargement Landscape Plan, Landscape Details, and Site Photos

REVISIONS	

OVERALL
LANDSCAPE PLAN

KENMORE PLACE
PROVIDOR
METRO DEVELOPMENT
470 OLDE WORTHINGTON RD., SUITE 100
WESTERVILLE, OH 43082

Fatis Planning & Design
LANDSCAPE ARCHITECTURE
243 N. 9th Street
Columbus, OH 43215
P (614) 487-1944
www.fatisplanninganddesign.com

DATE	9/13/18
PROJECT	18116
SHEET	

D-1

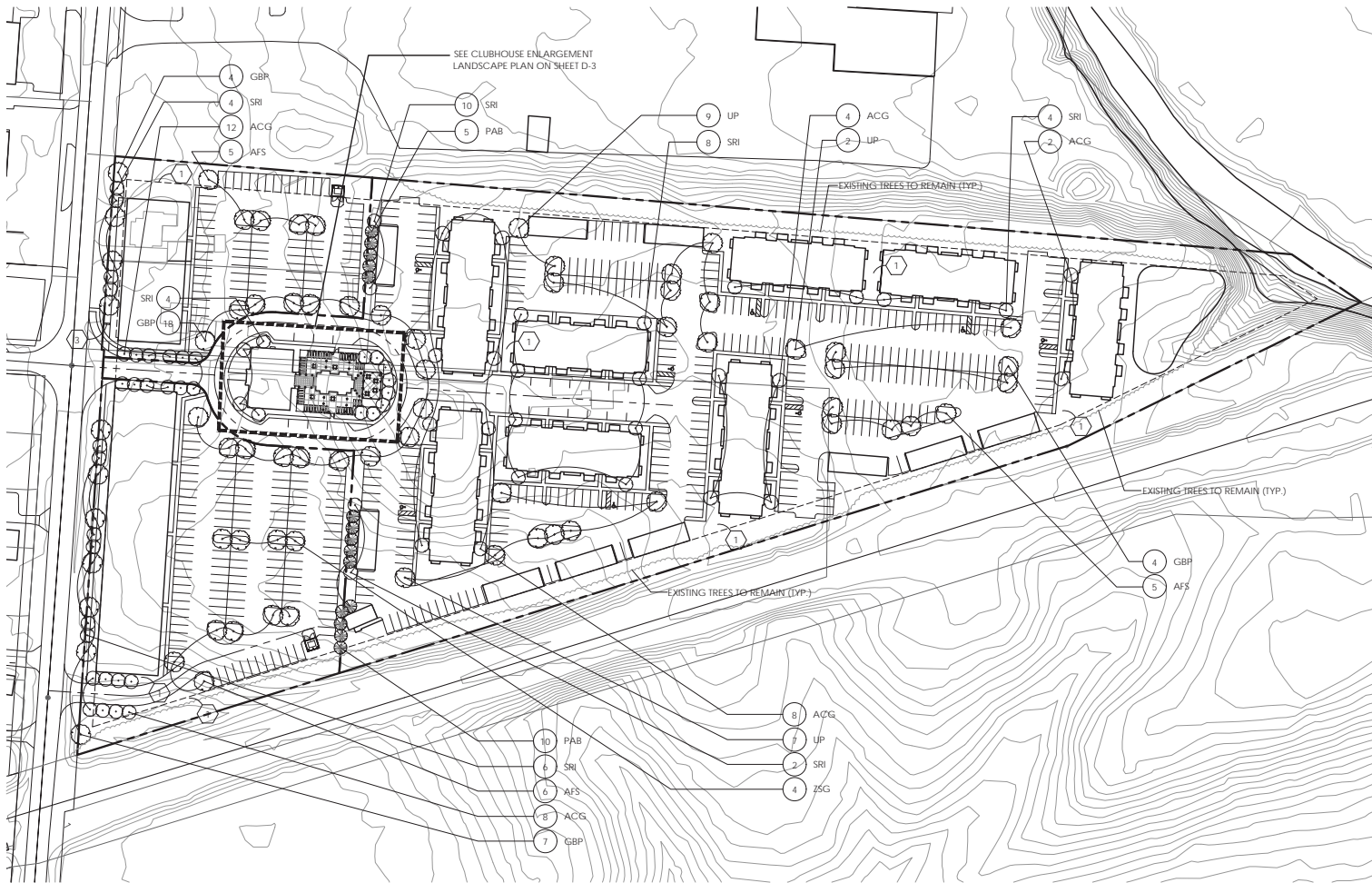
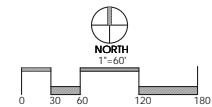
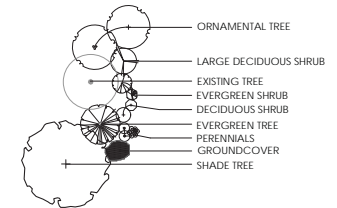
GENERAL PLANTING NOTES:

- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
- ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
- ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
- SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
- THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/ SODDED.
- ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

CONSTRUCTION NOTES:

- LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ENTRY SIGN, SEE DETAIL 2, SHEET D-4.

PLANT KEY TYPICALS
SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



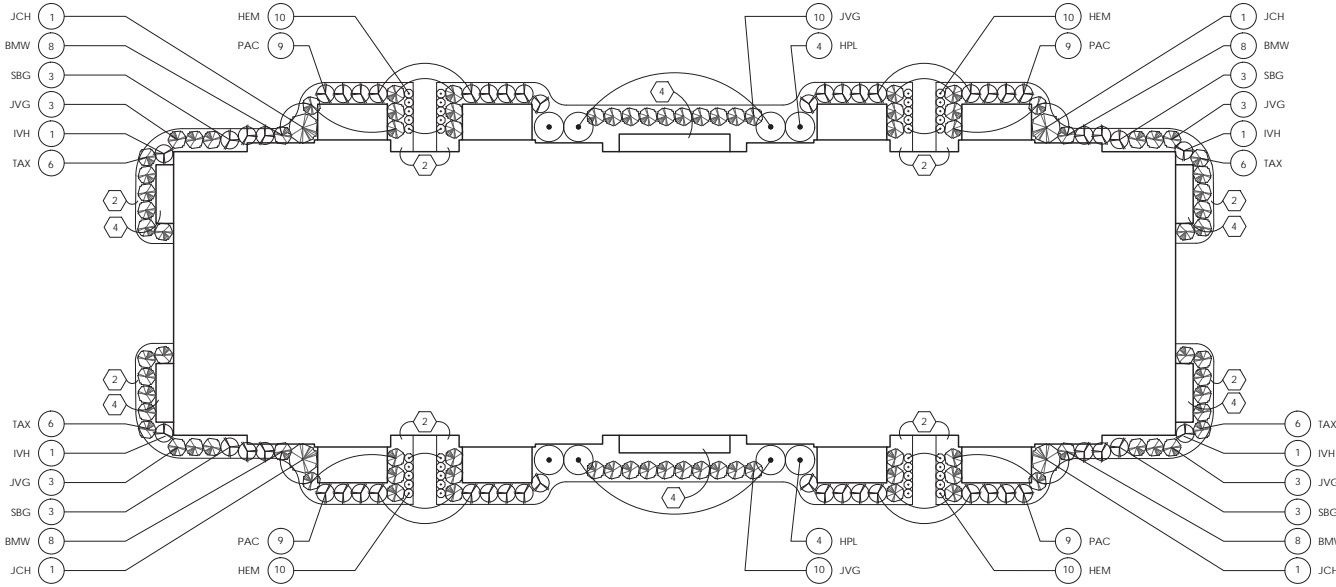
LANDSCAPE CODE:

INTERIOR GREENSPACE		
218,274.78 S.F. X 5% = 10,913.73 S.F. REQUIRED		
13,139.86 S.F. PROVIDED = 6.02%		
INTERIOR GREENSPACE TREES		
	REQUIRED	PROVIDED
1 SHADE TREE / 10 PARKING SPACES	60	60

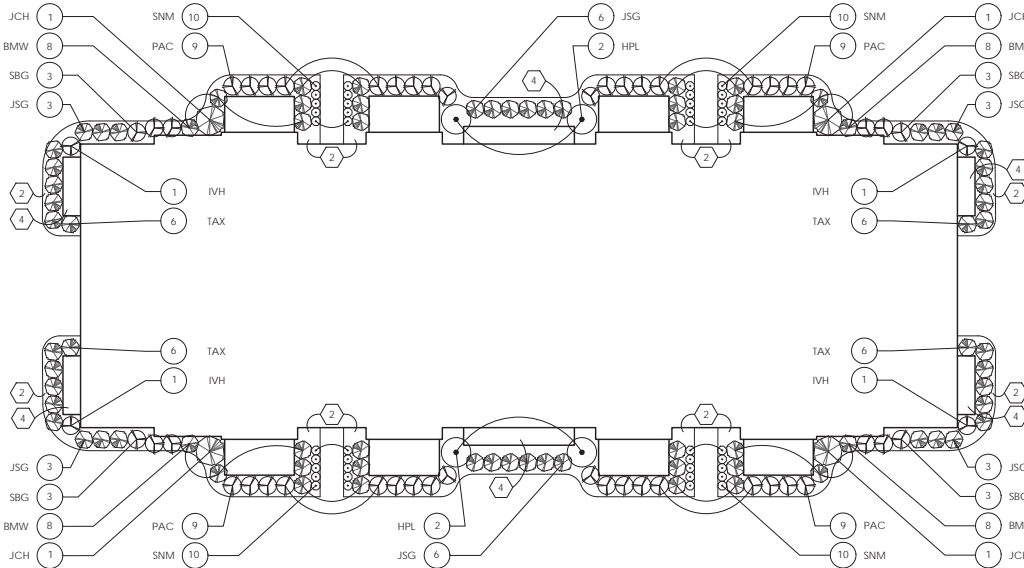
PLANT LIST

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
TREES						
16	AFS	ACER X FREEMANII 'SIENNA GLEN'	SIENNA GLEN MAPLE	3" CAL.	B&B	
33	GBP	GINGKO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	3" CAL.	B&B	
18	UP	ULMUS PARVIFLORA	LACEBARK ELM	3" CAL.	B&B	
4	ZSC	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	3" CAL.	B&B	
34	ACG	AMELANCHIER CANADENSIS 'GLENFORM'	GLENFORM SERVICEBERRY	1 1/2" CAL.	B&B	
38	SRI	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	1 1/2" CAL.	B&B	
15	PAB	PICEA ABIES	NORWAY SPRUCE	6' HGT.	B&B	



1 TYPICAL 24 TWO BED BUILDING PLANTING PLAN
SCALE: 1"=10'



2 TYPICAL 12 TWO BED-12 ONE BED BUILDING PLANTING PLAN
SCALE: 1"=10'

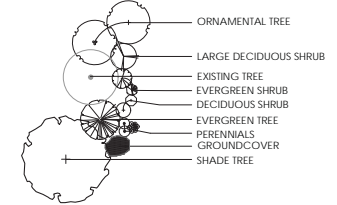
GENERAL PLANTING NOTES:

1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
5. ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
7. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
9. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/ SODDED.
10. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

CONSTRUCTION NOTES:

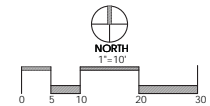
- 1 NOT USED
- 2 LANDSCAPE AREA. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- 3 NOT USED
- 4 A/C CONDENSER SCREENING FENCE. SEE DETAIL 3 ON SHEET D-3 FOR MORE INFORMATION

PLANT KEY TYPICALS
SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



PLANT LIST
(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	C.COND.	REMARKS
SHRUBS						
8	JCH	JUNIPERUS CHINENSIS 'HOOKS'	HOOKS JUNIPER	5' HGT	B&B	
24	SBG	SPIRAEA BUMALDA 'GOLDFLAME'	GOLDFLAME SPIREA	18" SPRD.	B&B	
64	BMW	BUXUS MICROPHYLLA 'WINTERGEM'	WINTERGEM BOXWOOD	18" HGT	B&B	
34	JVG	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	24" HGT	B&B	
48	TAX	TAXUS X MEDIA 'WARDII'	WARDS YEW	24" SPRD.	B&B	
10	HPL	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	24" HGT.	B&B	
8	IVH	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	24" HGT.	B&B	
24	JGS	JUNIPERUS CHINENSIS 'SEAGREEN'	SEAGREEN JUNIPER	24" HGT.	B&B	
PERENNIALS/ORNAMENTAL GRASSES						
40	HEM	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	NO. 1	CONT.	
72	PAC	PENNISETUM ALOPECUROIDES 'CASSAIN'	CASAIN DWARF FIN. GRASS	NO. 1	CONT.	
40	SNM	SALVIA NEMOROSA 'MAY NIGHT'	MAY NIGHT MEADOW SAGE	NO. 1	CONT.	



REVISIONS	

TYPICAL BUILDING
LANDSCAPE PLAN

KENMORE PLACE
PREPARED BY
METRO DEVELOPMENT
470 OLDE WORTHINGTON RD., SUITE 100
WEBERVILLE, OH 43082

Faris Planning & Design

LAND PLANNING
LANDSCAPE ARCHITECTURE
243 N. 9th Street
Suite 401
Columbus, OH 43215
P (614) 487-7664
www.farisplanninganddesign.com

DATE	9/13/18
PROJECT	18116
SHEET	

D-2

REVISIONS	

**CLUBHOUSE
ENLARGEMENT
LANDSCAPE PLAN**

KENMORE PLACE
PROVIDOR
METRO DEVELOPMENT
 470 OLDE WORTHINGTON RD., SUITE 100
 WESTERVILLE, OH 43082

Faris Planning & Design
LAND PLANNING
 LANDSCAPE ARCHITECTURE
 243 N. 9th Street
 Columbus, OH 43215
 P: 614.487.1944
 F: 614.487.1944
 www.farisplanninganddesign.com

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GENERAL PLANTING NOTES:

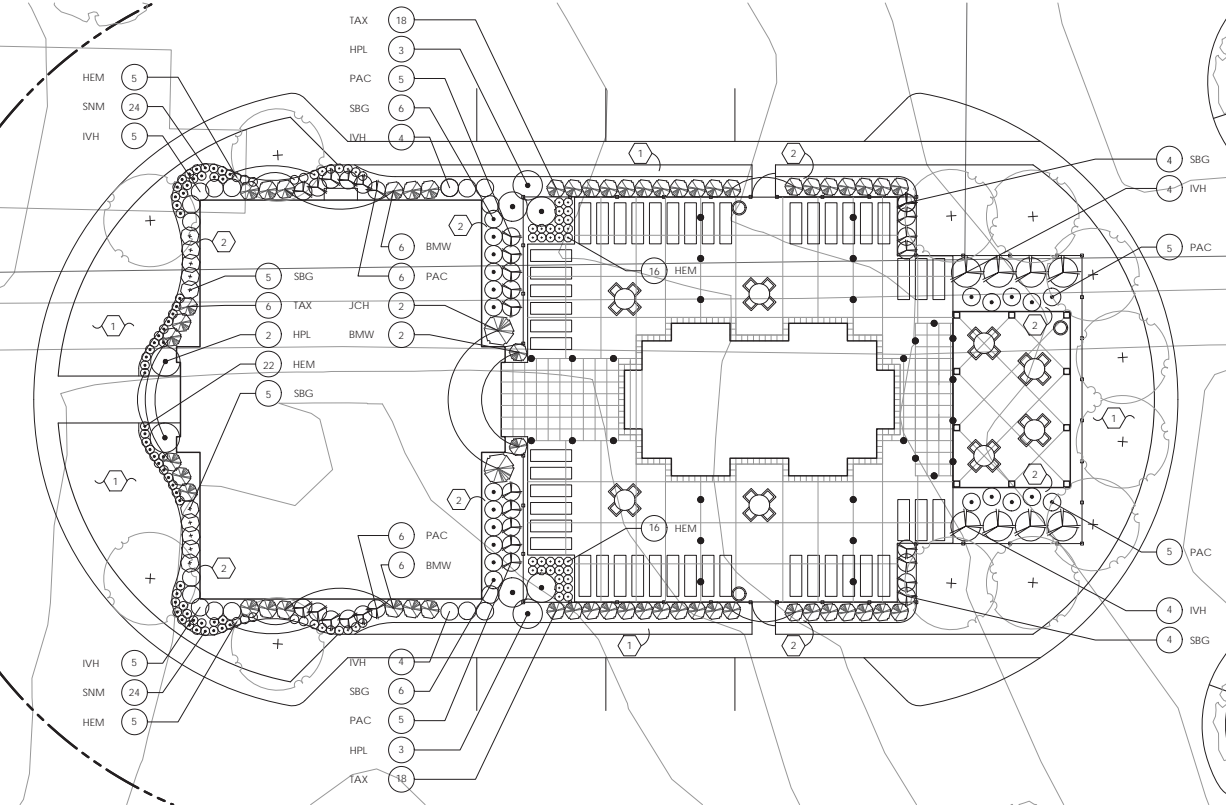
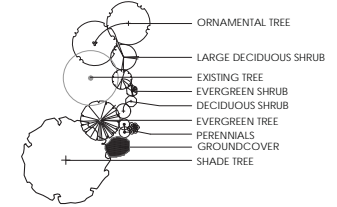
- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
- ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
- ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
- SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
- THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/ SODDED.
- ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

CONSTRUCTION NOTES:

- LAWN AREA. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- LANDSCAPE AREA. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.

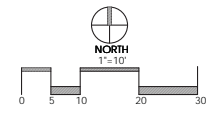
PLANT KEY TYPICALS

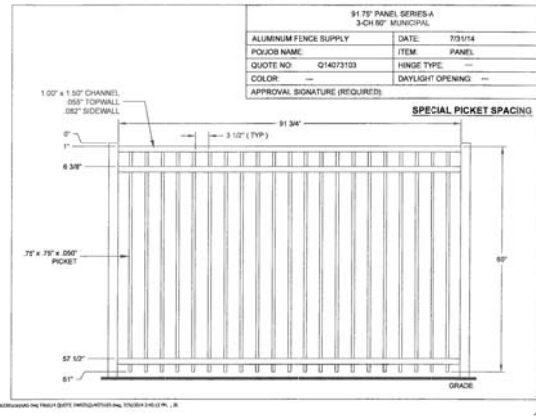
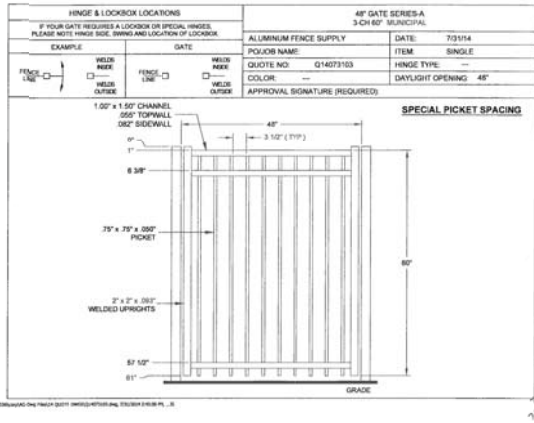
SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



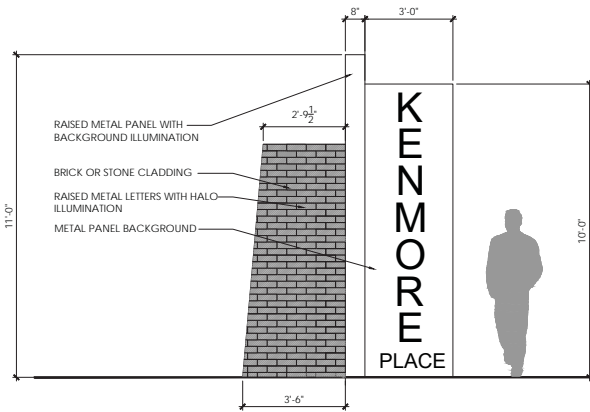
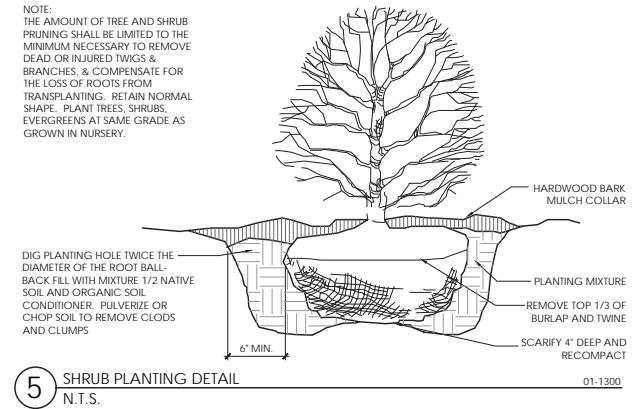
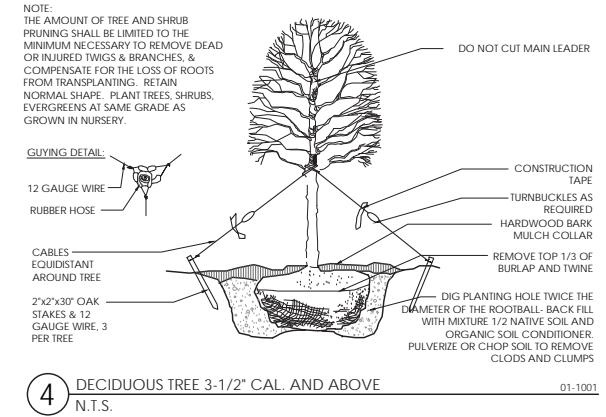
PLANT LIST
(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
SHRUBS						
2	JCH	JUNIPERUS CHINENSIS 'HOOKS'	HOOKS JUNIPER	5' HGT	B&B	
30	SBG	SPIRAEA BUMALDA 'GOLDFLAME'	GOLDFLAME SPIREA	18" SPRD	B&B	
14	BMW	BUXUS MICROPHYLLA 'WINTERGEM'	WINTERGEM BOXWOOD	18" HGT	B&B	
42	TAX	TAXUS X MEDIA 'WARDII'	WARDS YEW	24" SPRD.	B&B	
8	HPL	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	24" HGT.	B&B	
26	IVH	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	24" HGT.	B&B	
PERENNIALS/ORNAMENTAL GRASSES						
64	HEM	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	NO. 1	CONT.	
32	PAC	PENNISETUM ALOPECUROIDES 'CASSAIN'	CASAIN DWARF FIN. GRASS	NO. 1	CONT.	
48	SNM	SALVIA NEMOROSA 'MAY NIGHT'	MAY NIGHT MEADOW SAGE	NO. 1	CONT.	

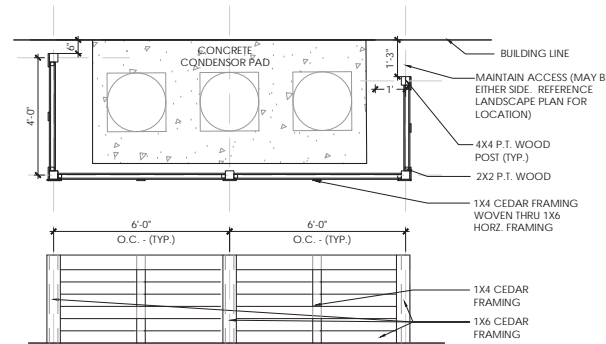




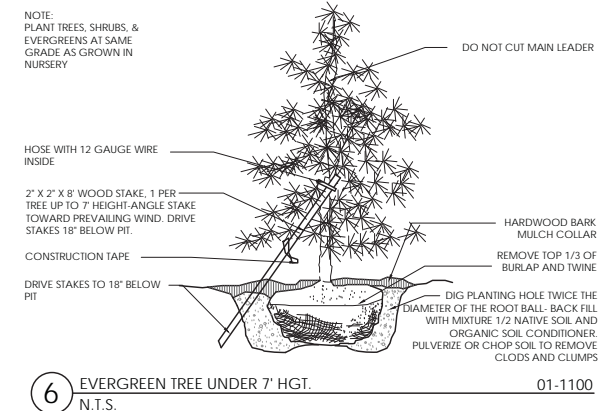
1 POOL FENCE AND GATE DETAIL
SCALE: N.T.S.



2 DOUBLE-SIDED MONUMENT SIGN
N.T.S.



3 A/C CONDENSER SCREENING FENCE
N.T.S.



REVISIONS	

SITE DETAILS

KENMORE PLACE
PROVIDER
METRO DEVELOPMENT
470 OLDE WORTHINGTON RD., SUITE 100
WESLEYVILLE, OH 43082

Faris Planning & Design
LAND PLANNING LANDSCAPE ARCHITECTURE
243 N. 9th Street Columbus, OH 43215
318.401.3418
www.farisplanninganddesign.com

DATE	9/13/18
PROJECT	18116
SHEET	

D-4



① VIEW TO EAST



③ VIEW TO EAST



② VIEW TO EAST

REVISIONS	

SITE PHOTOS

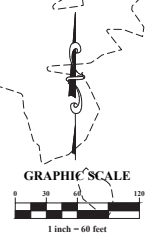
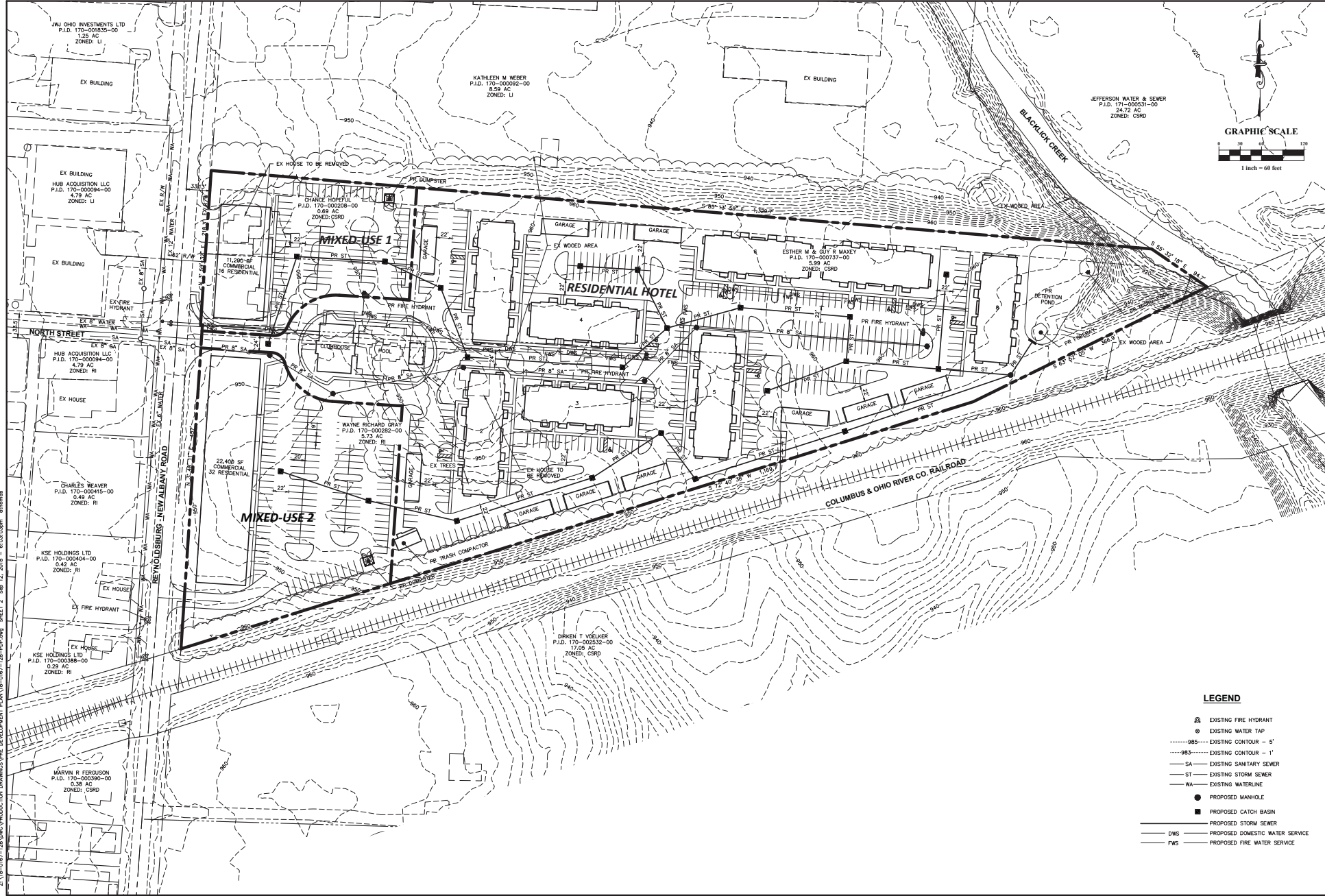
KENMORE PLACE
PREPARED FOR
METRO DEVELOPMENT
 470 OLDE WORTHINGTON RD., SUITE 100
 WESTERVILLE, OH 43082

Faris Planning & Design
LAND PLANNING
 243 N. 5th Street
 P.O. Box 1864
LANDSCAPE ARCHITECTURE
 Suite 401
 Columbus, OH 43215
www.farisplanninganddesign.com

DATE	9/13/18
PROJECT	18116
SHEET	

D-5

Exhibit "E-1 through E-8" – Engineering Title Sheet, Engineering Plan View, and Letters



ADVANCED CIVIL DESIGN
1450 Franklin Road
Gahanna, Ohio 43230
PH 614-458-7750
FX 614-458-7750

METRO DEVELOPMENT

PLANNED COMMERCIAL DEVELOPMENT
FOR
RE-ZONING
FOR
KENMORE PLACE
PLAN VIEW

Issue Dates: [Empty table with 4 columns]

Date: 09/12/2018
Scale: 1" = 60'
Drawn By: sev
Checked By: DMT
Project Number:
18-0167-128
Drawing Number:

LEGEND

- EXISTING FIRE HYDRANT
- EXISTING WATER TAP
- EXISTING CONTOUR - 5'
- EXISTING CONTOUR - 1'
- EXISTING SANITARY SEWER
- EXISTING WATERLINE
- PROPOSED MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED STORM SEWER
- PROPOSED DOMESTIC WATER SERVICE
- PROPOSED FIRE WATER SERVICE

2:18-0167-128\DWG\PRODUCTION DRAWINGS\PRE DEVELOPMENT PLAN\18-0167-128-pre.dwg SHEET 2 Sep 12, 2018 - 6:03:03am d:\hanna

Soil Map—Franklin County, Ohio





Soil Map may not be valid at this scale.

Map Scale: 1:250 if printed on D envelope (14" x 22") sheet.
 0 10 20 30 40 50 Feet
 0 1 2 3 4 Miles
 Natural Resources Conservation Service

Web Soil Survey National Cooperative Soil Survey

Soil Map—Franklin County, Ohio

MAP LEGEND**Area of Interest (AOI)**
 Area of Interest (AOI)
Soils
 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points
Special Point Features

Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features

Streams and Canals

Transportation

Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background

Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Franklin County, Ohio
Survey Area Data: Version 15, Oct 5, 2017

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Aug 4, 2014—Aug 27, 2014

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
AdB	Alexandria silt loam, 2 to 6 percent slopes	2.6	12.5%
AdD2	Alexandria silt loam, 12 to 18 percent slopes, eroded	0.5	2.5%
BeA	Bennington silt loam, 0 to 2 percent slopes	2.6	12.5%
Crd1B1	Cardington silt loam, 2 to 6 percent slopes	10.3	49.1%
Mh	Medway silt loam, occasionally flooded	2.2	10.6%
So	Sloan silt loam, frequently flooded	0.0	0.2%
Ut	Udorthents-Urban land complex, gently rolling	2.6	12.6%
Totals for Area of Interest		21.0	100.0%



September 11, 2018

To Whom it may concern,

This letter is in regards to American Electric Power supplying service to the property to 712-726 Reynoldsburg-New Albany Rd, is located in Jefferson Township, Franklin County, Ohio.

American Electric Power currently has three phase OVHD primary on the west side of Reynoldsburg-New Albany Rd running north and south directions.

American Electric Power can provide standard facilities of adequate capacity, using standard construction practices, to facilities in this area. These facilities will be made available to serve your project with some Contribution-In-Aid-To-Construction charged to the project developer.

The above statement is based upon providing the most economical standard construction and presumes no special characteristics of the electric load or method of providing service.

Please contact me at (614) 883-6852 if any additional information is required.

Sincerely,

A handwritten signature in black ink that reads 'Travis L. Wheeler'. The signature is written in a cursive, flowing style.

Travis L. Wheeler
Customer Design
American Electric Power



111 N 4th Street
Columbus, OH 43215

9-11-2018

David M. Thomas
Advanced Civil Design, Inc.
422 Beecher Road
Gahanna, Ohio 43230

Dear Mr. Thomas,

AT&T Ohio is a local exchange carrier authorized to do business in Ohio and providing services in Black Lick Ohio. AT&T Ohio will provide services to the proposed Vicinity of 712-726 Reynoldsburg- New Albany Road in accord with the provisions of its tariffs on file with the ICC, PUCO, etc. or pursuant to negotiated private arrangements, if applicable.

If you require further information on the terms and conditions of service availability to the property, please contact me at (614) 223-7162.

Sincerely,

Roger Mikesell
Manager/AT&T Engineering



September 11, 2018

Dave Thomas
Advanced Civil Design
422 Beecher Rd Ste A
Gahanna, OH 43230

Re: 712-726 Reynoldsburg-New Albany Road, Blacklick, OH

Thank you for wanting to choose Columbia Gas of Ohio, Inc. (COH), a NiSource Company, to serve your natural gas needs to your new proposed project. This letter is to confirm COH does have facilities on Reynoldsburg-New Albany Rd. Although COH facilities may be in the vicinity of your proposed property, further investigation will need to take place for capacity. Once Attachment A of the Information Request Packet has been answered and returned and all other requested information is released to the COH New Business Team, gas availability and any capacity issues will be determined; as well as any deposit and/or Aid-To-Construction costs that may be required.

Please note that availability is contingent upon a cost benefit analysis. If the project is not deemed economically feasible for Columbia Gas, a deposit may be necessary

If you have any questions regarding availability, or how it is determined, please feel free to contact me at 614-506-7023 Monday-Friday, 8:00am to 4:30pm. Columbia Gas and I look forward to partnering with you on this and future projects.

Sincerely,

Todd Schwarz

Columbia Gas of Ohio a Nisource Company
Todd Schwarz
Development Manager



**Jefferson Township Fire Department
Fire Prevention Bureau**

6767 Havens Corners Rd · Blacklick OH 43004
Phone 614-861-3757 · Fax 614-861-0968

September 12, 2018

David M. Thomas, LEED AP
Advance Civil Design, Inc.
422 Beecher Road
Gahanna, Ohio 43230

Re: Multi-Family Units
Jefferson Township, Franklin County

Mr. David M. Thomas:

The Jefferson Township Fire Department *"Will Serve"* by providing Fire Suppression, EMS, and Fire Inspections for the proposed multi-family units located at 712-726 Reynoldsburg-New Albany Road (in Blacklick). Attached is a copy of the Fire Prevention Bureau's Plan Development.

Please contact the Jefferson Township Fire Prevention Bureau if you have any questions.

Thank you,

Chad Mast, Fire Official
Fire Prevention Bureau
Jefferson Township Fire Department
6767 Havens Corners Road
Blacklick, Ohio 43004
Mobile: 614-588-5880
Email: cmast@jeffersontownship.org



JEFFERSON TOWNSHIP FIRE FIRE PREVENTION BUREAU



6767 Havens Corners Road
Blacklick, Ohio 43004
614-861-3757

The following are common fire service requirements that are missed or left out during plan development or review. These requirements reference specific sections and appendices of the 2017 Ohio Fire Code. The additional requirements into the plan development process will assure the safety of all occupants and structures within Jefferson Township, Franklin County.

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Temporary Roadways	Page 6
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Emergency Responder Radio Coverage	Page 8
Premises Identification	Page 8
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Turning Performance Analysis	Page 12
Heavy Duty Pavement Section	Page 13

FIRE - FLOW REQUIREMENTS FOR BUILDINGS

The procedure for determining fire-flow requirements for buildings shall be in accordance with the 2017 State of Ohio Fire Code (OFC) and Appendix B (see page 10).

Portions of building separated by fire walls without openings and constructed in accordance with the International Building Code, are allowed to be considered as separate fire flow calculation areas.

FIRE HYDRANT LOCATIONS AND DISTRIBUTION

Fire hydrants shall be provided in accordance with Appendix C of the Ohio Fire Code, Table C105.1 (see page 11) and NFPA 24 Standard for The Installation of Private Fire Service Mains and Their Appurtenances. The Jefferson Water Department regulations may take precedent if they are more stringent.

Fire hydrants shall be Mueller Company "Centurion" 200, American-Darling Mark 73, or Clow Medallion and have not less than a 6 inch diameter connection with the main.

All fire hydrants installed in Jefferson Township shall be equipped with a 5" Storz Connection and two (2) 2.5 inch N.S.T. outlets.

A 3 foot clear space shall be maintained around the circumference of fire hydrants unless otherwise approved by the fire code official.

Private fire hydrants shall meet the same requirements as the public fire hydrants.

Private fire hydrants color schemes will be yellow or red with OSHA Blue Bonnets

Fire hydrants shall be located within 30 feet of the Fire Department Connection.



Jefferson Township
Safety Yellow



Private Hydrant with
OSHA Blue Bonnet



Example of 5" Storz
Hydrant

VEHICLE IMPACT PROTECTION (BOLLARDS)

When a fire hydrant or automatic sprinkler system riser is subject to impact by a motor vehicle, guard posts or other approved means of protection shall comply with paragraph (L) Section 312 of the Ohio Fire Code.

- A. Constructed of steel not less than 4 inches in diameter and concrete filled.
- B. Spaced not more than 4 feet between posts on center.
- C. Set not less than 3 feet deep in a concrete footing of not less than a 15 inch diameter.
- D. Set with the top of the posts not less than 3 feet above the ground.
- E. Located not less than 3 feet from the projected object.



Standard Bollard

Other barriers shall be a minimum of 36 inches in height and shall resist a force of 12,000 pounds applied 36 inches above the adjacent ground surface.

PRIVATE FIRE SERVICE MAIN

Fire Service Mains shall be installed in accordance with the Ohio Building Code, Ohio Fire Code and NFPA 24 Standard for The Installation of Private Fire Service Mains and Their Appurtenances.

The fire department connection (FDC) shall be located at the entrance to the project and shall have a 5" Storz connection with a 30 degree down elbow installed on it. A sign shall be installed identifying the FDC. Such sign shall have the letters "FDC" at least 6 inches (152 mm) high and words in letters at least 2 inches (51 mm) high or an arrow to indicate the location. All such signs shall be subject to the approval of the fire code official.



Fire Department
Connection

Fire hydrants shall be located within 30 feet of the Fire Department Connection.

The FDC and Post Indicator Valve (PIV) shall be permitted to be installed on a valve pit.

All joints, fittings and thrust blocking shall be inspected prior to covering.

The contractor shall contact the authority having jurisdiction (AHJ) for an inspection and to perform all acceptance testing. Hydrostatic testing and flushing of the piping shall be performed at that time. The contractor's material and test certificate for underground piping shall be completed and signed.

WATER SUPPLY FOR FIRE PROTECTION

An approved water supply for fire protection, either temporary or permanent, shall be made available as soon as combustible material arrives on the construction site.

FIRE APPARATUS ACCESS ROADS

Fire apparatus access roads shall be in accordance with Appendix D of the Ohio Fire Code. These requirements shall pertain to both public and private roadways.

Apparatus access roads must be capable of supporting fire apparatus weighing at least 75,000 lbs. (34,050 kg). The road shall be constructed of asphalt, concrete or other approved driving surface materials.

Where a fire hydrant is located on a fire apparatus access road, the minimum width of the road shall be 26 feet. The grade shall not exceed 10 percent unless approved by the fire chief.

The turning radius shall be determined by the fire code official. Attached is the turning performance analysis sheet for the mutual aid department's largest fire apparatus vehicle. This was provided by the apparatus manufacturer (see page 12).

Commercial buildings exceeding 3 stories or 30 feet in height shall require at least 3 separate fire apparatus access roads for each structure. If these buildings exceed 30 feet from the lowest fire department vehicle access, an aerial fire apparatus access road shall also be provided. Overhead utility and power lines shall not be located within the roadway. It shall have a minimum unobstructed width of 26 feet in the immediate vicinity of the building more than 30 feet in height.

One required access route shall be located with a minimum of 15 feet and a maximum of 30 feet from the building and shall be positioned parallel to one entire side of the building.

Multi-family projects having more than 100 dwelling units shall have two separate fire apparatus access roads.

Exception: Projects having up to 200 dwelling units may have one fire apparatus access road when all buildings, including nonresidential occupancies, are equipped with an approved automatic sprinkler system install in accordance with section 903.3.1.1 or 903.3.1.2 of the Ohio Fire Code.

Multi-family projects having more than 200 dwelling units shall be provided with two separate fire apparatus road regardless of whether they are equipped with an approved automatic sprinkler system.

One and two family residential developments with less than 30 dwelling units shall provide one fire apparatus access road. Developments exceeding 30 units will need two apparatus access roads providing access from two different directions.

Exception: Where there are more than 30 dwelling units on a single public or private apparatus access road and it is equipped with an approved automatic sprinkler system, access from two directions shall not be required.

When required by the fire code official, fire apparatus access roads shall be marked with permanent NO PARKING – FIRE LANE signs. These signs shall have a minimum dimension of 12 inches wide and 18 inches high and have red letters on a white background.

Roads 20 to 26 feet in width shall have signs posted on both sides as a fire lane. Roads more than 26 feet in width shall be posted on one side of the road as a fire lane.

TEMPORARY ROADWAYS

Temporary roadways for vehicle access for firefighting shall be provided to all construction and demolition sites. Access shall be provided to within 100 feet of a temporary or permanent fire department connection. Vehicle access shall be provided by temporary or permanent roadways and shall be capable of supporting vehicle loading under all weather conditions. Access shall be maintained until permanent fire apparatus access roads are available.

FIRE APPARATUS ACCESS ROAD GATES

Gates shall have a minimum width of 20 feet and be of the swinging or sliding type. Construction of gates shall be of materials to allow opening by one person. The gates shall be maintained in an operative condition and repaired or replaced when defective.

Electric gates shall be equipped with a **CLICK 2 ENTER®** to allow opening with fire department communications equipment.

If gates have a padlock, the padlock must be from the **Knox Company** that can be opened with the Knox Box master key.



Click 2 Enter

KNOX® BOX RAPID ENTRY SYSTEM

The Knox box rapid entry system is required in Jefferson Township per Section 506 of the Ohio Fire Code.

Owners or occupants of all educational, assembly, industrial, commercial, institutional, apartment buildings with common areas, and otherwise, that are equipped with an automatic fire alarm or automatic fire suppression system, shall install a Knox® Box on the premises. The Knox® Box shall be of a size to accommodate all required keys.

If applicable, the Knox® Box shall be installed to the right of the main entrance 48" above the finished grade.



Knox Box

LOCKING FIRE DEPARTMENT CONNECTION CAPS (FDC)

The fire code official is authorized to require locking caps on fire department connections for water-based fire protection systems where the responding fire department carries appropriate key wrenches for removal." Ohio Fire Code 912.3.1

The FDC locking cap protects fire sprinkler connections from accidental damage, vandalism and physical attack. Installation of a locking FDC cap ensures sprinkler reliability and building safety by preventing foreign objects from entering the sprinkler system.

Required business must use the Knox Company.



EMERGENCY RESPONDER RADIO COVERAGE

All buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building. This paragraph shall not require improvement of the existing public safety communication systems.

Exceptions:

1. Where approved by the building official and the fire code official, a wired communication system in accordance with paragraph (G)(2)(m)(ii) (907.2.13.2) of rule 1301:7-7-09 of the Administrative Code shall be permitted to be installed or maintained in lieu of an approved radio coverage system.
2. Where it is determined by the fire code official that the radio coverage system is not needed.

The building shall be considered to have acceptable emergency responder radio coverage when signal strength measurements in 95 per cent of all areas on each floor of the building meet the signal strength requirements in paragraphs (J)(2)(a)(510.2.1) and (J)(2)(b) (510.2.2) of this rule.

A minimum signal strength of -95 dBm shall be receivable within the building.

A minimum signal strength of -100 dBm shall be received by the agency's radio system when transmitted from within the building.

Existing buildings that do not have approved radio coverage for emergency responders within the building shall be equipped with such coverage according to one of the following:

- (a) Wherever existing wired communication system cannot be repaired or is being replaced, or where not approved in accordance with paragraph (J)(1)(510.1), exception 1 of this rule.
- (b) Within a time frame established by the adopting authority.

PREMISES IDENTIFICATION

All premises, new and existing, shall have approved address numbers placed in a position that is plainly legible and visible from the street or road fronting the property in accordance with Section 505 of the Ohio Fire Code.

These numbers shall be Arabic numerals and shall be a minimum of 4 inches in height and shall be a contrasting color.

FIRE PROTECTION AND FIRE FIGHTING EQUIPMENT CERTIFICATION

Except for public and private mobile fire trucks, no person shall engage in the business of servicing, testing, repairing, or installing fire protection or firefighting equipment for profit without first being certified by the state fire marshal.

An individual may only work in those categories for which he has been certified.

An individual must be a company certified or must be associated with a certified company when such individual engages in the business of servicing, testing, repairing or installing fire protection or firefighting equipment for profit.

Every certified individual shall carry the certificate issued pursuant to Section 915 of the 2011 State of Ohio Fire Code on their person while engaging in the business of servicing, testing, repairing or installing fire protection or firefighting equipment for profit and produce the certificate for inspection upon request by the fire code official.

Upon satisfactory application, the state fire marshal may certify any company to engage in the business of servicing, testing, repairing, and installing fire protection and firefighting equipment. A company certification authorizes a company to engage in fire protection installer work requiring certification throughout its employees only for those fire protection installer categories for which its employees are certified pursuant to this rule.

TABLE B105.1
MINIMUM REQUIRED FIRE FLOW AND FLOW DURATION FOR BUILDINGS^a

FIRE-FLOW CALCULATION AREA (square feet)					FIRE FLOW (gallons per minute) ^c	FLOW DURATION (hours)
Type IA and IB b	Type IIA and IIIA b	Type IV and V-A b	Type IIB and IIIB b	Type V-B b		
0-22,700	0-12,700	0-8,200	0-5,900	0-3,600	1,500	2
22,701-30,200	12,701-17,000	8,201-10,900	5,901-7,900	3,601-4,800	1,750	
30,201-38,700	17,001-21,800	10,901-12,900	7,901-9,800	4,801-6,200	2,000	
38,701-48,300	21,801-24,200	12,901-17,400	9,801-12,600	6,201-7,700	2,250	
48,301-59,000	24,201-33,200	17,401-21,300	12,601-15,400	7,701-9,400	2,500	
59,001-70,900	33,201-39,700	21,301-25,500	15,401-18,400	9,401-11,300	2,750	
70,901-83,700	39,701-47,100	25,501-30,100	18,401-21,800	11,301-13,400	3,000	3
83,701-97,700	47,101-54,900	30,101-35,200	21,801-25,900	13,401-15,600	3,250	
97,701-112,700	54,901-63,400	35,201-40,600	25,901-29,300	15,601-18,000	3,500	
112,701-128,700	63,401-72,400	40,601-46,400	29,301-33,500	18,001-20,600	3,750	
128,701-145,900	72,401-82,100	46,401-52,500	33,501-37,900	20,601-23,300	4,000	4
145,901-164,200	82,101-92,400	52,501-59,100	37,901-42,700	23,301-26,300	4,250	
164,201-183,400	92,401-103,100	59,101-66,000	42,701-47,700	26,301-29,300	4,500	
183,401-203,700	103,101-114,600	66,001-73,300	47,701-53,000	29,301-32,600	4,750	
203,701-225,200	114,601-126,700	73,301-81,100	53,001-58,600	32,601-36,000	5,000	
225,201-247,700	126,701-139,400	81,101-89,200	58,601-65,400	36,001-39,600	5,250	
247,701-271,200	139,401-152,600	89,201-97,700	65,401-70,600	39,601-43,400	5,500	
271,201-295,900	152,601-166,500	97,701-106,500	70,601-77,000	43,401-47,400	5,750	
295,901 -Greater	166,501-Greater	106,501-115,800	77,001-83,700	47,401-51,500	6,000	
—	—	115,801-125,500	83,701-90,600	51,501-55,700	6,250	
—	—	125,501-135,500	90,601-97,900	55,701-60,200	6,500	
—	—	135,501-145,800	97,901-106,800	60,201-64,800	6,750	
—	—	145,801-156,700	106,801-113,200	64,801-69,600	7,000	
—	—	156,701-167,900	113,201-121,300	69,601-74,600	7,250	
—	—	167,901-179,400	121,301-129,600	74,601-79,800	7,500	
—	—	179,401-191,400	129,601-138,300	79,801-85,100	7,750	
—	—	191,401 -Greater	138,301-Greater	85,101 -Greater	8,000	

For SI: 1 square foot = 0.0929 m², 1 gallon per minute = 3.785 L/m, 1 pound per square inch = 6.895 kPa.

a. The minimum required fire flow shall be permitted to be reduced by 25 percent for Use Group R.

b. Types of construction are based on the *International Building Code*.

c. Measured at 20 psi.

TABLE C 105.1

NUMBER AND DISTRIBUTION OF FIRE HYDRANTS

FIRE-FLOW REQUIREMENT (gpm)	MINIMUM NUMBER OF HYDRANTS	AVERAGE SPACING BETWEEN HYDRANTS ^{a,b,c} (feet)	MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A HYDRANT ^d
1,750 or less	1	500	250
2,000 - 2,250	2	450	225
2,500	3	450	225
3,000	3	400	225
3,500 - 4,000	4	350	210
4,500 - 5,000	5	300	180
5,500	6	300	180
6,000	6	250	150
6,500 - 7,000	7	250	150
7,500 or more	8 or more ^e	200	120

For SI: 1 foot = 304.8 mm, 1 gallon per minute = 3.785 L/m

- a. Reduce by 100 feet for dead-end streets or roads
- b. Where streets are provided with median dividers which can be crossed by firefighters pulling hose lines, or where arterial streets are provided with four or more traffic lanes and have a traffic count of more than 30,000 vehicles per day, hydrant spacing shall average 500 feet- on each side of the street and be arranged on an alternating basis up to a fire-flow requirement of 7,000 gallons per minute and 400 feet for higher fire-flow requirements.
- c. Where new water mains are extended along streets where hydrants are not needed for protection of structures or similar fire problems, fire hydrants shall be provided at spacing not to exceed 1,000 feet to provide for transportation hazards.
- d. Reduce by 50 feet for dead-end streets or roads.
- e. One hydrant for each 1,000 gallons per minute or fraction thereof.

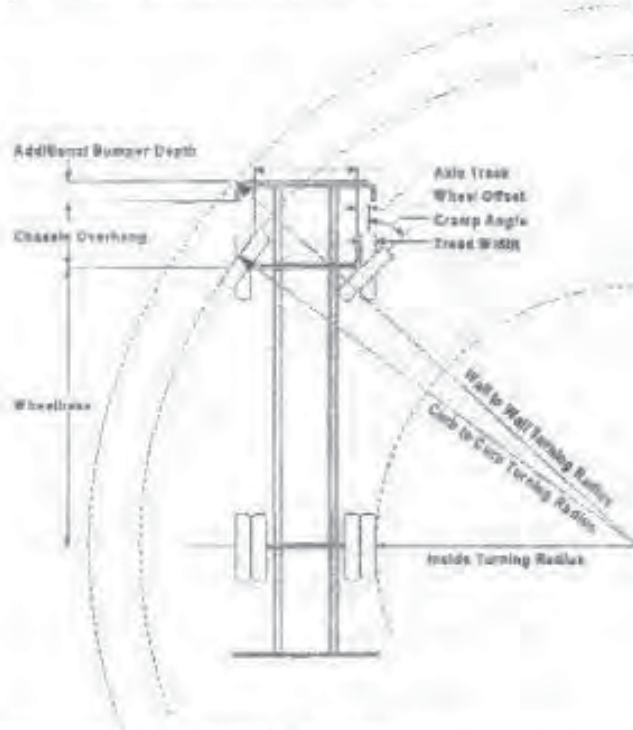


Turning Performance Analysis

8/14/2008

Bid Number: Millin Twp. Division of Fire
Department: 3560

Chassis: Arrow-XT Chassis, PAP/SkyArm/Midmount
Body: Aerial Platform 100', Alum Body



Parameters:

Inside Cramp Angle:	40°
Axle Track:	82.92 in.
Wheel Offset:	5.25 in.
Tread Width:	17.80 in.
Chassis Overhang:	68.99 in.
Additional Bumper Depth:	19.80 in.
Front Overhang:	149.80 in.
Wheelbase:	254.00 in.

Calculated Turning Radii:

Inside Turn:	24 ft. 1 in.
Curb to Curb:	39 ft. 8 in.
Wall to Wall:	47 ft. 4 in.

Comments:

Component	PRIDE #	Description
Bumpers	0012245	Bumper, 19" extended - all chassis
Aerial Devices	0022160	Aerial, 100' Pierce Platform
Axle, Front, Custom	0090913	Axle, Front, Oshkosh TAK-4, Non Drive, 24,000 lb, DLX/Qtm/AXT
Wheels, Front	0091794	Wheels, Frt, Steel 22.50" x 13.00", 24K D'S (445)
Tires, Front	0078245	Tires, Michelin, 445/63R22.50 20 ply XZY 3 tread (24,000 TAK 4)

Notes:

Actual Inside Cramp Angle may be less due to highly specialized options.

Curb to Curb turning radius calculated for a 9.00 inch curb.



- ① ITEM 404, 1-1/2" ASPHALT CONCRETE
- ② ITEM 407, TACK COAT (0.08-0.10 GAL/SQ. YD.)
- ③ ITEM 402, 2-1/2" ASPHALT CONCRETE
- ④ ITEM 304, 10" CRUSHED AGGREGATE BASE
- ⑤ ITEM 204, SUBGRADE COMPACTION

NOTE:
 THE TACK COAT MAY BE ELIMINATED IF THE INTERMEDIATE COURSE IS CLEAN AND THE SURFACE IS PLACED IMMEDIATELY FOLLOWING THE PLACEMENT OF THE INTERMEDIATE COURSE.

HEAVY DUTY PAVEMENT SECTION



Robert Stewart, Director

September 11,2018

RE: 12.39 Ac site on RNA

To Whom it May Concern:

Thank you for your interest in obtaining potable water and sanitary sewer services from the Jefferson Water and Sewer District. The District was established in 1988 and has the exclusive authority to provide aervices within its jurisdictional area,which include your property.

The District does have water and sanitary sewer services available to your property. Based on the development plan that was submitted,see attached,you will require services in excess of our planned capacities. As such you will need to submit a variance application to determine to what extent additional or supplemental capacity fees will affect your development.

If you would like to discuss these items please contact myself or the District Engineer, John R. Grosse, P.E.

Respectfully,

A handwritten signature in blue ink, appearing to read "Robert Stewart".

Robert Stewart
Director

6455 Taylor Road • Blacklick, Ohio 43004

Phone: 614-864-0740 • Fax:614-864-9192

www.iwsd.org

"This institution is an equal opportunity provider."

EXHIBIT E-8

P.O. Box 2553
Columbus, Ohio 43216
Tel. (614) 481-5263
Fax (614) 255-6428



September 12, 2018

Advanced Civil Design
Dave Thomas
422 Beecher Rd
Gahanna, OH 43230

RE: Multi-Family Project at 712-726 Reynoldsburg-New Albany Rd, Jefferson Twp,
Franklin County, OH

Dear Mr. Thomas:

This letter is to confirm that Charter Communications has the capacity and ability to provide advanced cable, high speed internet and digital phone services to proposed Multi-Family Project at 712-726 Reynoldsburg-New Albany Rd, Jefferson Twp, Franklin County, OH project.

If you have any questions give me a call at 614-481-5263 and I will be happy to discuss this project with you.

Thank You!

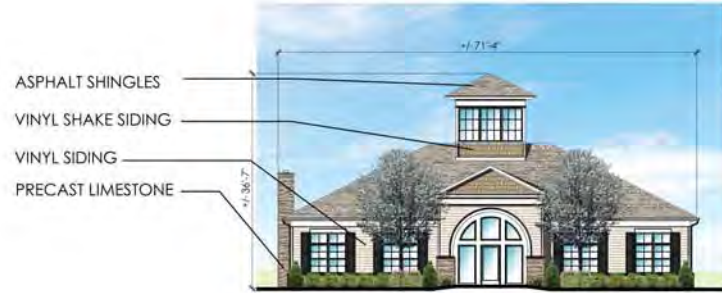
A handwritten signature in black ink, appearing to read "Kevin D. Rich".

Kevin D. Rich
Construction Manager
kevin.rich1@charter.com

Exhibit "F-1" – Traffic Analysis

Any traffic analysis that will be required by the Franklin County Engineer Office will be forthcoming.

Exhibit "G-1 through G-3" – Architectural Elevations/Character, Lighting Plan, Lighting Cut Sheet



1 CLUBHOUSE - FRONT ELEVATION
SCALE: 1"=10'



2 CLUBHOUSE - SIDE ELEVATION
SCALE: 1"=10'



3 CLUBHOUSE - SIDE ELEVATION
SCALE: 1"=10'



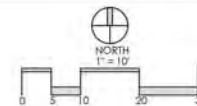
4 CLUBHOUSE - REAR ELEVATION
SCALE: 1"=10'

CLUBHOUSE ELEVATIONS

KENMORE PLACE

PREPARED FOR METRO DEVELOPMENT
DATE: 9/13/18

EXHIBIT G-1



Faris Planning & Design
 LAND PLANNING • LANDSCAPE ARCHITECTURE
 240 N. 5th Street • Suite 401 • Columbus, OH 43214
 (614) 487-1164 • www.farisplanninganddesign.com



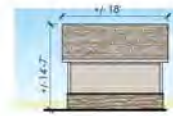
5 TYP. GARAGE FRONT ELEVATION
SCALE: 1"=10'



6 TYP. GARAGE SIDE ELEVATION
SCALE: 1"=10'



8 MAIL STATION ELEVATIONS
SCALE: 1"=10'



9 WATER METER BUILDING ELEVATIONS
SCALE: 1"=10'



1 3 STORY BUILDING - 2 BED/2 BATH & FRONT ELEVATION
SCALE: 1"=10'



2 3 STORY BUILDING - 2 BED/2 BATH & REAR ELEVATION
SCALE: 1"=10'



3 3 STORY BUILDING - 2 BED/2 BATH & REAR ELEVATION
SCALE: 1"=10'



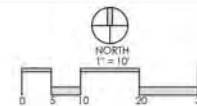
4 3 STORY BUILDING - 2 BED/2 BATH & REAR ELEVATION
SCALE: 1"=10'

3 STORY BUILDING ELEVATIONS

KENMORE PLACE

PREPARED FOR METRO DEVELOPMENT

DATE: 9/13/18

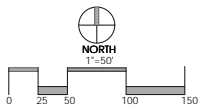
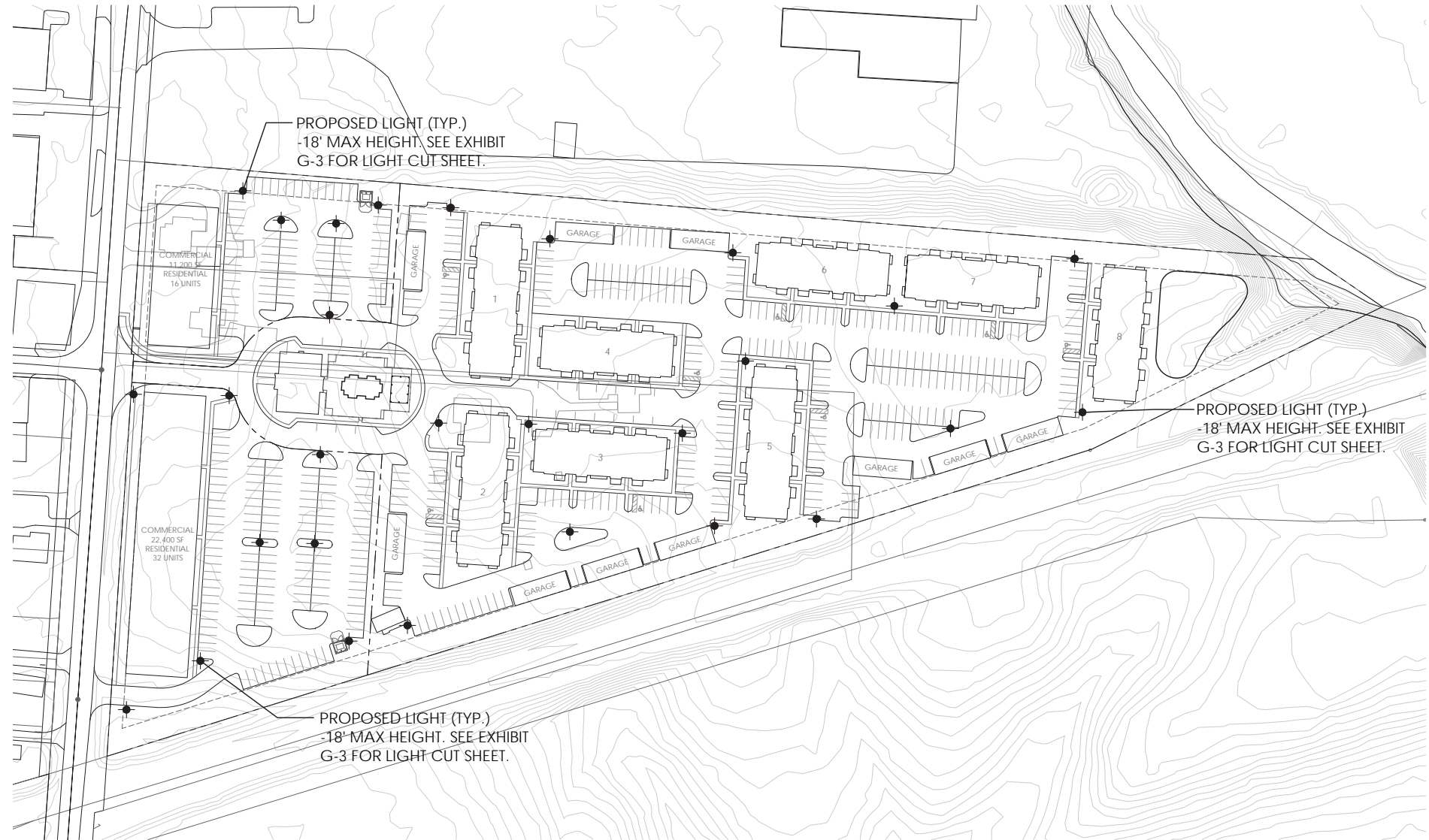


Faris Planning & Design

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LANDSCAPE ARCHITECTURE (614) 487-1164 www.farisplanninganddesign.com



PAUL W. KEENEY



REVISIONS	

LIGHTING PLAN

KENMORE PLACE
PROPOSED
 METRO DEVELOPMENT
 470 OLDE WORTHINGTON RD., SUITE 100
 WESTERVILLE, OH 43082

Faris Planning & Design
LAND PLANNING
 LANDSCAPE ARCHITECTURE
 SUITE 401
 243 N. 9th Street
 Columbus, OH 43215
 P (614) 487-7864
 www.farisplanninganddesign.com

DATE	9/13/18
PROJECT	18116
SHEET	

G-2



American Revolution LED

Series 247L

PRODUCT OVERVIEW



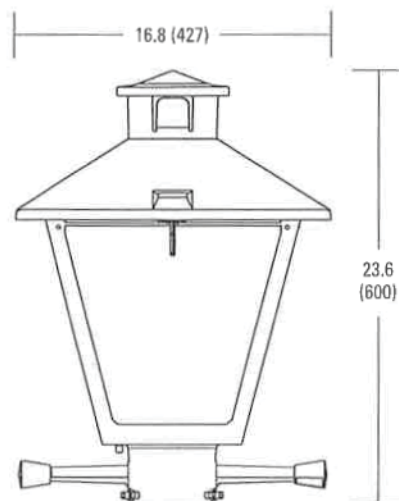
Features:

- Die-cast aluminum housing and hood for long-life performance
- Die-cast trigger latch (TL) and captive thumb screws option available for easy access to internal components
- Optical assembly designed for maximum performance, available in Type II, Type III and Type V
- Hinged hood and captive thumb screws provision afford quick, easy access to electrical and optical area for servicing
- Slipfitter with three set screws allows secure installation to pole sizes 2-3/8" or 3" O.D.
- Surge protection device (standard) exceeds ANSI C62.41 Category C1 criteria (surge tested at 10kV/5kA)
- Complies with ANSI: C136.2, C136.10, C136.15
- CSA listed and suitable for up to 30°C ambient
- Rated L70, LED life greater than 100,000 hours at 25°C
- Replaces up to 150W HPS light source incumbant models
- LED electronic 0V-10V dimmable driver
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

Applications:

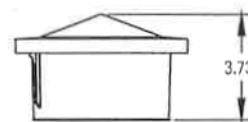
Streetscapes
Walkways
Pathways
Parks

DIMENSIONS

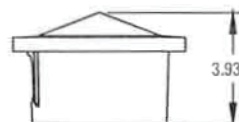


Effective Projected Area (EPA)

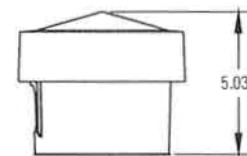
The EPA for the American Revolution Series 247 is 1.6 sq. ft.
P5 or P7 option total height is 24.9 (633).
Approx. Wt. = 36 lbs.



Cupola height
P3 without ROAM
Shown in line diagram



Cupola height
P5/P7 without ROAM



Cupola height
P5/P7 with ROAM

All dimensions are inches (millimeters) unless otherwise noted.

American Revolution LED

Series 247L

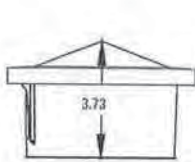
ORDERING INFORMATION

Example: 247L 20LEDE70 MVOLT 4K R3 AY

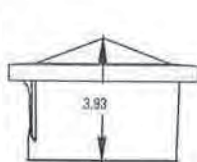
Series	Performance Package	Voltage	Color Temperature (CCT)	
247L American Revolution LED	20LEDE10 20 Chips, 1050 mA Driver, 72 input watts 20LEDE70 20 Chips, 700 mA Driver, 45 input watts 10LEDE10 10 Chips, 1050 mA Driver, 38 input watts 10LEDE70 10 Chips, 700 mA Driver, 25 input watts 10LEDE53 10 Chips, 525 mA Driver, 18 input watts 10LEDE35 10 Chips, 350 mA Driver, 13 input watts	MVOLT Multi-volt, 120-277V 347 347V 480 480V	3K 3000K 4K 4000K 5K 5000K	

Distribution	Optics	Options	
R2 Type II R3 Type III R5 Type V	AY Acrylic PY Polycarbonate	Paint ¹ (blank) Black (standard) GY Gray DDB Dark Bronze WH White BZ Bronze Photocontrol (blank) 3 pin NEMA Photocontrol Receptacle (standard) NR ² No Photocontrol Receptacle P5 ³ 5 pin NEMA Photocontrol Receptacle (dimnable driver included) P7 ³ 7 pin NEMA Photocontrol Receptacle (dimnable driver included) PCLL ^{4,5} Solid State Long Life Photocontrol PCSS ^{4,5,6} Not CSA Listed Solid State Long Life Photocontrol (120-277V)	Miscellaneous SS Stainless steel hardware NL NEMA Label XL Not CSA Listed TL Tool-less Entry LDR ⁷ Ladder Rest SH Shorting Cap SHX ⁶ Not CSA Listed Shorting Cap HSB House Side Shield Black HSW House Side Shield White CR Enhanced Corrosion Resistant Finish RCC ⁸ ROAM Dimming Node Cupola Cover Accessories RNC57 ³ ROAM Dimming Node Cupola Cover

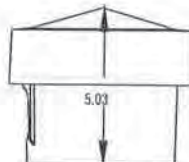
Cupola size based on type of control and receptacle



P3 Receptacle Selection
Non-ROAM Control
Blank



P5/P7 Receptacle Selection
Non-ROAM Control
P5 or
P7



P5/P7 Receptacle Selection
ROAM Control
RCC is required with:
P5 + RCC or
P7 + RCC

Notes:

- Other colors available, please contact factory
- PC and SH not available with NR option
- Taller cupola cover (RCC) is required when used with ROAM or other similar wireless monitoring control systems
- Standard failure mode="Fail On"
- Photocontrols supplied with ANSI Standard Turn-On levels
- XL option is required
- Ships with unit, field installed
- Required when using ROAM or other similar wireless monitoring control systems

AEL American Electric Lighting®

AEL Headquarters, 3825 Columbus Road, Granville, OH 43023
www.americanelectricleighting.com

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Warranty Five-year limited warranty. Complete warranty terms located at:
www.acuitybrands.com/CustomersResource/Items_and_Conditions.aspx

Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Please contact your sales representative for the latest product information.

American Revolution LED

Series 247L

OPERATING CHARACTERISTICS

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

LED Quantity, mA, CCT	Input Watts	TOTAL LUMENS											
		R2-AY	LPW	R3-AY	LPW	R5-AY	LPW	R2-PY	LPW	R3-PY	LPW	R5-PY	LPW
20LEDE10 3K	73	5,495	75	5,553	76	6,068	83	5,156	71	5,210	71	5,694	78
20LEDE10 4K	73	5,900	81	5,962	82	6,516	89	5,451	75	5,576	76	6,111	84
20LEDE10 5K	73	5,937	81	5,999	82	6,556	90	5,568	76	5,626	77	6,149	84
20LEDE70 3K	46	4,103	89	4,147	90	4,531	99	3,848	84	3,889	85	4,249	92
20LEDE70 4K	46	4,407	96	4,453	97	4,867	106	4,115	89	4,164	91	4,545	99
20LEDE70 5K	46	4,434	96	4,481	97	4,897	106	4,140	90	4,184	91	4,573	99
10LEDE10 3K	39	2,936	75	2,967	76	3,242	83	2,779	71	2,808	72	3,068	79
10LEDE10 4K	39	3,153	81	3,187	82	3,482	89	2,959	76	2,990	77	3,267	84
10LEDE10 5K	39	3,173	81	3,206	82	3,504	90	2,981	76	3,011	77	3,292	84
10LEDE70 3K	26	2,115	81	2,137	82	2,336	90	2,012	77	2,034	78	2,223	86
10LEDE70 4K	26	2,271	87	2,295	88	2,508	96	2,106	81	2,128	82	2,326	89
10LEDE70 5K	26	2,285	88	2,309	89	2,523	97	2,126	82	2,148	83	2,347	90
10LEDE53 3K	19	1,662	87	1,681	88	1,836	97	1,561	82	1,578	83	1,724	91
10LEDE53 4K	19	1,785	94	1,804	95	1,972	104	1,670	88	1,688	89	1,845	97
10LEDE53 5K	19	1,796	95	1,816	96	1,984	104	1,683	89	1,702	90	1,859	98
10LEDE35 3K	14	1,150	82	1,162	83	1,270	91	1,079	77	1,090	78	1,191	85
10LEDE35 4K	14	1,234	88	1,248	89	1,364	97	1,162	83	1,175	84	1,284	92
10LEDE35 5K	14	1,243	89	1,256	90	1,372	98	1,165	83	1,177	84	1,287	92



AEL Headquarters, 3825 Columbus Road, Granville, OH 43023
www.americanelectriclighting.com

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Warranty Five-year limited warranty. Complete warranty terms located at:
www.acuitybrands.com/CustomerResource/Terms_and_Conditions.aspx

Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Please contact your sales representative for the latest product information



Commissioners
 Marilyn Brown, President
 Paula Brooks
 John O'Grady

Economic Development & Planning Department
 James Schimmer, Director

AMENDED

Application for
**Zoning
 Variance**

Revised January 1, 2009

VA - 3904



Property Information	
Site Address 4180 Saturn Road, Hilliard, Ohio 43026	
Parcel ID(s) 200 - 0001828	Zoning Rural District
Township Norwich	Acreage 4.37 Acres
Water Supply <input checked="" type="checkbox"/> Public (Central) <input checked="" type="checkbox"/> Private (Onsite)	Wastewater Treatment <input checked="" type="checkbox"/> Public (Central) <input checked="" type="checkbox"/> Private (Onsite)

Applicant Information	
Name/Company Name Charlene and James Davison	
Address 4180 Saturn Road Hilliard, Ohio 43026	
Phone # 614-374-3133	Fax #
Email Cherikdavison@gmail.com	

Property Owner Information	
Name/Company Name Charlene and James Davison	
Address 4180 Saturn Road Hilliard, Ohio 43026	
Phone # 614-374-3133	Fax #
Email Cherikdavison@gmail.com	

Agent Information (if applicable)	
Name/Company Name Donald T. Plank	
Address Plank Law Firm, LPA 411 East Town Street, Floor 2 Columbus, Ohio 43215	
Phone # 614-947-8600	Fax # 614-228-1790
Email dtp@planklaw.com and rjm@planklaw.com	

Staff Use Only
Case # VA-3904
Date filed: 6/7/18
Fee paid \$350
Receipt # 18-01940
Received by: BMF
Hearing date: 10/15/18
Zoning Compliance: Lot split by # 014-18-LS

Document Submission
The following documents must accompany this application:
<input checked="" type="checkbox"/> Completed application
<input checked="" type="checkbox"/> Fee Payment (Checks only)
<input checked="" type="checkbox"/> Auditor's map (8 1/2" x 11")
<input checked="" type="checkbox"/> Site Map (max 11" x 17")
<input checked="" type="checkbox"/> Covenants and deed
<input checked="" type="checkbox"/> Notarized signatures
<input checked="" type="checkbox"/> Proof of water & waste water supply
Please see the Application Instructions for complete details

Variance(s) Requested	
Section	302.021(a)(1) - for the creation of lots, provided the remaining portion of the lot is five (5) acres, or more. The remaining
Description	lot will be 2.1870 acres.
Section	302.041(a) - for lot area; each dwelling unit shall have a lot area of no less than 2.5 acres. The lot area for 2 lots will be
Description	2.1870 acres and 2.1858 acres, respectively.
Section	302.042 - for minimum lot width; such lots shall have access to and abut on an improved, dedicated street right-of-way for
Description	at least 150 feet. Lot "A" has fifty (50) feet of frontage on Saturn Road, and Lot "B" has fifty (50) feet of frontage on Schirtzinger Road.

Describe the project	
The Applicant is amending its existing application VA-3904. Applicant proposes to split the existing 4.3728-acre tract into two (2) lots, both being larger than almost all lots in the neighborhood. Lot "A" with the existing residential dwelling will be 2.1870 acres, and Lot "B" will be 2.1858 acres.	

NOTE: To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.

- Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.
Typical lots in the neighborhood or general vicinity range from 0.554 acres to 0.866 acres. The newly-created lots would conform better to the typical lots in the neighborhood. The existing lot is large and irregularly shaped and lends itself well to the creation of two lots, with two separate street right-of-way frontages for two natural access points for two separate lots.
- That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.
See Attachment A.
- That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.
The Applicant did not create the large size of the lot, at 4.3728 acres; or that the lot has two, separate road frontages that are less than 150' in width each; or that the lot has a natural, irregular and "flag lot" shape. Applicant is attempting to conform the lot to the neighborhood and the way it has developed over time.

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

Two of the requested variances relate to existing conditions of the 4.3728-acre tract, dealing with road frontage and remaining lot size. The newly-created lots almost conform to the lot size requirement of 2.5 acres. They are approximately 2.2 acres, each. There is no special privilege conferred with the granting of these variances.

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

There is no evidence that the proposed variances will adversely affect the health or safety of persons in the vicinity or be materially detrimental to the public welfare or injurious to private property or public improvements in the vicinity.

6. Can there be any beneficial use of the property without the variance?

The newly-created lots will better conform to the existing lots of record in the neighborhood. The lot split and variances granted will be beneficial to the Applicant and neighborhood, in general.

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

See Attachment A.

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

See Attachment A.

9. How would the variance adversely affect the delivery of governmental services? (e.g., water, sewer, garbage, fire, police - Verification from local authorities – i.e. fire might be required)

The requested variances will not adversely affect the delivery of government services.

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

No, the Applicant did not have knowledge of the zoning restrictions, and two of the variances are to resolve existing conditions.

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

No, under this lot split proposal, there is no other method that can be pursued other than the requested variances.

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

Yes, strict Code Compliance would be out of character with the residential lots surrounding the lot, as Applicant's lot is the largest in the general vicinity. Applicant's proposal complies with the Comprehensive Plan for Hilliard. There is no recommendation for this property in the Norwich Township Land Use Plan, adopted in 2001.


Case #
VA-3904

Affidavit

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form.

Applicant _____


Date _____



Property Owner (Signature must be notarized)

24
MAY 23, 2018

Date



Property Owner (Signature must be notarized)

5/24/18

Date

Signed and sworn before me this 24th day of May, 2018





CYNTHIA L. ELLIOTT
Attorney At Law
Notary Public, State of Ohio
My commission has no expiration date.
Sec. 147.03 R.C.

***Agent must provide documentation that they are legally representing the property owner.**

****Approval does not invalidate any restrictions and/or covenants that are on the property.**



Attachment A

to

AMENDED Application for Zoning Variance

Property: 4180 Saturn Road, Hilliard, Ohio 43026

- Q.2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

Creating two lots, one at 2.1870 acres and one at 2.1858 acres, better conforms the property to the neighborhood. Without the lot splits and variances, the Applicant would have an irregularly-shaped, large lot that cannot conform to the road frontage or to the lot area requirements as an existing lot. Other properties in the neighborhood are rectangular shaped, but nine of the adjacent lots to the south and west are non-conforming with respect to lot size, and six lots are non-conforming with respect to road frontage.

- Q.7. How substantial is the variance? (*i.e. 10 feet vs. 100 feet – Required frontage vs. proposed*)

- a. Variance from Section 302.021(a(1)): Section 302.021(a(1)) of the Franklin County Zoning Resolution (the “Zoning Resolution”) states that a lot of record may be subdivided to provide up to four (4) residential lots of less than five (5) acres each providing the remaining portion of the lot is five (5) acres. . . .

A variance of 2.813 acres is required.

The existing lot of record is 4.3728 acres; there is no way to split any portion of the lot and still have a remaining lot of not less than five (5) acres. This is an existing condition of the lot.

- b. Variance from Section 302.041(a): Section 302.041(a) of the Zoning Resolution states that for each dwelling unit there shall be a lot area not less than 2.5 acres.

A variance of 0.313 and 0.3142 acres is required.

The variances being requested are not substantial. They are minimal in nature. The newly-created lots nearly meet the standard lot size (area) for newly-created lots in the Rural District at 2.5 acres. Lot “A” will be 2.1870 acres, and Lot “B” will be 2.1858 acres, just short of the 2.5-acre requirement.

- c. Variance from Section 302.042: For a one-family dwelling, there shall be a lot width of One Hundred Fifty (150) Feet or more at the front line of the dwelling. The lot shall have access to and abut on an improved, dedicated, publicly-

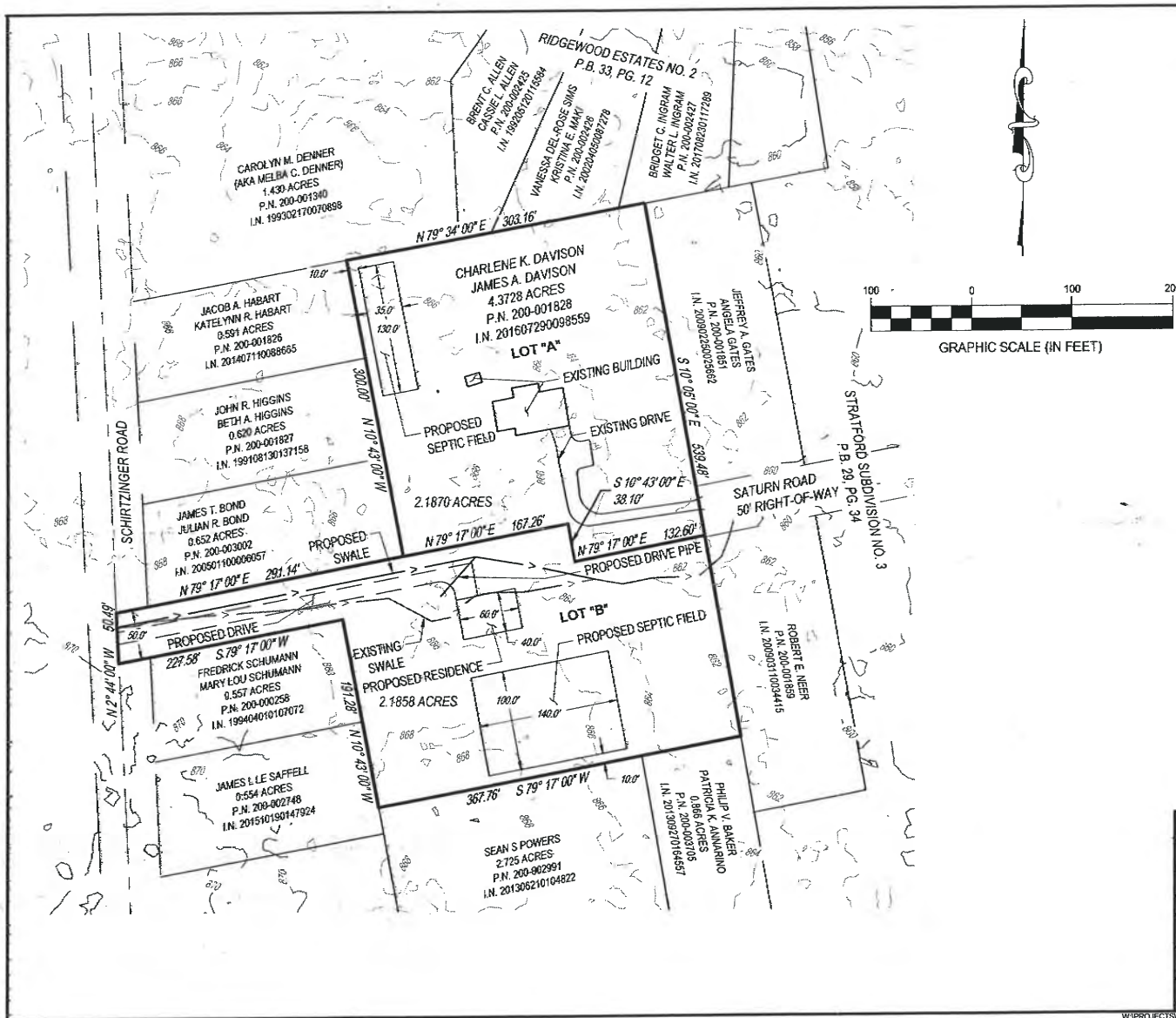
maintained street right-of-way for a distance of at least One Hundred Fifty (150) Feet.

Two road frontage variances of 100 feet (each) are required, at Schirtzinger Road and Saturn Road.

Each lot will have its own separate access for ingress-egress into the sites, respectively. Lot "A" will obtain access from Saturn Road, which is an existing access point and condition for that lot. Lot "B" will obtain access from Schirtzinger Road. Both frontages along the street right-of-ways are fifty (50) feet in width. Applicant did not create the existing configuration of the lot and does not have control over the amount of frontage on street right-of-ways relative to the existing lot of record. This variance request is not substantial, and it only is requested to clean-up an existing condition and to provide a natural separate of the two lots with respect to access and driveways. No common access driveway will be required for the two residential dwelling units. Having two access points benefits the newly-created lots and the neighborhood in general, as there will be no need to improve Saturn Road and bring it all the way across the existing lot to Schirtzinger Road, which would have increased traffic into the area.

- Q.8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

The essential character of the neighborhood will not be altered. In fact, the variances will help the lot fit in more with the smaller R lots to the west and R-2 lots to the east. The proposal meets the goals and objectives of the Hilliard Comprehensive Plan, adopted in 2011, which calls for low density residential development for the property, with a maximum density of two (2) dwelling units per acre. This future land use plan would support up to 4.374 dwelling units on Lot "A" and 4.3716 dwelling units on Lot "B". In addition, Franklin County Auditor Tax Parcel Id. No. 200-003705 received a variance for lot size and lot width in 2012. The design of the two (2) newly-created lots would be consistent with this approved variance and other lots in the neighborhood.



**PROPOSED LOT SPLIT OF PARCEL
NO 200-001828 4180 SATURN ROAD,
HILLIARD OHIO BEING PART OF
SURVEY NO. 1406, VIRGINIA MILITARY
LANDS**


FLOOD ZONE: X
39049C0161K, 6/17/2008
ZONING: R (RURAL)

NOTE:
CURRENT SEPTIC SYSTEM LOCATED NORTHEAST OF THE
EXISTING RESIDENCE WILL REMAIN IN SERVICE.

REFERENCES:
EXISTING TOPOGRAPHY WAS DOWNLOADED FROM THE
OHIO-GEOGRAPHICALLY REFERENCED INFORMATION
PROGRAM ACCESSED ON 08/07/2018.
EXISTING SWALE WAS DRAWN IN FOLLOWING FRANKLIN
COUNTY AERIAL PHOTOGRAPHY AND LIDAR CONTOURS.



VA-3904

PLANK LAW FIRM	
LOT SPLIT CHARLENE, DAVISON	
4180 SATURN ROAD HILLIARD, OHIO	
SCALE: 1"=100'	DATE: 7/27/2018
DESIGN:	JOB NO.: TBD
DRAWN: AGP	SHEET NO.: 1 OF 1
CHECKED: JAM	
 CESO WWW.CESODINC.COM	



Commissioners
 Marilyn Brown, President
 Paula Brooks
 John O'Grady

Economic Development & Planning Department
 James Schimmer, Director

Application for Zoning Variance

Revised January 1, 2009



Property Information	
Site Address <u>5550 Grove City Rd</u>	
Parcel ID(s) <u>230-001847-00</u>	Zoning
Township <u>Pleasant</u>	Acreage <u>19.98</u>
Water Supply <input type="checkbox"/> Public (Central) <input checked="" type="checkbox"/> Private (Onsite)	Wastewater Treatment <input type="checkbox"/> Public (Central) <input checked="" type="checkbox"/> Private (Onsite)

Applicant Information	
Name/Company Name <u>Alejandro F Canibe</u>	
Address <u>3552 Sullivan Ave.</u> <u>Columbus OH 43204</u>	
Phone # <u>(614) 622-5048</u>	Fax # <u>(614) 245 0559</u>
Email <u>acanibe@msh.com</u>	

Property Owner Information	
Name/Company Name <u>Alejandro F Canibe</u>	
Address <u>3552 Sullivan Ave.</u> <u>Columbus OH 43204</u>	
Phone # <u>(614) 622-5048</u>	Fax # <u>(614) 2450559</u>
Email <u>acanibe@msh.com</u>	

Agent Information (if applicable)	
Name/Company Name	
Address	
Phone #	Fax #
Email	

Staff Use Only
Case # <u>VA-3915</u>
Date filed: <u>8127118</u>
Fee paid <u>350.00</u>
Receipt # <u>18-03120</u>
Received by: <u>TB</u>
Hearing date: <u>10-15-18</u>
Zoning Compliance: <u>18-232</u>

Document Submission
The following documents must accompany this application:
<input checked="" type="checkbox"/> Completed application
<input checked="" type="checkbox"/> Fee Payment (Checks only)
<input checked="" type="checkbox"/> Auditor's map (8 1/2" x 11")
<input checked="" type="checkbox"/> Site Map (max 11" x 17")
<input type="checkbox"/> Covenants and deed
<input checked="" type="checkbox"/> Notarized signatures
<input type="checkbox"/> Proof of water & waste water supply
Please see the Application Instructions for complete details

Variance(s) Requested

Section

Section 110.041

Description

18 feet abatement out of 60 feet required

Section

Description

Section

Description

Describe the project

Rebuild a house torn down due to compromised foundation, the house has been on that site for a hundred years and needed restoration which was impossible due to the foundation conditions

NOTE: To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.

The only entrance is by a private strip driveway the property doesn't comply with section 110.041

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

it wouldn't be suitable to rebuild the house if this variance is not authorized

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

No there was a house at the time of purchase

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

There was a house there for 100 years we were trying to rebuild it but foundation was not in good shape therefore it had to be rebuilt instead of remodelled

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

it wouldn't affect anyone as a house has been sitting on that same spot for a hundred years

6. Can there be any beneficial use of the property without the variance?

No the property was bought to be a residence therefore there is no use for owner without the variance

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

10 vs 60 ft required

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

No as the use will remain the same it has had

9. How would the variance adversely affect the delivery of governmental services?

(e.g., water, sewer, garbage, fire, police - Verification from local authorities - i.e. fire might be required)

No there has been a house for a hundred years

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

There was a house which needed repairs but it was purchased as a house

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

I think the variances should not be required

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

yes it will keep the use as it has been for long time

Affidavit

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form.

Alejandro F Cañibe
Applicant

Date

[Signature]
Property Owner (Signature must be notarized)

8-27-18
Date

Property Owner (Signature must be notarized)

Date

August 23, 2018 *[Signature]*



JAMIE A. EDWARDS
Notary Public, State of Ohio
My Commission Expires 05-13-2023

*Agent must provide documentation that they are legally representing the property owner.

**Approval does not invalidate any restrictions and/or covenants that are on the property.

RECEIVED
AUG 28 2018
Franklin County Planning Department
Franklin County, OH

VA-3915



RECEIVED
AUG 27 2018
Franklin County Planning Department
Franklin County, OH

VA-3915



Application for Zoning Variance

Revised January 1, 2009



Commissioners
 Marilyn Brown, President
 Paula Brooks
 John O'Grady

Economic Development & Planning Department
 James Schimmer, Director

Property Information	
Site Address 3640 Ridgewood Drive	
Parcel ID(s) 200.002545.00	Zoning R-4
Township Norwich	Acreage .29
Water Supply <input checked="" type="checkbox"/> Public (Central) <input type="checkbox"/> Private (Onsite)	Wastewater Treatment <input checked="" type="checkbox"/> Public (Central) <input type="checkbox"/> Private (Onsite)

Applicant Information	
Name/Company Name Jerome Michael	
Address 4228 Schintzinger Road Hilliard OH 43026	
Phone # 614.425.3229	Fax #
Email jeromemichael1@gmail.com	

Property Owner Information	
Name/Company Name Whitney A. Johns	
Address 3640 Ridgewood Drive Hilliard OH 43026	
Phone # 614.738.4707	Fax #
Email clarkgris44@yahoo.com	

Agent Information (if applicable)	
Name/Company Name	
Address	
Phone #	Fax #
Email	

Staff Use Only
Case # BZA-3916
Date filed: 9/6/18
Fee paid 350.00
Receipt # 18-03240
Received by: TB
Hearing date:
Zoning Compliance: RZ-18-327

Document Submission
The following documents must accompany this application:
<input checked="" type="checkbox"/> Completed application
<input checked="" type="checkbox"/> Fee Payment (Checks only)
<input checked="" type="checkbox"/> Auditor's map (8 1/2" x 11")
<input checked="" type="checkbox"/> Site Map (max 11" x 17")
<input checked="" type="checkbox"/> Covenants and deed
<input checked="" type="checkbox"/> Notarized signatures
<input checked="" type="checkbox"/> Proof of water & waste water supply
Please see the Application Instructions for complete details



Variance(s) Requested	
Section	308.042
Description	Lot Area and Coverage 20%
Section	
Description	
Section	
Description	

Describe the project
322 sq ft addition which would put the lot coverage at 21.7%, slightly over the Lot Area and Coverage maximum. The addition includes expanding the back bedroom to have master bath and larger closet in the room. The existing patio is going to be renovated to include new roofing and be screened in.

NOTE: To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.

A shared bath for all 3 bedrooms. Small closets in the master bedroom. Also, the existing master bedroom has a fairly small square footage amount that is not consistent with other properties in the zoning district.

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

This property does not have a separate master bath that most properties now have. This property does not have larger closet space that most properties now have.

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

The special conditions and circumstances, listed under question #1, are not a result of any actions of the applicant.

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

Other properties have been granted Lot Area and Coverage that exceed the maximum 20%. Proper setbacks would be maintained. Addition does not extend further than the patio that already exists.

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

Granting the variance would not adversely affect the health or safety of persons residing or working in the vicinity of the proposed addition.

6. Can there be any beneficial use of the property without the variance?

There is still a beneficial use of the property without the variance, however property would have a better and more comfortable function for visiting kids and grand kids if the variance is approved.

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

21.7% vs 20%, minimal variance amount

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

No

9. How would the variance adversely affect the delivery of governmental services?

(e.g., water, sewer, garbage, fire, police - Verification from local authorities - i.e. fire might be required)

Variance approval would have no adverse affect on delivery of gov't services.

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

No, we were not aware of zoning restrictions

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

No, a 2nd story is not a viable option because residents are aging and we hope to retire in this community. Patio is too thick which makes it cost prohibitive to add there.

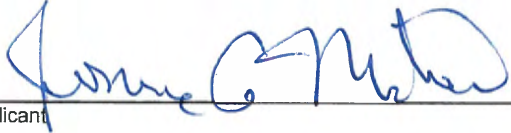
12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

Yes, granting the variance would help the entire zoning district by enhancing the quality of this property. This would in turn enhance the entire zoning district.

Case #
3916

Affidavit

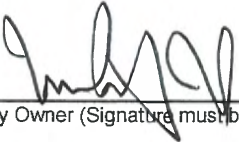
I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form.



Applicant

9-5-18

Date



Property Owner (Signature must be notarized)

9.6.18

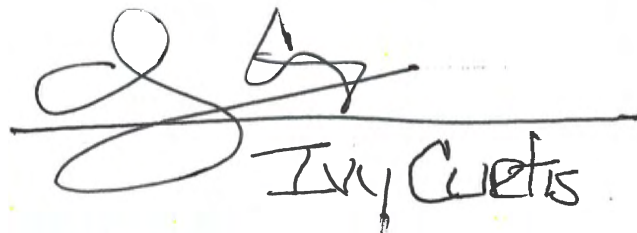
Date

Property Owner (Signature must be notarized)

Date

*Agent must provide documentation that they are legally representing the property owner.

**Approval does not invalidate any restrictions and/or covenants that are on the property.

X  9/6/18



IVY N. CURTIS
Notary Public, State of Ohio
My Commission Expires 10-02-2022

Application instructions

Please submit the following:

1) **Application Form**

Completed application form with notarized signatures

2) **Fee – non refundable**

Checks only payable to *Franklin County Treasurer*

3) **Covenants or deed restrictions.**

Provide a copy of your deed with any deed restrictions

You can find your deed at:

www.franklincountyohio.gov/recorder

4) **Auditor's Tax Map.**

Provide a map showing the subject property and all land within 500 feet of the property.

You can find the map at:

www.franklincountyohio.gov/auditor

5) **Site map**

Provide a map showing the subject property with the following items:

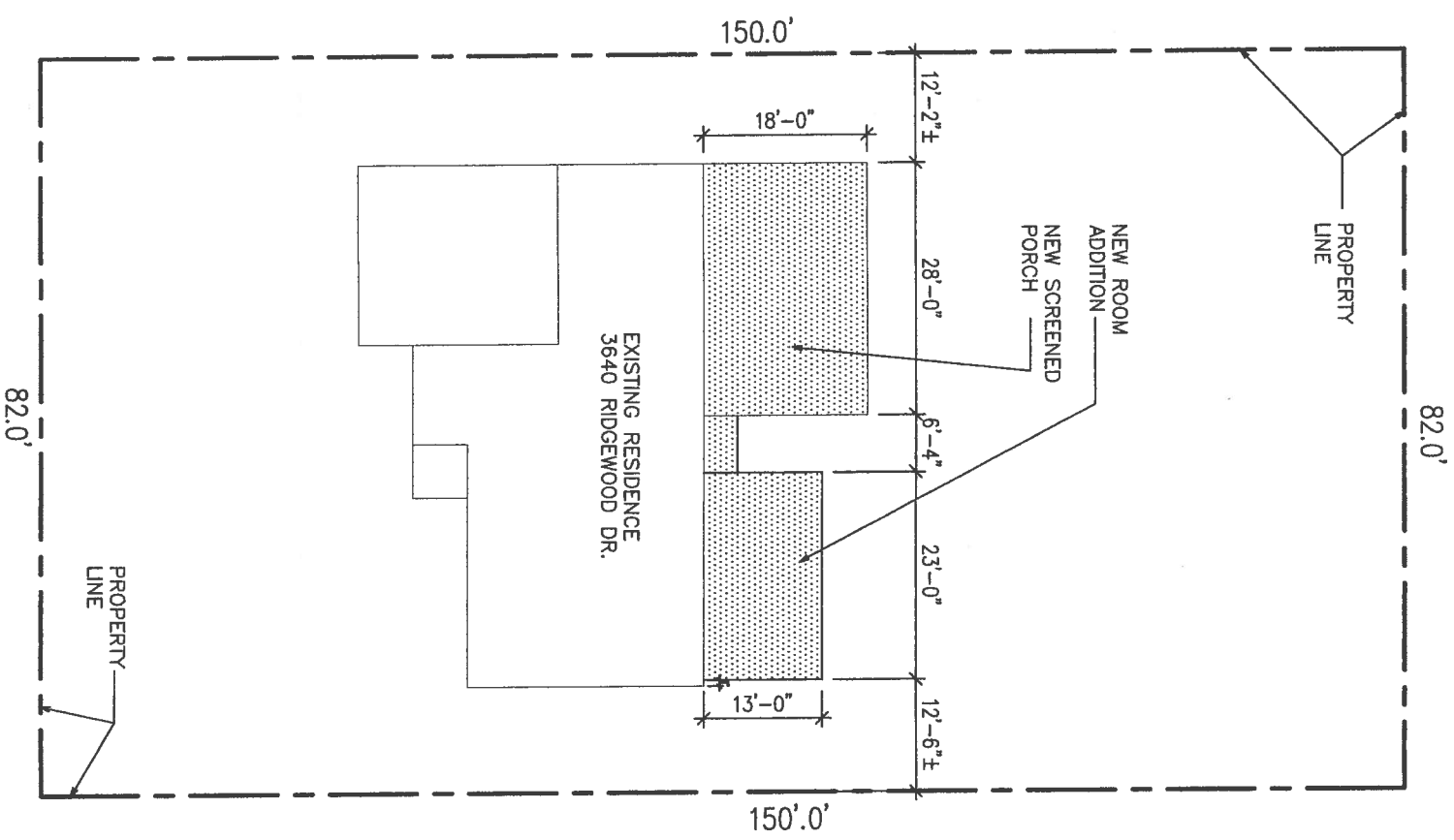
- For the subject property
 - All property lines
 - Dimensions of the property
 - Road frontage
 - Street right-of-ways
 - Driveways
 - Easements
 - Floodplain areas
 - Location of existing septic/aerator systems and wells
- For all existing and proposed buildings and structures
 - Location of each on the property
 - Location of any proposed addition or expansion
 - Square footage of each
 - Height of each
 - Distance to property lines
- Scale
- North arrow
- Any information relevant to the specific nature of the variance

6) **Proof of utility service**

Provide proof from the provider of your water and wastewater services.

Note: If services are provided by a private or public entity, you must provide a letter verifying that you have service or will have access to it. If you're proposing an on-lot septic system or well, please provide information from the Franklin County Board of Health (or appropriate agency).

JOHNS RESIDENCE 3640 RIDGEWOOD DR. COLUMBUS, OHIO 43026



SITE PLAN
SCALE: 1" = 20'

DRAWING INDEX	
00.	SITE PLAN
G1.	GENERAL NOTES, SYMBOLS AND ABBREVIATIONS
G2.	WALL BRACING REQUIREMENTS AND DETAILS
D.	DEMOLITION AND FOUNDATION PLANS
A1.	FLOOR PLAN
A2.	EXTERIOR ELEVATIONS-ROOF PLAN
A3.	BUILDING DETAILS Roof Plans
A4.	BUILDING DETAILS
E.	POWER AND LIGHTING PLAN

LOT COVERAGE: 21.76 %

LOT AREA: 12,300.00 S.F.

EXIST. RESIDENCE: 1850.00 S.F.

NEW ADDITION: 826.60 S.F.

DOOR SCHEDULE * ADD 3/4" TO EACH DIMENSION FOR ROUGH OPENING SIZE					
ITEM	TYPE	QTY	ROOM	* SIZE (WxH)	REMARKS
A	EXTERIOR DOOR	1	FAMILY	6'-0" X 6'-8"	PATIO DOOR
B	EXTERIOR DOOR	1	FAMILY	6'-0" X 6'-8"	PATIO DOOR
C	INTERIOR DOOR	1	SCREENED PORCH	3'-0"x6'-8"	SCREENED DOOR
D	INTERIOR DOOR	1	BATHROOM	2'-0"	TEMPERED
E	INTERIOR DOOR	1	M. BATHROOM	2'-4"x6'-8"	
F	INTERIOR DOOR	1	M. BATHROOM	2'-6"x6'-8"	
G	INTERIOR DOOR	1	M. BEDROOM	2'-8"x6'-8"	
H	INTERIOR DOOR	1	WALK IN CLOSET	2'-6"x6'-8"	

WINDOW SCHEDULE * ADD 3/4" TO EACH DIMENSION FOR ROUGH OPENING SIZE				
ITEM	TYPE	QTY	* SIZE (WxH)	SILL HEIGHT
1	AWNING	2	2'-1"wx2'-1"H	
2	DOUBLE HUNG	2	2'-2"wx2'-6"H	
3	DOUBLE HUNG	4	2'-10"wx3'-5"H	

NOTE: 1. MATCH EXISTING DOORS AND WINDOWS- G.C. TO VERIFY
ALL WINDOWS ROUGH OPENING PRIOR TO ORDERING

2. SAVE EXISTING DOORS AND WINDOWS TO BE REUSED

GENERAL NOTES:

ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES AND ORDINANCES.

CONTRACTOR TO COORDINATE ALL HEATING, AIR CONDITIONING, ELECTRICAL AND PLUMBING REQUIREMENTS CLEARANCES PRIOR TO CONSTRUCTION.

ALL FLOOR JOISTS, LEDGER BOARDS, BAND JOISTS, POSTS, COLUMNS AND ALL OTHER WOOD PERMANENTLY EXPOSED TO THE WEATHER SHALL BE PRESSURE TREATED UNLESS OTHERWISE NOTED.

NEW EXTERIOR WALLS SHALL BE 2X6 STUDS AT 16" C/C W/ R-21 MIN. INSULATION. INTERIOR PARTITIONS TO BE 2X4 STUDS AT 16" C/C W/ 1/2" GYP. BD. EACH SIDE

*Inverter
garage light switch*



Commissioners
 Marilyn Brown, President
 Paula Brooks
 John O'Grady

Economic Development & Planning Department
 James Schimmer, Director

Application for Conditional Use

Revised January 1, 2009

RECEIVED
 SEP 10 2018
 Franklin County Planning Department
 Franklin County, OH



Property Information	
Site Address	1350 Emig Road
Parcel ID(s)	140-000386
Zoning	G-I
Township	Franklin
Acreage	11.8
Water Supply	Wastewater Treatment
<input type="checkbox"/> Public (Central) <input checked="" type="checkbox"/> Private (Onsite)	<input checked="" type="checkbox"/> Public (Central) <input type="checkbox"/> Private (Onsite)

Applicant Information	
Name/Company Name	1350 Emig Road LLC
Address	1350 Emig Road
	Columbus, OH 43223
Phone #	(614) 212-1800
Fax #	
Email	bharris@towgroup.com

Property Owner Information	
Name/Company Name	1350 Emig Road LLC
Address	1350 Emig Road
	Columbus, OH 43223
Phone #	(614) 212-1800
Fax #	
Email	bharris@towgroup.com

Agent Information (if applicable)	
Name/Company Name	Jackson B. Reynolds, III
Address	c/o Smith & Hale LLC
	37 West Broad Street, Suite 460
	Columbus, OH 43215
Phone #	(614) 221-4255
Fax #	(614) 221-4409
Email	jreynolds@smithandhale.com

Staff Use Only	
Case #	CU-3917
Date filed:	9/10/18
Fee paid	\$650
Receipt #	1803202
Received by:	BMF
Hearing date:	10/15/18
Zoning Compliance:	2C-18-056

Document Submission
The following documents must accompany this application:
<input checked="" type="checkbox"/> Completed application
<input checked="" type="checkbox"/> Fee Payment (Checks only)
<input checked="" type="checkbox"/> Auditor's map (8 1/2" x 11")
<input checked="" type="checkbox"/> Site Map (max 11" x 17")
<input checked="" type="checkbox"/> Covenants and deed
<input checked="" type="checkbox"/> Notarized signatures
<input type="checkbox"/> Proof of water & waste water supply
Please see the Application Instructions for complete details

Case #

Conditional Use(s) Requested	
Section	610.06(4) Conditional Use in the Floodway Fringe
Description	to allow parking and loading areas on the Floodway Fringe
Section	610.06(3) Conditional Use in the Floodway Fringe
Description	to allow storage and processing of materials in the Floodway Fringe
Section	610.06(7) Conditional use in the Floodway Fringe
Description	To allow placement of fill in the Floodway Fringe for a driveway

Describe the project
The site is being developed as a dead storage area for vehicles and there is a small amount of Floodway Fringe area located within 11.8 acres site and the owner/applicant would like to use those areas as a part of the operation.

NOTE: To receive a conditional use, you must meet all the conditional use requirements in Section 815.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a conditional use. If you don't answer the questions, we will consider your application incomplete.

1. Proposed Use or Development of the Land:

The owner/applicant wants to use the identified Floodway Fringe areas on his property for dead storage areas (parking) for vehicles.

2. How will the proposed development relate to the existing and probable future land use character of the area:

The Floodway Fringe areas a part of a longer dead vehicle storage lot on the 11.8 acre site.

3. Will the Conditional Use be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of the same area?

The Floodway Fringe areas will be graveled for dead vehicle storage (parking) like the majority of the 11.8 acre site. The use of the Floodway Fringe area will not change the essential character of the area.

4. Will the Conditional Use be hazardous or disturbing to existing or future neighboring uses?

No, the use of the Floodway Fringe area will not be hazardous or disturbing the existing or future neighboring uses.

5. Will the Conditional Use be detrimental to property in the immediate vicinity or to the community as a whole?

No, the granting of the conditional use will not be detrimental to property in the immediate vicinity nor the community as a whole.

6. Will the Conditional Use be served adequately by essential public facility and services?

Yes, the site will be adequately served by essential public facilities and services.

7. How will the proposal meet the development standards of that specific district?

The area should not be inundated by floodwaters so no special treatment is required.

8. Could the applicant's predicament be feasibly obtained through some method other than a conditional use?

No, the only way to allow the use of the various areas is through the conditional use.

9. Would the spirit and intent behind the zoning requirements be observed and would substantial justice be done by granting the conditional use?

Yes, the spirit and intent behind the zoning requirements will be observed.

10. Would the conditional use adversely affect the delivery of governmental services (e.g., water, sewer, garbage, fire, police).

No, the granting of the conditional use will not impact the delivery of governmental services.

11. Did the applicant purchase the property with knowledge of the zoning restrictions?

No, the owner/applicant was not aware of the Floodway Fringe areas at the time of purchase, only when submitting a certificate of zoning compliance was the area discovered

Conditional Use-Expanded Home Occupation (Only)

The following questions must be addressed when applying for a Conditional Use from Section 511.03 (Conditional Use Home Occupation) of the Franklin County Zoning Resolution. If these questions are not answered, the application will be considered incomplete.

1. Enclose all details regarding the day-to-day operations of the home occupation (type of business, hours of operation, designated parking areas, etc.).

Case #

CU-3917

Affidavit

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form.

[Handwritten Signature]

Applicant

9-7-18

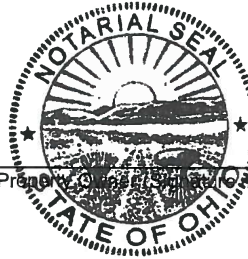
Date

[Handwritten Signature]

Property Owner (Signature must be notarized)

9-7-18

Date



Natalie C. Timmons
Notary Public, State of Ohio
My Commission Expires 09-04-2020

[Handwritten Signature]

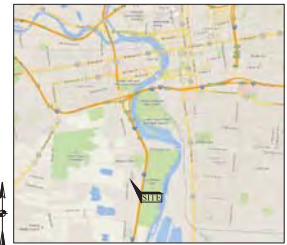
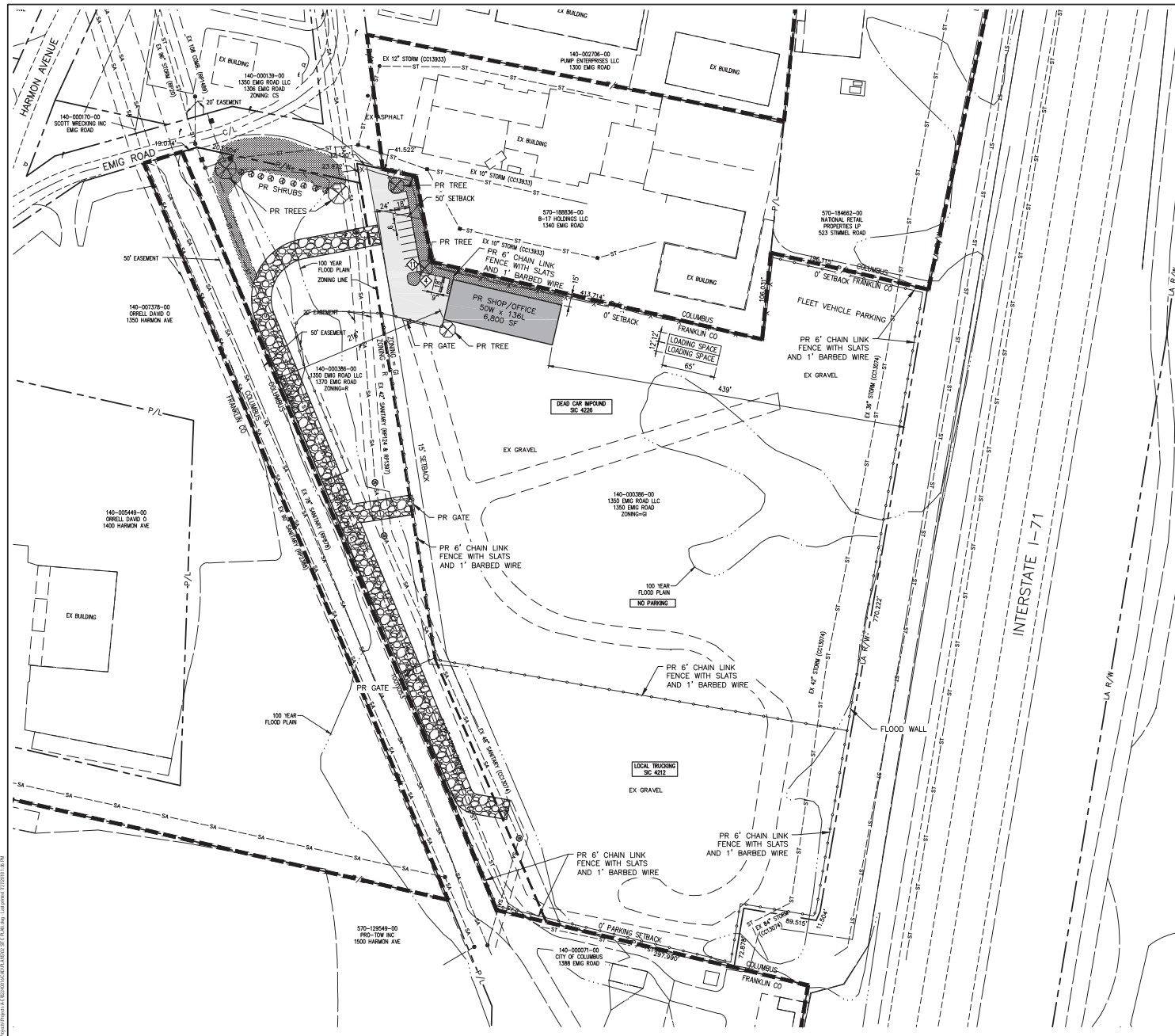
9/7/18

Property Owner (Signature must be notarized)

Date

***Agent must provide documentation that they are legally representing the property owner.**

****Approval does not invalidate any restrictions and/or covenants that are on the property.**



VICINITY MAP
NOT TO SCALE

OWNERS
 1350 EMIG ROAD LLC
 1350 EMIG ROAD
 COLUMBUS, OH 43223
 CONTACT: BRANDON HARRIS
 PHONE: 614-272-1800

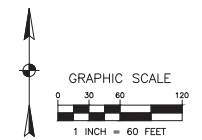
ENGINEER
 THE MANNIK & SMITH GROUP, INC.
 1150 DUBLIN ROAD, SUITE 100
 COLUMBUS, OH 43214
 CONTACT: STEVEN E. FOX
 PHONE: 614-452-4526
 EMAIL: SFOX@MANNIKSMITHGROUP.COM

SITE DATA
 ADDRESS: 1350 & 1370 EMIG ROAD
 PID: 140-000386-00
 TOTAL SITE AREA: 9.44± AC
 ZONING: GI - GENERAL INDUSTRIAL
 USE: OFFICE & STORAGE
 BUILDING HEIGHT: 100' MAXIMUM

FLOOD ZONE
 THE PROPERTY LIES WITHIN ZONE A & ZONE X, DETERMINED BY THE FEMA FLOOD INSURANCE RATE MAP #39049C0317K, PANEL 317 OF 465, EFFECTIVE ON 06/17/2008.

PERVIOUS AREA: 0.31 AC. 3.28%
 IMPERVIOUS AREA: 6.16 AC. 96.72%
 TOTAL AREA: 9.44 AC. 100%

SITE DATA
 TOTAL SITE AREA: 9.44 AC
 DISTURBED AREA: 0.64 AC.
 PRE DEVELOPED IMPERVIOUS AREA: 0.02 AC.
 POST DEVELOPED IMPERVIOUS AREA: 0.36 AC.



NO.	DATE	BY	DESCRIPTION

1150 DUBLIN ROAD
 COLUMBUS, OH 43215
 FAX: 614-452-4522
 PROJECT DATE: 08/20/18
 PROJECT NO.: B3/2018
 DRAWN BY: PAV
 CHECKED BY: SJF



PREPARED FOR:
CAPITAL TOWING & RECOVERY, INC.
 114 WINDSOR AVENUE
 COLUMBUS, OH 43211

FRANKLIN COUNTY, OHIO
SITE COMPLIANCE PLAN
 FOR
1350 & 1370 EMIG ROAD
 COLUMBUS, OH 43223

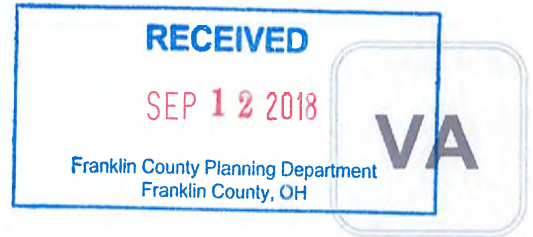
SITE PLAN
 2 / 3

Commissioners
Marilyn Brown, President
Paula Brooks
John O'Grady

Economic Development & Planning Department
James Schimmer, Director

Application for Zoning Variance

Revised January 1, 2009



Property Information	
Site Address 6534 ROLLING HILLS LANE EAST	
Parcel ID(s) 230.002878	Zoning GROVE CITY R
Township PLEASANT	Acreage 0.97
Water Supply <input type="checkbox"/> Public (Central) <input checked="" type="checkbox"/> Private (Onsite)	Wastewater Treatment <input type="checkbox"/> Public (Central) <input checked="" type="checkbox"/> Private (Onsite)

Applicant Information	
Name/Company Name KYLE SCHNEIDER	
Address 1058 SOUTH PEARL ST. COLUMBUS, OH 43206	
Phone # 440.781.7945	Fax #
Email kschneider@canvasdesign-arch.com	

Property Owner Information	
Name/Company Name MICHELLE BAKER	
Address 6534 ROLLING HILLS LANE EAST GROVE CITY, OH 43123	
Phone # 614.374.4249	Fax #
Email shaybaker@columbus.rr.com	

Agent Information (if applicable)	
Name/Company Name	
Address	
Phone #	Fax #
Email	

Staff Use Only
Case # VA-3918
Date filed: 9/12/18
Fee paid \$350
Receipt # 18-03305
Received by: BMP
Hearing date: 10/15/18
Zoning Compliance: R2-18-318

Document Submission
The following documents must accompany this application:
<input checked="" type="checkbox"/> Completed application
<input checked="" type="checkbox"/> Fee Payment (Checks only)
<input checked="" type="checkbox"/> Auditor's map (8 1/2" x 11")
<input checked="" type="checkbox"/> Site Map (max 11" x 17")
<input checked="" type="checkbox"/> Covenants and deed
<input checked="" type="checkbox"/> Notarized signatures
<input checked="" type="checkbox"/> Proof of water & waste water supply
Please see the Application Instructions for complete details

Variance(s) Requested	
Section	512.02(2) PROPERTY UNDER (1) ACRE IS ALLOWED TO HAVE (2) STRUCTURES AT 720 SF.
Description	WE PROPOSE A SECOND STRUCTURE AT 1,058 SF. EXISTING ACCESSORY STRUCTURE IS 225 SF. SITE IS 0.97 ACRES. TOTAL SF WOULD BE 1,283 SF.
Section	512.02(2) A ACCESSORY STRUCTURE MUST BE ADJACENT OR BEHIND MAIN STRUCTURE
Description	WE ARE PROPOSING TO PLACE THE ACCESSORY BUILDING SLIGHTLY IN FRONT OF THE MAIN STRUCTURE.
Section	
Description	

Describe the project
THIS PROJECT IS PROPOSING A NEW DETACHED GARAGE. THE ACCESSORY BUILDING WILL BE UNCONDITIONED, SLAB ON GRADE AND WILL CONNECT DOWNSPOUTS DIRECTLY TO EXISTING STORM WATER.

NOTE: To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.

- Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.

DUE TO THE SHAPE OF THE SITE IT IS DIFFICULT TO LOCATE THIS STRUCTURE BEHIND THE MAIN STRUCTURE. AFTER THE PLANS EXAMINER POINTED OUT SECTION 512.02(2) WE PUSHED THE ACCESS. BLDG AS FAR BACK AS POSSIBLE.
- That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

THE ORIENTATION OF THE HOUSE ON THE SITE MAKES SHING DIFFICULT. WE OFFSET THE FRONT PROPERTY LINE TO THE CLOSEST EDGE OF THE HOUSE AND ENSURED OUR PROPOSED ACCESSORY STRUCTURE IS BEHIND IT.
- That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

THEY DO NOT. ADDITIONALLY ACCESSORY STRUCTURES LARGER THAN 720 SF ARE COMMON IN THIS DEVELOPMENT.

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

THE ACCESSORY STRUCTURE WILL ALLOW THE OWNER TO STORE ALL THEIR
VEHICLES IN DOORS. WE FEEL IT IS AN APPROPRIATE ADDITION AND IMPROVES
THE OVERALL NEIGHBORHOOD

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

NO.

6. Can there be any beneficial use of the property without the variance?

YES. IT IS CURRENTLY A SINGLE FAMILY HOME WITH AN ATTACHED GARAGE
AND SHED. WITH PARENTS AND TWO KIDS THE OWNER IS LOOKING TO PROVIDE
A HIGH QUALITY STRUCTURE TO REMOVE CARS FROM SITE OF NEIGHBORS AND
PROTECT VEHICLES FROM ELEMENTS

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

720 ALLOWED, 1283 REQUESTED => 563 SF INCREASE

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

NO.

9. How would the variance adversely affect the delivery of governmental services?

(e.g., water, sewer, garbage, fire, police - Verification from local authorities - i.e. fire might be required)

IT WOULD NOT AFFECT GOVERNMENTAL SERVICES.

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

NO.

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

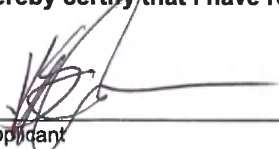
NO.

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

YES.

Affidavit

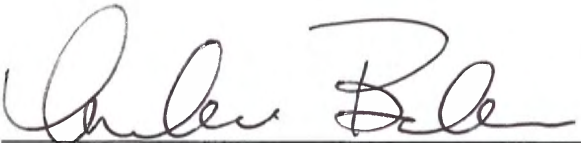
I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form.



Applicant

9.12.18

Date



Property Owner (Signature must be notarized)


9.12.18

Date

Property Owner (Signature must be notarized)

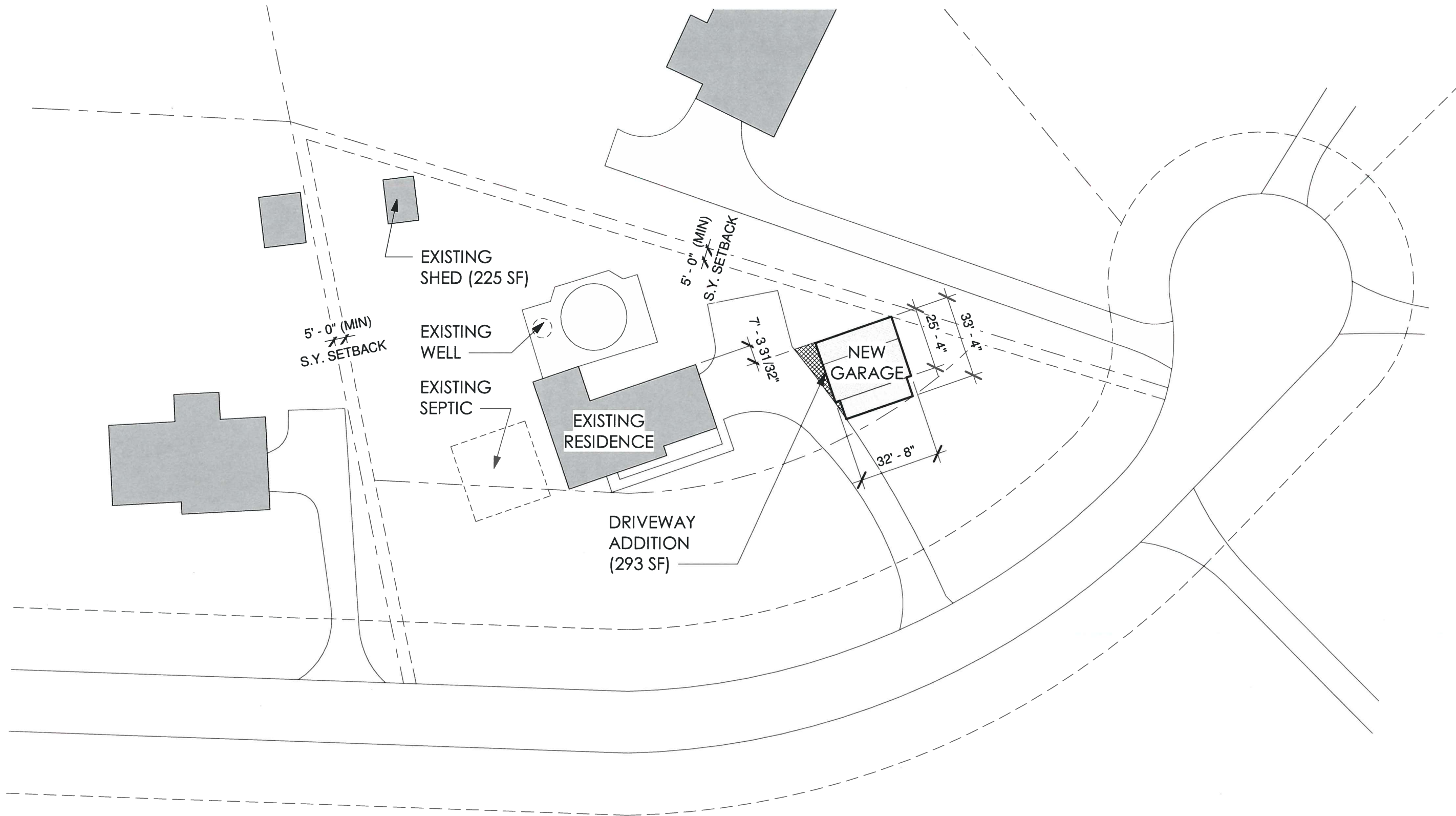
Date




JAMIE A. EDWARDS
Notary Public, State of Ohio
My Commission Expires 05-13-2023

9.12.18

*Agent must provide documentation that they are legally representing the property owner.
**Approval does not invalidate any restrictions and/or covenants that are on the property.



1 SITE PLAN
1" = 40'-0"

CANVAS DESIGN

BAKER GARAGE ADDITION

site plan

Project number 18-004
Date 09/11/2018

01



Commissioners
 Marilyn Brown, President
 Paula Brooks
 John O'Grady

Economic Development & Planning Department
 James Schimmer, Director

Application for Zoning Variance

Revised January 1, 2009



Property Information	
Site Address 2802 Adams St., Grove City, OH 43123	
Parcel ID(s) 230-001347-00	Zoning Rural (R)
Township: Pleasant	Acreage: .34 acre
Water Supply <input type="checkbox"/> Public (Central) <input checked="" type="checkbox"/> Private (Onsite)	Wastewater Treatment <input type="checkbox"/> Public (Central) <input checked="" type="checkbox"/> Private (Onsite)

Applicant Information	
Name/Company Name 12156 Buckeye Point LLC. Mike McGonigle Manager	
Address PO Box 2015, Powell, OH 43065	
Phone # 740-995-3204	Fax #
Email mikemcgonigle76@gmail.com	

Property Owner Information	
Name/Company Name: Debbie Gabriel, Trustee of the Buckeye Point Irrevocable Trust, dated March 20, 2013	
Address 2676 Jewett Road, Powell, OH 43065	
Phone # 614-378-2964	Fax #
Email pdgabriel@aol.com	

Agent Information (if applicable)	
Name/Company Name 12156 Buckeye Point LLC., Mike McGonigle, Manager	
Address PO Box 2015, Powell, OH 43065	
Phone # 740-995-3204	Fax #
Email mikemcgonigle76@gmail.com	

Staff Use Only
Case # VA - 3919
Date filed: 9-12-18
Fee paid 350.00
Receipt # 18-03320
Received by: Phil Ashear
Hearing date: 10-15-18
Zoning Compliance: R2-18-300

Document Submission
The following documents must accompany this application:
<input checked="" type="checkbox"/> Completed application
<input type="checkbox"/> Fee Payment (Checks only)
<input checked="" type="checkbox"/> Auditor's map (8 1/2" x 11")
<input checked="" type="checkbox"/> Site Map (max 11" x 17")
<input checked="" type="checkbox"/> Covenants and deed
<input checked="" type="checkbox"/> Notarized signatures
<input checked="" type="checkbox"/> Proof of water & waste water supply
Please see the Application Instructions for complete details



Variance(s) Requested	
Section:	512.02 (2)
Description:	720 SF Allowable, proposed Building is 1553
Section:	512.02
Description:	setback on south property line may be less than 5'
Section:	
Description:	

Describe the project

Applicant seeks to build garage/storage building on pre-existing concrete pad, where a garage/storage building of same size used to be, but was destroyed in a fire. After the fire, a variance to reconstruct the building was previously granted but the building was not rebuilt in the required time allowed. Now current owner seeks to rebuild on the pre-existing concrete pad. The concrete pad is 1553 square feet and reconstructed building will be same size.

NOTE: To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.

- Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.

Yes, because the new building replaces a building that was burned down in a fire, but using existing concrete pad.

The concrete pad needs to be covered because it creates a slip and fall hazard in slick winter conditions.

- That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

Yes, the property does not have a basement or garage and needs a garage and storage area. This property used to enjoy the benefit of a covered garage and storage building.


- That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

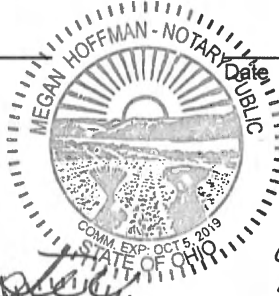
The pre-existing concrete pad where a garage/storage building used to be was present before current owner and applicant purchased the property.

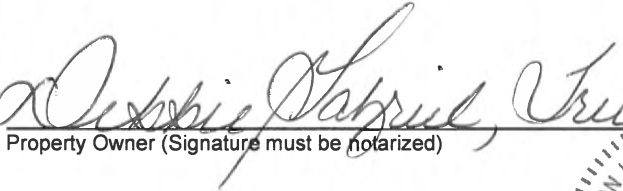
4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District. No, given the unique circumstances of a fire burning down a structure of same size, and where a variance to rebuild has been previously granted on same pre-existing concrete pad.
5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity? No, the property looked like a junk yard when purchased with three abandoned cars and debris on all of the concrete pad. The property looks better now that the debris has been removed but will look even better with a covered garage and building. A new building covering the concrete will not be a detriment to public welfare or injure private property or public improvements.
6. Can there be any beneficial use of the property without the variance? A concrete pad is better than parking in the grass but like most properties, it needs a garage. Since the pre-existing concrete pad is already in place, a building should cover it.
7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed) The zoning allows for a 720 SF building and this one is 1553 SF, which could be construed to be substantial if not for the situation that the concrete pad of 1553 sf is already in place from the previous building.
8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance? No. The building used to be here and was destroyed in a fire. Rebuilding on the concrete pad returns the essential character of the neighborhood to what it used to be.
9. How would the variance adversely affect the delivery of governmental services? (e.g., water, sewer, garbage, fire, police - Verification from local authorities – i.e. fire might be required) Granting the variance does not adversely effect any government services as the water and sewer are private and garage is picked up along the road far from the proposed building.
10. Did the applicant purchase the property with knowledge of the zoning restrictions? No. Since the concrete pad was already in place and the neighbors described that a building used to be on the concrete structure.
11. Could the applicant's predicament feasibly be obtained through some method other than a variance? Not sure. It seems that since a variance to rebuild has been previously granted, maybe it's still good or could be extended.
12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance? Yes, covering the concrete pad structure makes the property safer especially from a slick winter slip and fall environment and it improves the neighborhood by providing a place to park vehicles.


Affidavit

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form.

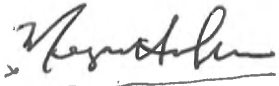

Applicant Mike McBenish,


9/12/18
Date


Property Owner (Signature must be notarized)


9-12-18
Date

Property Owner (Signature must be notarized)


Notary Public exp 10-5-18
9-12-18
Date

***Agent must provide documentation that they are legally representing the property owner.**

****Approval does not invalidate any restrictions and/or covenants that are on the property.**

Application instructions

Please submit the following:

1) **Application Form**

Completed application form with notarized signatures

2) **Fee – non refundable**

Checks only payable to *Franklin County Treasurer*

3) **Covenants or deed restrictions.**

Provide a copy of your deed with any deed restrictions

You can find your deed at:

www.franklincountyohio.gov/recorder

4) **Auditor's Tax Map.**

Provide a map showing the subject property and all land within 500 feet of the property.

You can find the map at:

www.franklincountyohio.gov/auditor

5) **Site map**

Provide a map showing the subject property with the following items:

- For the subject property
 - All property lines
 - Dimensions of the property
 - Road frontage
 - Street right-of-ways
 - Driveways
 - Easements
 - Floodplain areas
 - Location of existing septic/aerator systems and wells
- For all existing and proposed buildings and structures
 - Location of each on the property
 - Location of any proposed addition or expansion
 - Square footage of each
 - Height of each
 - Distance to property lines
- Scale
- North arrow
- Any information relevant to the specific nature of the variance

6) **Proof of utility service**

Provide proof from the provider of your water and wastewater services.

Note: If services are provided by a private or public entity, you must provide a letter verifying that you have service or will have access to it. If you're proposing an on-lot septic system or well, please provide information from the Franklin County Board of Health (or appropriate agency).

Untitled Map

2802 Adams St., Grove City OH 43123

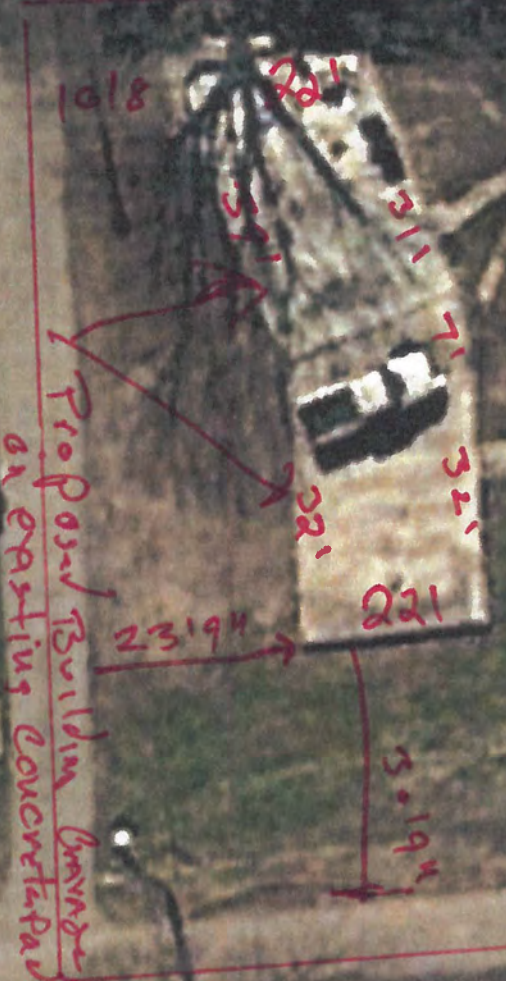
Adams street
Scale 1" = 22'

Leach Field

2802 Adams St

well

RECEIVED
SEP 12 2018
Franklin County Planning Department
Franklin County, OH



Legend
2802 Adams St



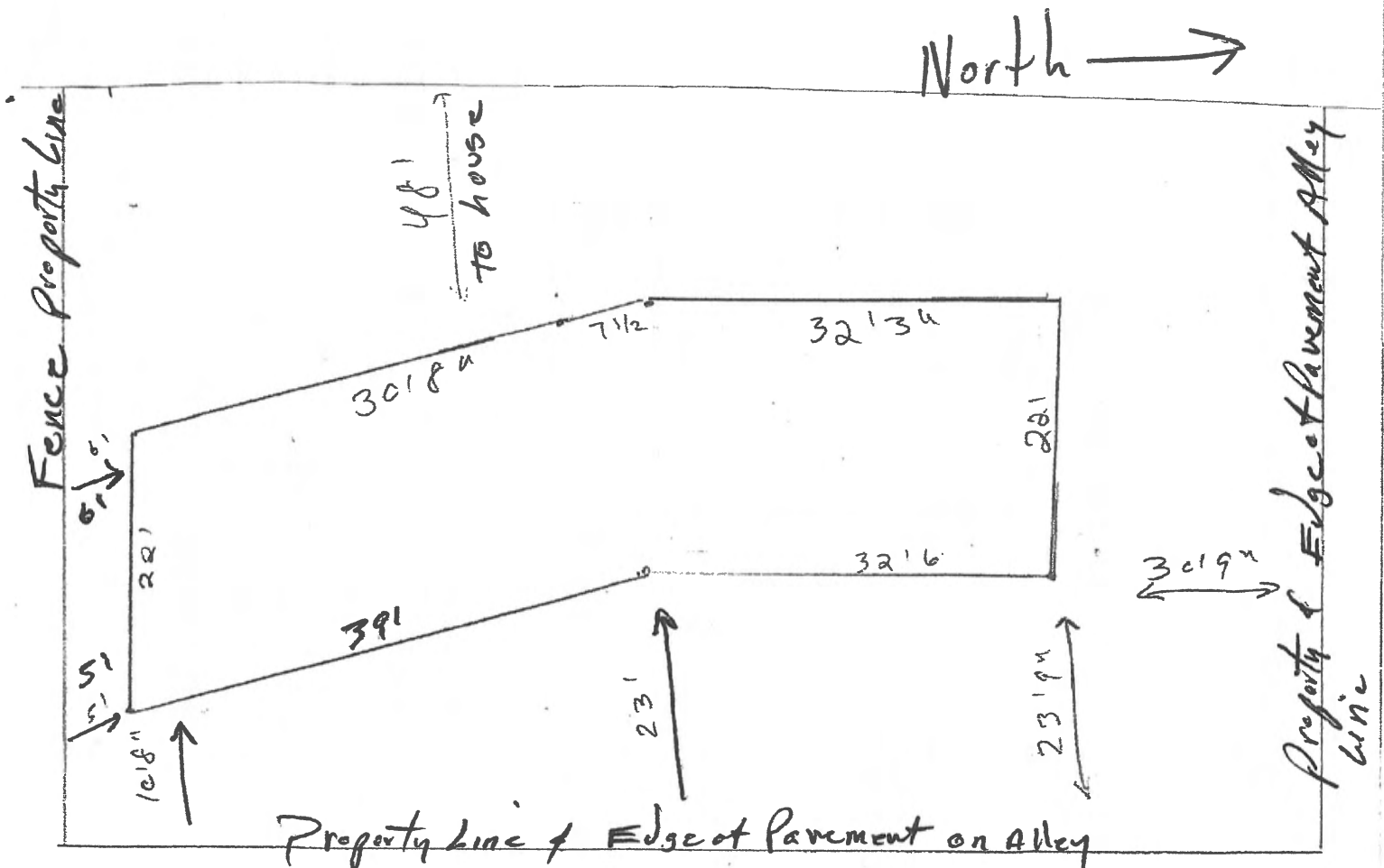
Proposal to build new detached garage/ out building on existing concrete pad.

2802 Adams Street, Grove City, OH 43123

New building will be built on existing concrete pad and with new concrete work done to set L bolts in place and attach seal plate around perimeter to attach new walls and building to.

See detailed construction plans attached.

Below please see existing concrete pad dimensions and distances from property lines.

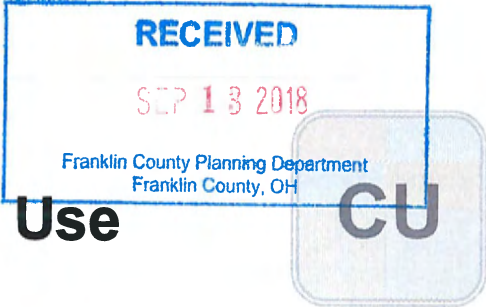




Commissioners
 Marilyn Brown, President
 Paula Brooks
 John O'Grady

Economic Development & Planning Department
 James Schimmer, Director

Application for
Conditional Use
 Revised January 1, 2009



Property Information	
Site Address	7870 OLENTANGY RIVER ROAD
Parcel ID(s)	250-000023-00 & 250-006893-00
Zoning	EXCEPTIONAL USE
Township	SHARON
Acreage	11.17 ACRES
Water Supply	Wastewater Treatment
<input checked="" type="checkbox"/> Public (Central) <input type="checkbox"/> Private (Onsite)	<input checked="" type="checkbox"/> Public (Central) <input type="checkbox"/> Private (Onsite)

Applicant Information	
Name/Company Name	CONTINENTAL REAL ESTATE / JASON HOCKSTOK
Address	150 E. BROAD STREET COLUMBUS, OHIO 43215
Phone #	614-221-1800
Fax #	614-221-6365
Email	jhockstok@continental-realestate.com

Property Owner Information	
Name/Company Name	CONTINENTAL REAL ESTATE / JASON HOCKSTOK
Address	150 E. BROAD STREET COLUMBUS, OHIO 43215
Phone #	614-221-1800
Fax #	614-221-6365
Email	jhockstok@continental-realestate.com

Agent Information (if applicable)	
Name/Company Name	ADVANCED CIVIL DESIGN, INC. / TOM WARNER
Address	422 BEECHER ROAD GAHANNA, OHIO 43230
Phone #	614-428-7750
Fax #	614-428-7755
Email	twarnar@advancedcivildesign.com

Staff Use Only
Case # CU-3920
Date filed: 9/13/18
Fee paid
Receipt #
Received by: BMF
Hearing date: 10/15/18
Zoning Compliance: N/A

See rezoning case ZON-17-04

Document Submission
The following documents must accompany this application:
<input checked="" type="checkbox"/> Completed application
<input checked="" type="checkbox"/> Fee Payment (Checks only)
<input checked="" type="checkbox"/> Auditor's map (8 1/2" x 11")
<input checked="" type="checkbox"/> Site Map (max 11" x 17")
<input checked="" type="checkbox"/> Covenants and deed
<input checked="" type="checkbox"/> Notarized signatures
<input checked="" type="checkbox"/> Proof of water & waste water supply
Please see the Application Instructions for complete details

Conditional Use(s) Requested			
Section	610.06, ITEM 1 (610.04 CONDITIONAL USES IN FLOODWAY; ITEM 2)		
Description	CONSTRUCTION OF UNDERGROUND WATER QUALITY STORMWATER STORAGE CHAMBERS, WATER MAIN & SANITARY SEWER SERVICE		
Section	610.06, ITEM #2		
Description	CONSTRUCTION OF RESIDENTIAL STRUCTURES		
Section	610.06, ITEM #4	Section	610.06 ITEM #7
Description	CONSTRUCTION OF PARKING & LOADING AREAS	Description	PLACEMENT OF PERMANENT FILL

Describe the project

THE REDEVELOPMENT SITE IS AN EXISTING 11.17 ACRE SITE CONSISTING OF A MIX OF RETAIL, OFFICE AND GENERAL COMMERCIAL PROPERTIES. THE PROPOSED PROJECT WILL RECONSTRUCT THE EXISTING RETAIL CENTER AND CONSTRUCT A NEW SENIOR LIVING FACILITY IN THE SOUTHERN PORTION OF THE PARCEL. THE REDEVELOPMENT WORK WILL PRIMARILY INVOLVE RENOVATION OF THE EXISTING RETAIL STORE FRONTS, NEW SIDEWALKS, CURBS AND LANDSCAPING AND ASPHALT OVERLAY TO REJUVENATE THE EXISTING PARKING AREAS. MOST OF THE RETAIL REDEVELOPMENT WORK WILL NOT ALTER THE EXISTING ON-SITE GRADING CONDITIONS. THE SENIOR LIVING FACILITY IS A NEW CONSTRUCTION PROJECT AND WILL INVOLVE AREAS OF REGRADING AND NEW UTILITIES IN THE CONDITIONAL USE AREAS.

NOTE: To receive a conditional use, you must meet all the conditional use requirements in Section 815.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a conditional use. If you don't answer the questions, we will consider your application incomplete.

1. Proposed Use or Development of the Land:

THE DEVELOPMENT SITE IS ZONED EXCEPTIONAL USE AND WILL BE REDEVELOPED UNDER THAT SPECIFIC TEXT. THE REDEVELOPMENT WORK WILL PRIMARILY INVOLVE RENOVATION OF THE EXISTING RETAIL STORE FRONTS, NEW SIDEWALKS, CURBS AND LANDSCAPING AND ASPHALT OVERLAY TO REJUVENATE THE EXISTING PARKING AREAS. MOST OF THE RETAIL REDEVELOPMENT WORK WILL NOT ALTER THE EXISTING ON-SITE GRADING CONDITIONS. THE SENIOR LIVING FACILITY IS A NEW CONSTRUCTION PROJECT AND WILL INVOLVE AREAS OF REGRADING AND NEW UTILITIES IN THE CONDITIONAL USE AREAS.

2. How will the proposed development relate to the existing and probable future land use character of the area:

OLENTANGY VALLEY CENTER WAS CONSTRUCTED IN THE 1970'S AND IS STARTING TO EXHIBIT SIGNS OF AGE IN SETTLING PAVEMENTS AND REACHING DESIGN LIFE SPANS OF SOME OF THE EXISTING ELEMENTS. THIS REDEVELOPMENT WILL BRING SITE AMENITIES AND UTILITY SYSTEMS UP TO CURRENT CODE WHILE MAINTAINING THE SAME GENERAL USAGE CHARACTERISTICS. THE SENIOR LIVING WILL BLEND WELL WITH THE RESIDENTIAL/COMMERCIAL NATURE OF THE ADJACENT DEVELOPMENTS.

3. Will the Conditional Use be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of the same area?

THE AREA AROUND THE EXISTING RETAIL REDEVELOPMENT PRIMARILY INVOLVES ASPHALT OVERLAY ON EXISTING PAVEMENTS WITH LITTLE TO NO CHANGE FROM EXISTING CONDITIONS. THE GRADING DESIGN OF THE NEW CONSTRUCTION AROUND THE PROPOSED SENIOR LIVING FACILITY HAS BEEN CAREFULLY BALANCED BETWEEN SETTING A PROPER FINISHED FLOOR HEIGHT ABOVE THE BASE FLOOD ELEVATION AND MINIMIZING THE AMOUNT OF GRADE CHANGE IN THE PARKING AND MANEUVERING AREAS SERVING THE FACILITY.

4. Will the Conditional Use be hazardous or disturbing to existing or future neighboring uses?

AS PREVIOUSLY NOTED, THE NEW CONSTRUCTION AROUND THE SENIOR LIVING FACILITY WILL ALTER SOME OF THE EXISTING GROUND ELEVATIONS. BASED ON STUDY OF THE LIMITS AND AMOUNT OF CHANGE WITHIN THE CONDITIONAL USE AREAS, THE PROPOSED DEVELOPMENT WILL NOT CREATE ANY HAZARDS NOR DISTURB EXISTING OR FUTURE NEIGHBORHOOD USES.

5. Will the Conditional Use be detrimental to property in the immediate vicinity or to the community as a whole?

THE PROPOSED DEVELOPMENT WILL NOT BE DETRIMENTAL TO ANY PROPERTY IN THE VICINITY NOR THE COMMUNITY AS AMOUNT OF CHANGE WITHIN THE CONDITIONAL USE AREAS IS NEGLIBLE.

6. Will the Conditional Use be served adequately by essential public facility and services?

THE ENTIRE PROJECT AREA IS SERVICED BY FRANKLIN COUNTY FOR PUBLIC SANITARY SEWER. AQUA OHIO IS A PRIVATE WATER COMPANY THAT PROVIDES POTABLE WATER FOR THE DEVELOPMENT. BOTH OF THESE SYSTEMS INCLUDE WATERTIGHT CONSTRUCTION MATERIALS AND CREATE NO CONCERNS ON PORTIONS LOCATED OR BEING CONSTRUCTED WITHIN THE CONDITIONAL USE AREAS. STORMWATER CONTROLS ARE BEING ADDRESSED BY THE INSTALLATION OF TWO NEW UNDERGROUND STORAGE CHAMBER BEDS. THESE CHAMBERS ONLY ADDRESS WATER QUALITY AND QUANTITY PER THE REQUIREMENTS. THEIR PLACEMENT IN THE CONDITIONAL USE AREA WILL HAVE NO IMPACT ON THE FUNCTION AND PURPOSE FOR THE DEVELOPMENT. TRAPPED DEBRIS WITHIN THE CHAMBERS MAY SUSPEND IN HIGH WATER EVENT BUT WILL NOT EXIT THE CHAMBERS DUE TO THEIR ENCLOSED DESIGN.

7. How will the proposal meet the development standards of that specific district?

THE DEVELOPMENT STANDARDS WERE CAREFULLY FOLLOWED UPON CREATING THE SITE LAYOUT AND GRADING DESIGN IN ORDER TO MINIMIZE THE LEVEL OF CONDITIONAL USE ITEMS BEING REQUESTED,

8. Could the applicant's predicament be feasibly obtained through some method other than a conditional use?

THE FEASIBILITY OF THE DEVELOPMENT RELIES ON THE AMOUNT OF AREA AVAILABLE FOR BUILDING SQUARE FOOTAGE. ALTERATIONS TO THE DESIGN TO RESCIND THE CONDITIONAL USE REQUEST WOULD ALTER THE AVAILABLE BUILDING AREA TO A POINT WHERE THE PROJECT WOULD NOT BE CONCEIVABLE.

9. Would the spirit and intent behind the zoning requirements be observed and would substantial justice be done by granting the conditional use?

THE DEVELOPMENT STANDARDS OF THE CONDITIONAL USES ARE BEING CLOSELY ADHERED TO AND MEET THE SPIRIT AND INENT OF THOSE REQUIREMENTS.

10. Would the conditional use adversely affect the delivery of governmental services (e.g., water, sewer, garbage, fire, police).

IN A 100 YEAR RIVER EVENT PORTIONS OF THE PARKING AND MANUEVERABILITY ZONES WOULD EXPERIENCE DEPTHS OF PONDING WATER NO MORE THAN 17-INCHES CONCENTRATED AT THE STORM DRAIN SUMP LOCATIONS. THE DURATION OF SUCH AN RIVER STAGE EVENT WILL VARY BUT COULD EFFECT DELIVERY OF SERVICES BUT NOT TO THE LEVEL OF BEING ADVERSELY AFFECTED.

11. Did the applicant purchase the property with knowledge of the zoning restrictions?

AFTER STUDYING THE VIABILITY OF THE DEVELOPMENT IMPACT AND THE UNEDRSTANDING SUCCESS OF SIMILAR CONDITIONAL USE REQUESTS, THE APPLICANT PROCEEDED WITH THE PURCHASE.

Conditional Use-Expanded Home Occupation (Only)

The following questions must be addressed when applying for a Conditional Use from Section 511.03 (Conditional Use Home Occupation) of the Franklin County Zoning Resolution. If these questions are not answered, the application will be considered incomplete.

1. Enclose all details regarding the day-to-day operations of the home occupation (type of business, hours of operation, designated parking areas, etc.).

Blank lines for providing details regarding the day-to-day operations of the home occupation.

Case #


CU-3920

Affidavit

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form.

CONTINENTAL HILLS, LLC
Applicant

Date

By: 
Property Owner (Signature must be notarized)
Franklin E. Kass, Manager

September 12, 2018
Date

Property Owner (Signature must be notarized)

Date

STATE OF OHIO
COUNTY OF FRANKLIN

The foregoing instrument was acknowledged before me this 12th day of September, 2018 by Franklin E. Kass, Manager of CONTINENTAL HILLS, LLC, an Ohio limited liability company, on behalf of the company.


Notary Public



NANNETTE C. BUEL
Notary Public, State of Ohio
My Commission Expires 10-07-19

***Agent must provide documentation that they are legally representing the property owner.**

****Approval does not invalidate any restrictions and/or covenants that are on the property.**

SHARON TWP., FRANKLIN COUNTY, OHIO CONDITIONAL USE APPLICATION FOR OLENTANGY VALLEY CENTER 2018

DEVELOPER
CONTINENTAL REAL ESTATE



CONTINENTAL REAL ESTATE COMPANIES
180 E. 20th Street, Columbus, Ohio 43215
614.221.1800 Office 614.221.4242 Fax
www.continentalrealestate.com


JASON HOCKSTOK
JHOCKSTOK@CONTINENTAL-REALESTATE.COM

ENGINEER
ADVANCED CIVIL DESIGN, INC.



422 Bremer Road
Columbus, OH 43220
614.898.7700
www.advancedcivil.com

ARCHITECT
NEW AVENUE



4740 REED ROAD, SUITE 201
COLUMBUS, OH 43220
614-354-3055

ARCHITECT
NEW AVENUE



4740 REED ROAD, SUITE 201
COLUMBUS, OH 43220
614-354-3055

BRENT RACER
BRACER@NEW AVENUE.NET

ARCHITECT
pH7



K. Blake Williams
K.A. Associate
128 W. Westerville Blvd.
Suite 150
Columbus, OH 43218
614.851.2555 ext. 103
614.851.2559
williamsk@pH7architects.com
www.pH7architects.com

LANDSCAPE ARCHITECT
EDGE



PLANNING • LANDSCAPE ARCHITECTURE • VIDEO DESIGN

130 WEST SPRING STREET, SUITE 350
COLUMBUS, OH 43215
614-466-3343

RYAN PEARSON
RPEARSON@EDGE.LA.COM

BENCHMARKS
BASED ON FRANKLIN COUNTY MONUMENTS (NAVD 1988 DATUM)

Source BM 1 - Franklin County Survey Control Monument "7005 6640" - Aluminum cap in concrete monument at the centerline intersection of Clubview Blvd. and Olentangy River Road, access through Franklin County road monument box.
Elevation = 1020.913

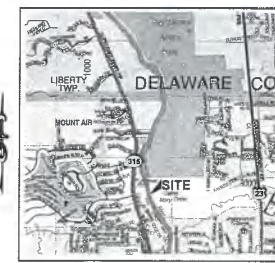
Site BM 1 - Iron pin found 4.4 feet east of the east edge of pavement of Olentangy River Road, directly in front of an existing fire hydrant and approximately 26.7 feet S of an existing mailbox.
Elevation = 1023.59

Site BM 2 - Iron pin found 12.6 feet west of the west edge of pavement of Olentangy River Road, 90 feet south of the south end of the western hoodwall of the existing box culvert at the ditch crowing under Olentangy River Road.
Elevation = 1020.58

Site BM 3 - Iron pin found 6 feet east of the east edge of pavement of Olentangy River Road, and approximately 11 feet north of an existing fire hydrant.
Elevation = 1023.59



INDEX MAP
SCALE: 1"=100'



LOCATION / DISTRICT MAP
NO SCALE

DEVELOPMENT STANDARDS:
THE LAND IS CURRENTLY ZONED EXCEPTIONAL USE.

DRAINAGE / OPEN SPACE:
STORMWATER RETENTION OR RETENTION OF 100 YEAR STORM EVENT IS NOT REQUIRED FOR THE PROJECT DUE TO THE PROXIMITY OF THE OLENTANGY RIVER (4TH ORDER STREAM). WATER QUALITY STORAGE IS REQUIRED (40% REDEVELOPMENT RATE) AND PROVIDED IN ACCORDANCE TO WATER AND OHIO EPA BRUNNEN REQUIREMENTS VIA UNDERGROUND WATER QUALITY STORAGE CHAMBERS.

INFRASTRUCTURE:
ALL DEVELOPMENT IS TO BE SERVED BY CENTRAL SEWER AND FRANKLIN COUNTY SEWER RESPECTIVELY AND WATER SERVICE FROM AQUA OHIO WATER.

INDEX OF DRAWINGS

TITLE SHEET	1
SITE PLAN (NORTH)	2
SITE PLAN (SOUTH)	3
GRADING PLAN (FLOODPLAIN AREAS)	4
CROSS-SECTIONS	5

SITE DATA TABLE

TOTAL SITE AREA:	11.17 AC
TOTAL DISTURBED AREA:	7.46 AC
PRE-DEVELOPED IMPERVIOUS AREA:	4.50 AC
POST-DEVELOPED IMPERVIOUS AREA:	4.70 AC

RECEIVED
SEP 13 2018
Franklin County Planning Department
Franklin County, OH
CU-3920

64513 9/13/18
761 9/13/18

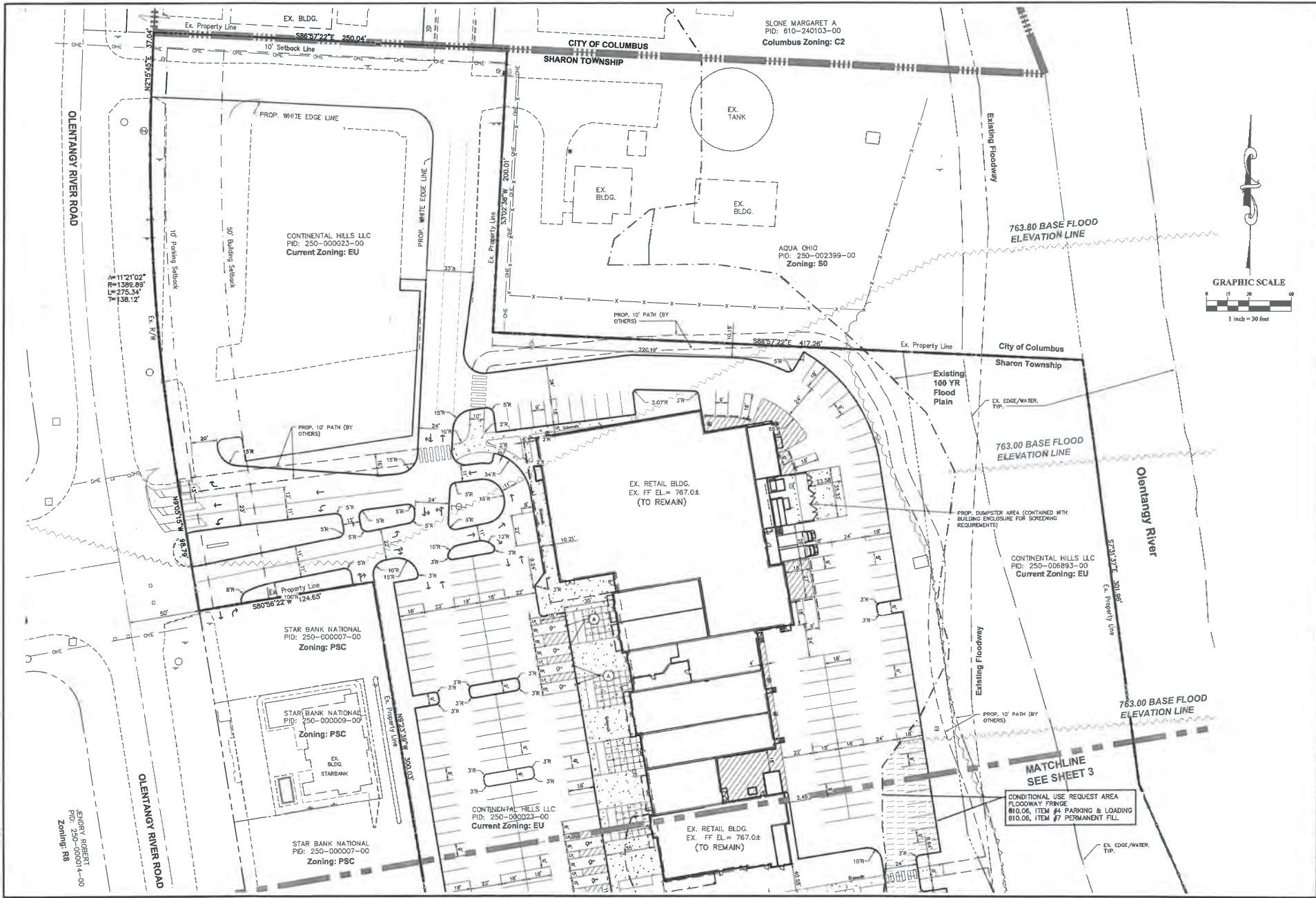
SHARON TWP./FRANKLIN COUNTY, OHIO
OLENTANGY VALLEY CENTER
CONDITIONAL USE APPLICATION
FOR
PROP. SENIOR LIVING FACILITY & EX. RETAIL RENOVATION
TITLE SHEET

PLAN PREPARED BY
ADVANCED CIVIL DESIGN
422 Bremer Road
Columbus, Ohio 43220
614.898.7700
www.advancedcivil.com

PLAN PREPARED BY
CONTINENTAL REAL ESTATE COMPANIES
180 E. 20th Street
Columbus, Ohio 43215
614.221.1800 Office 614.221.4242 Fax
www.continentalrealestate.com

SHARON TWP./FRANKLIN COUNTY, OHIO
OLENTANGY VALLEY CENTER
CONDITIONAL USE APPLICATION
FOR
PROP. SENIOR LIVING FACILITY & EX. RETAIL RENOVATION
TITLE SHEET

Date: 09/12/2018
Scale: 1"=100'
Drawn By: DAS Checked By: MHR
Project Number: 17-0072-11
Drawing Number: 1/5



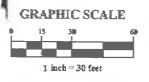
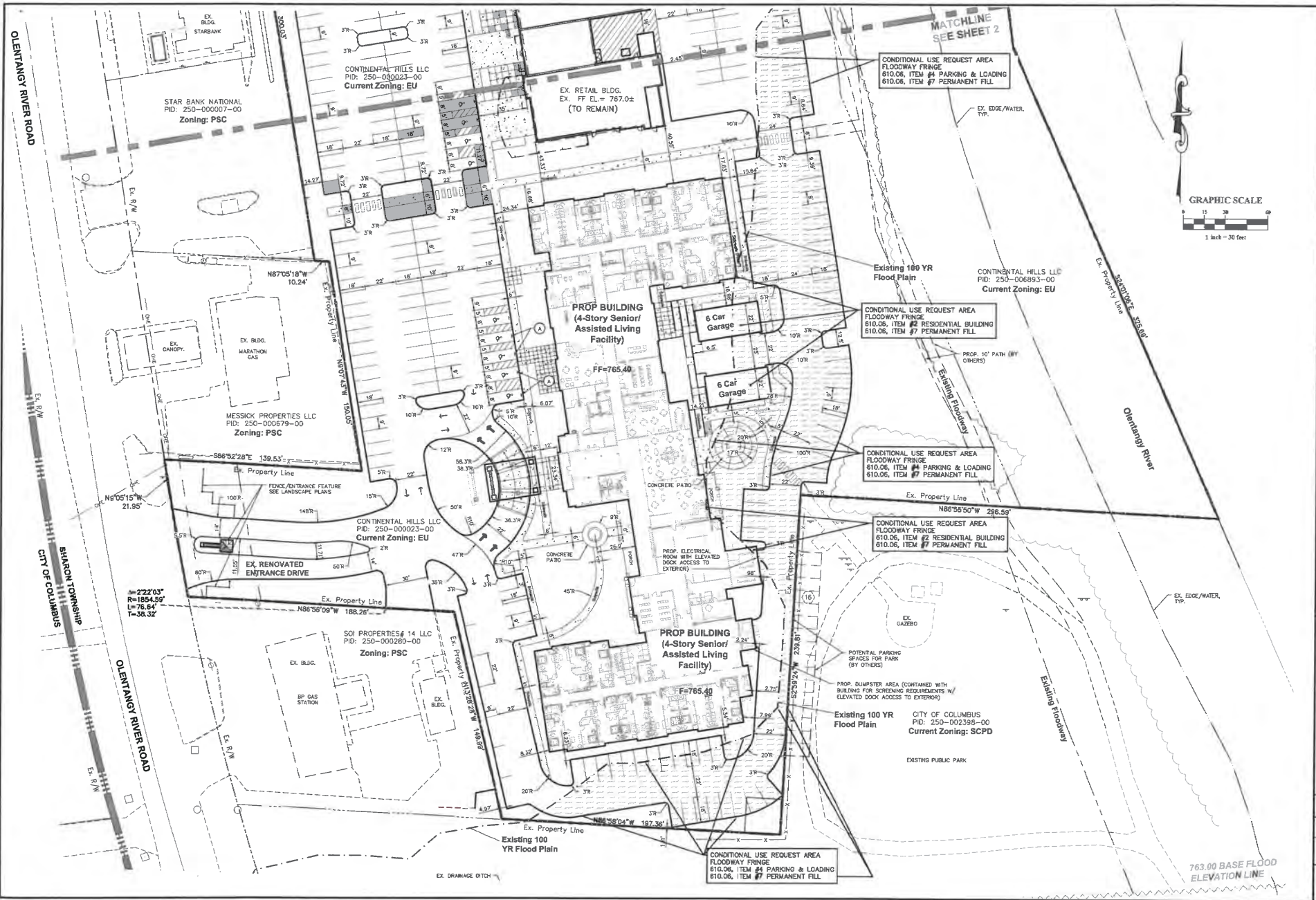
PLAN PREPARED BY:
ADVANCED CIVIL ENGINEERING
432 South Main
Columbus, Ohio 43260
PH: 614-458-7760
FAX: 614-458-7760

PLAN PREPARED FOR:
CONTINENTAL REAL ESTATE COMPANIES
100 E. Broad Street, Columbus, Ohio 43215
614-458-7760
www.continentalreal.com

SHARON TWP./FRANKLIN COUNTY, OHIO
OLENTANGY VALLEY CENTER
CONDITIONAL USE APPLICATION
FOR
PROP. SENIOR LIVING FACILITY & EX. RETAIL RENOVATION
SITE PLAN (NORTH)

Issue Dates: _____
Date: 06/12/2016
Scale: 1"=30'

Drawn By: DAS
Checked By: TWP
Project Number: 17-0072-11
Drawing Number: 2/5



MATCHLINE
SEE SHEET 2

PLAN PREPARED BY:

422 Beeler Road
Columbus, Ohio 43220
Tel: 614.428.7720
Fax: 614.428.7725
www.advancedcivil.com

PLAN PREPARED FOR:

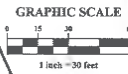
CONTINENTAL REAL ESTATE COMPANIES
1901 Broadview
Columbus, Ohio 43213
Tel: 614.428.7720
Fax: 614.428.7725
www.continentalreal.com

SHARON TWP./FRANKLIN COUNTY, OHIO
OLENTANGY VALLEY CENTER
CONDITIONAL USE APPLICATION
FOR
PROP. SENIOR LIVING FACILITY & EX. RETAIL RENOVATION
SITE PLAN (SOUTH)

Name: []
Date: 09/12/2018
Scale: 1"=30'

Drawn By:	Checked By:
DAS	TW
Project Number:	
17-0072-11	
Drawing Number:	
3 / 5	

763.00 BASE FLOOD ELEVATION LINE



- LEGEND**
- 910 --- EXISTING CONTOUR
 - - - 913 - - - PROPOSED CONTOUR
 - TO=785.00 TOP OF CASTING ELEVATION
 - X TO 785.20 TOP OF CURB ELEVATION
 - X 785.00 TOP OF PAVEMENT OR GROUND SURFACE
 - + 785.20 Ex EXISTING TOP OF PAVEMENT OR GROUND SURFACE
 - 15" ST PROPOSED STORM SEWER
 - SA PROPOSED SANITARY SERVICE
 - WA PROPOSED WATER SERVICE
 - Surface Flow Arrow SURFACE FLOW ARROW
 - Major Flood Routing Path (Greater than 100 YR EVENT)

412 Blaine Road
Gahanna, OH 43206
ph 614-428-7200
fax 614-428-7201

ADVANCED
CITY, STATE & FEDERAL

PLANNING & ENGINEERING

CONTINENTAL REAL ESTATE COMPANIES
150 E. Broad Street, Columbus, Ohio 43215
www.continentalre.com
www.continentalre.com

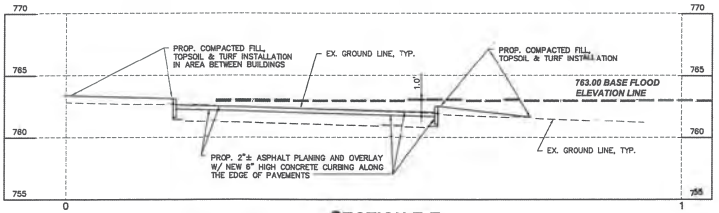
SHARON TWP., FRANKLIN COUNTY, OHIO
OLENTANGY VALLEY CENTER
CONDITIONAL USE APPLICATION
FOR
PROP. SENIOR LIVING FACILITY & EX. RETAIL RENOVATION
GRADING PLAN (FLOODPLAIN AREAS)

Date: 09/2/2016
Scale: 1"=30'

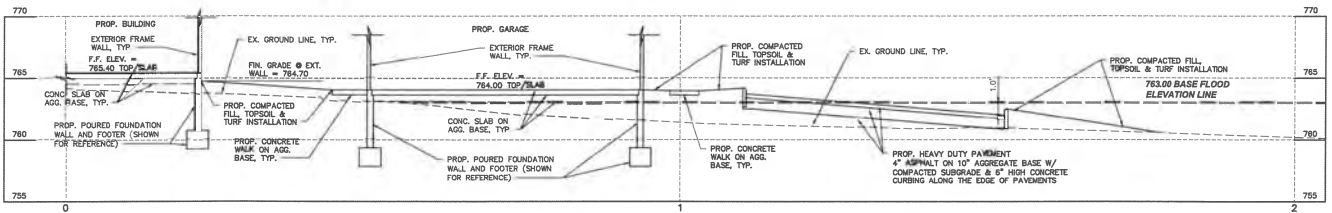
Drawn By: DAS Checked By: TW

Project Number:
17-0072-11

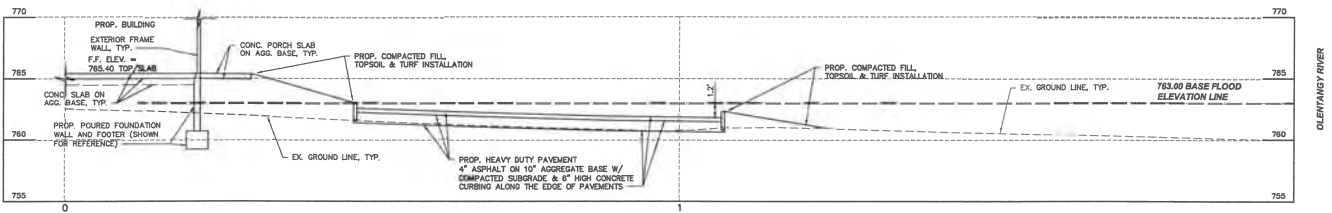
Drawing Number:
4/5



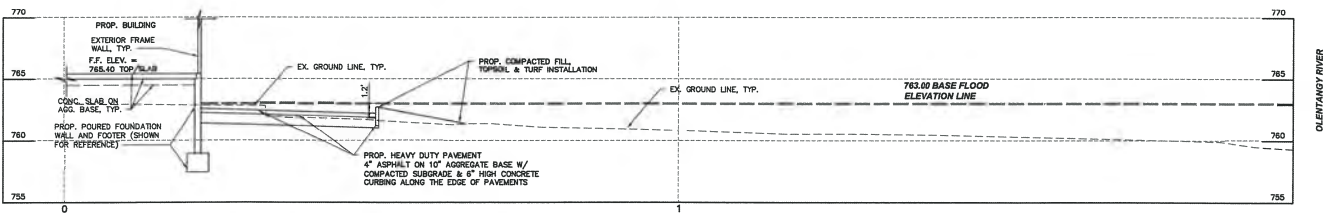
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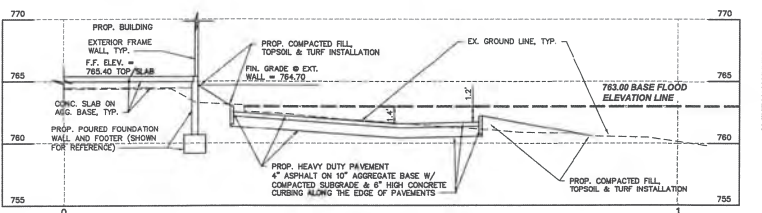
SECTION D-D



SECTION C-C



SECTION B-B



SECTION A-A

PLANS PREPARED BY:

ADVANCED
CIVIL DESIGN

437 Maple Run
Columbus, OH 43228
Tel: 614.433.7700
Fax: 614.433.7702

PLANS PREPARED FOR:

CENTRAL VALLEY ESTATES
190 E. Broad Street, Columbus, OH 43213
614.231.1800 Office 614.231.1800 Fax
www.centralvalleyestates.com

SHARON TWP./FRANKLIN COUNTY, OHIO
OLENTANGY VALLEY CENTER
CONDITIONAL USE APPLICATION
FOR
PROP. SENIOR LIVING FACILITY & EX. RETAIL RENOVATION
CROSS-SECTIONS

Issue:	01
Date:	09/12/2016
Scale:	1"=40' & 1"=8' & 1"=8"
Drawn By:	Checked By:
DAS	TH
Project Number:	
17-0072-11	
Drawing Number:	
5/5	



Application for Zoning Variance

Revised January 1, 2009



Commissioners
 Marilyn Brown, President
 Paula Brooks
 John O'Grady

Economic Development & Planning Department
 James Schlimmer, Director

Property Information	
Site Address 1661 Rail Court North	
Parcel ID(s) 150-002698	Zoning General Industrial
Township Hamilton	Acreage 35.762
Water Supply <input checked="" type="checkbox"/> Public (Central) <input type="checkbox"/> Private (Onsite)	Wastewater Treatment <input checked="" type="checkbox"/> Public (Central) <input type="checkbox"/> Private (Onsite)

Applicant Information	
Name/Company Name James Whitacre, Advanced Civil Design, Inc.	
Address 422 Beecher Road Gahanna, OH 43230	
Phone # 614-428-7742	Fax # 614-428-7755
Email jwhitacre@advancedcivildesign.com	

Property Owner Information	
Name/Company Name Ms. Kelly Stevens-Curly / Cabot Properties Inc	
Address One Beacon Street Suite 1700 Boston MA 02108	
Phone # (617) 305-6127	Fax #
Email kstevens-curley@cabotprop.com	

Agent Information (if applicable)	
Name/Company Name James Whitacre, Advanced Civil Design, Inc.	
Address 422 Beecher Road Gahanna, OH 43230	
Phone # 614-428-7742	Fax # 614-428-7755
Email jwhitacre@advancedcivildesign.com	

Staff Use Only
Case # VA-3921
Date filed: 9-6-18
Fee paid 650.00
Receipt # 18-03353
Received by: Phil Ashear
Hearing date: 10-15-18
Zoning Compliance: N/A

Document Submission
The following documents must accompany this application:
<input checked="" type="checkbox"/> Completed application
<input checked="" type="checkbox"/> Fee Payment (Checks only)
<input checked="" type="checkbox"/> Auditor's map (8 1/2" x 11")
<input checked="" type="checkbox"/> Site Map (max 11" x 17")
<input checked="" type="checkbox"/> Covenants and deed
<input checked="" type="checkbox"/> Notarized signatures
<input checked="" type="checkbox"/> Proof of water & waste water supply
Please see the Application Instructions for complete details

Case #
3921

Variance(s) Requested	
Section	501.012 - Height
Description	Request a fence height of eight (8) feet
Section	501.024 (b) - Fence Materials
Description	Request chain link fence be permitted between and street and principal structure.
Section	501.013 - Electric and Barbed Wire Fences
Description	Request barbed wire be permitted on top of the eight foot fence.

Describe the project
Tenant improvement in an existing warehouse that requires fenced security around the truck courts
on the north and south side of the building.

NOTE: To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.
Due to the large amount of inventory, trucks parked in the dock area, quantity
_____ of access points the tenant must have secure dock areas

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.
Warehouse truck court are commonly fenced for security purposes, but since this truck court faces a
_____ public road; it is being limited to a fence that will serve no security measures.

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.
It is the nature of criminal activity that necessitates the securing of the perimeter of this building and not the
_____ actions of the applicant.

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

A majority of users of this size warehouse require secure truck courts and fencing the truck court is not considered a special privileged.

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

This property is currently surrounded by all rural land and Rickenbacker Airport, neither of which would be adversely affected. The Airport currently surrounded by similar fencing being for on this site.

6. Can there be any beneficial use of the property without the variance?

The user of this property has to be able to secure this property due to the current remoteness of the property, large amounts of inventory and the amount of opening in the building that can be breached.

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

Raise 1,025' from allowed 3.5' to 8' and add barbed wire at the top.

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

Farmland and Airport will not be adversely affected by the variance. Airport has approved planned fence.

9. How would the variance adversely affect the delivery of governmental services?

(e.g., water, sewer, garbage, fire, police - Verification from local authorities – i.e. fire might be required)

Water and sewer already serve the building. Police and fire are both familiar with similar fencing occurring in the district.

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

Owner had no knowledge of this restriction and never would imagine that they would not be allowed to secure the perimeter of the building.

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

No other method of securing the perimeter of the building has come to mind.

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?


Perimeter of warehouse must be secured, since they are subject to many attempted break ins. It is merely the juxtaposition of this building to the public way that is inhibiting the owner ability to secure his property.

Affidavit

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form.

Applicant 

Date 9/4/18

Property Owner (Signature must be notarized) *next page* 

Date 9/5/18

Property Owner (Signature must be notarized)

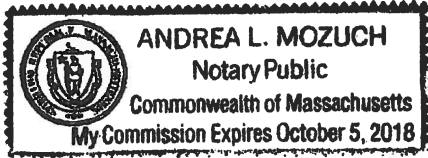
Date

***Agent must provide documentation that they are legally representing the property owner.**

****Approval does not invalidate any restrictions and/or covenants that are on the property.**

COMMONWEALTH OF MASSACHUSETTS)
) SS:
COUNTY OF SUFFOLK)

On this 5th day of September 2018, before me, the undersigned notary public, personally appeared, Kelly J. Curley, proved to me through satisfactory evidence of identification, which was personally known, to be the person whose name is signed on the preceding document, and acknowledged to me than she signed it voluntarily for its stated purpose.



Andrea L. Mozuch
Notary Public Andrea L. MOZUCH
My Commission Expires 10/05/18

Application instructions

Please submit the following:

1) **Application Form**

Completed application form with notarized signatures

2) **Fee – non refundable**

Checks only payable to *Franklin County Treasurer*

3) **Covenants or deed restrictions.**

Provide a copy of your deed with any deed restrictions

You can find your deed at:

www.franklincountyohio.gov/recorder

4) **Auditor's Tax Map.**

Provide a map showing the subject property and all land within 500 feet of the property.

You can find the map at:

www.franklincountyohio.gov/auditor

5) **Site map**

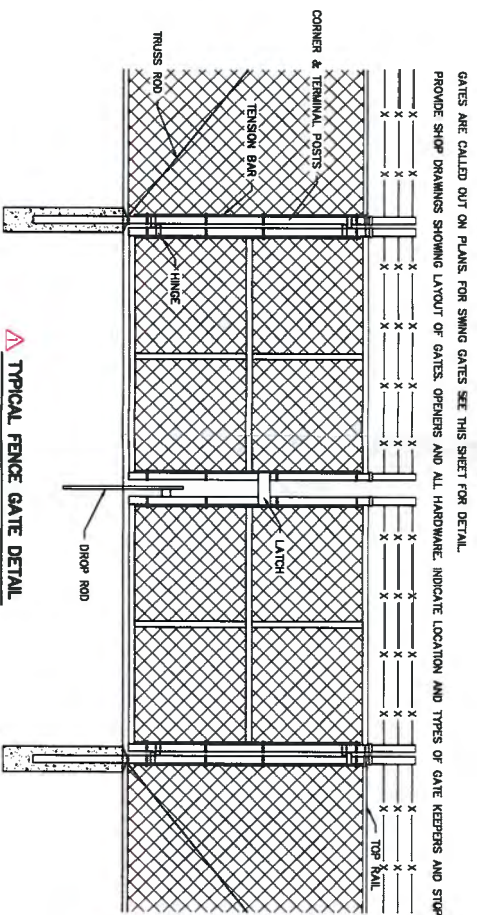
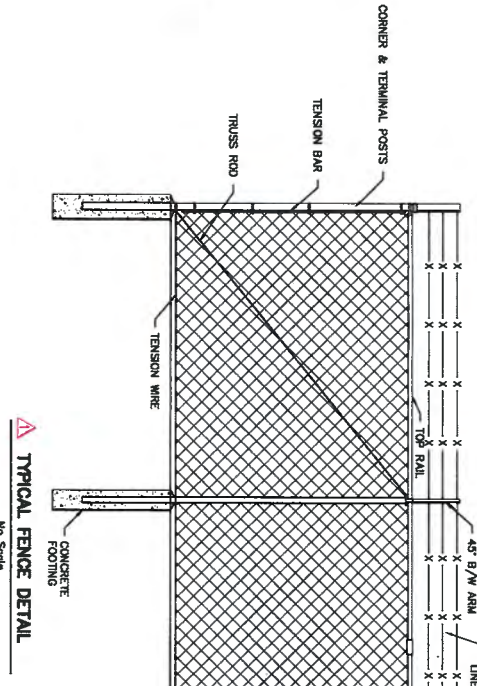
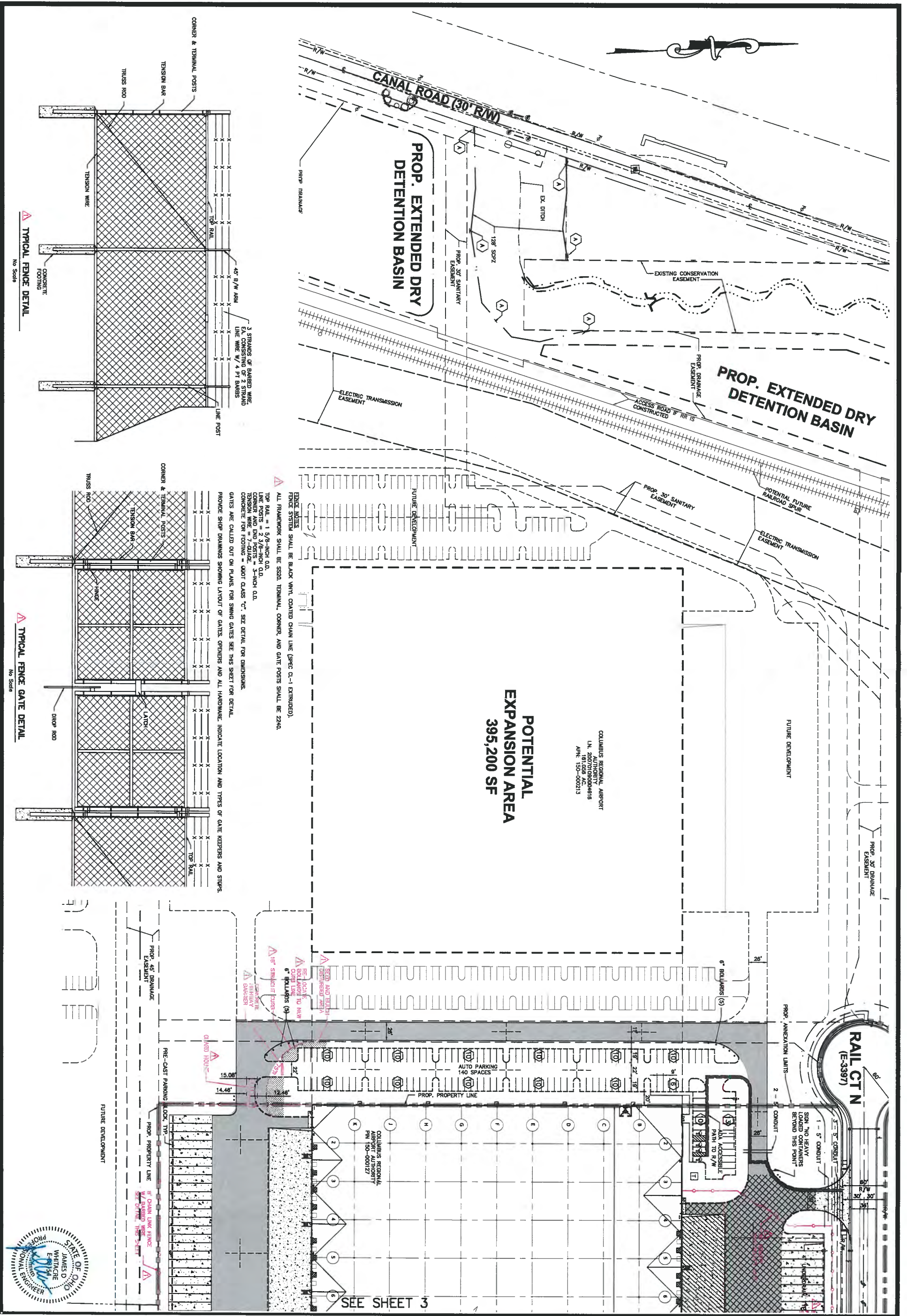
Provide a map showing the subject property with the following items:

- For the subject property
 - All property lines
 - Dimensions of the property
 - Road frontage
 - Street right-of-ways
 - Driveways
 - Easements
 - Floodplain areas
 - Location of existing septic/aerator systems and wells
- For all existing and proposed buildings and structures
 - Location of each on the property
 - Location of any proposed addition or expansion
 - Square footage of each
 - Height of each
 - Distance to property lines
- Scale
- North arrow
- Any information relevant to the specific nature of the variance

6) **Proof of utility service**

Provide proof from the provider of your water and wastewater services.

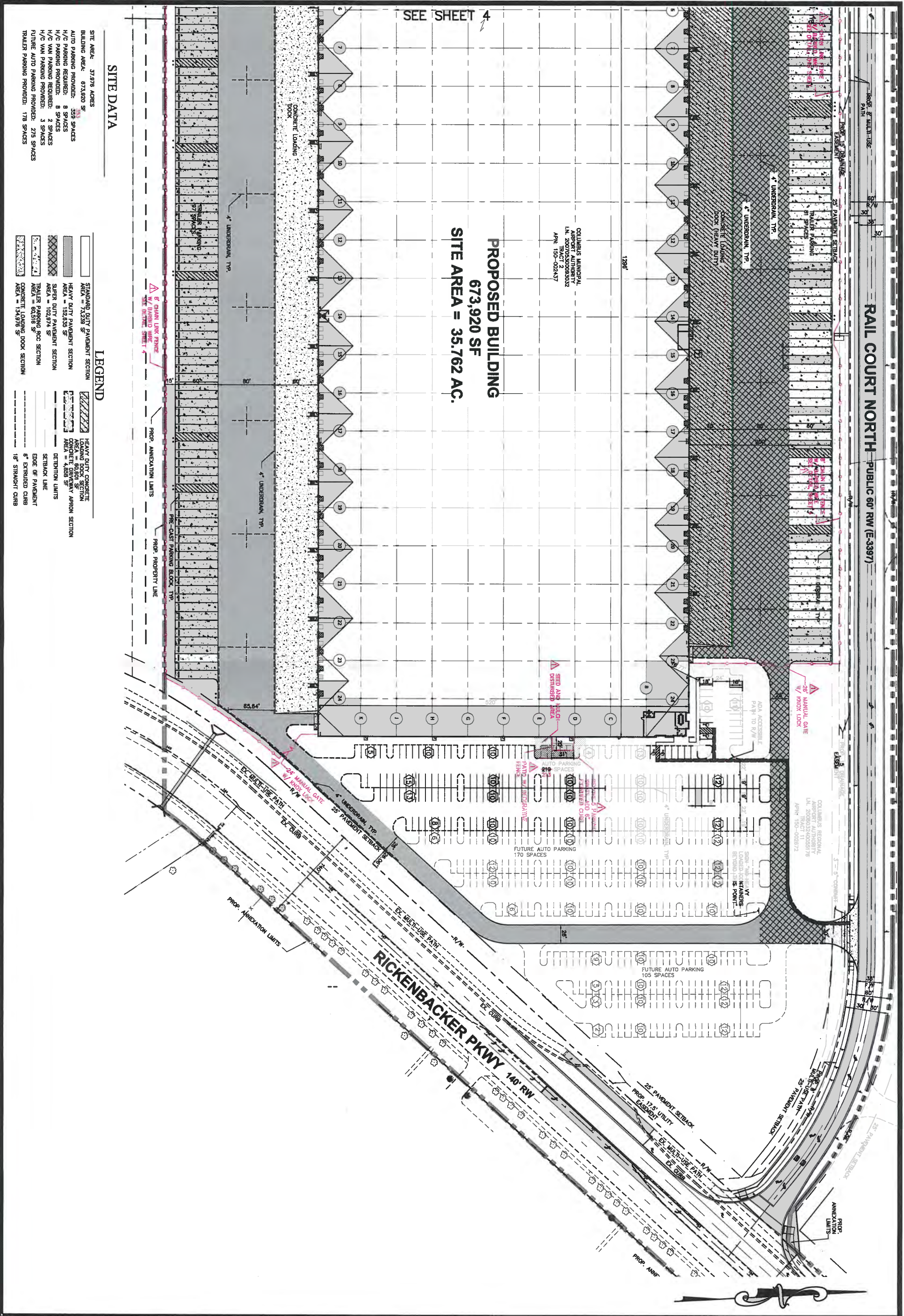
Note: If services are provided by a private or public entity, you must provide a letter verifying that you have service or will have access to it. If you're proposing an on-lot septic system or well, please provide information from the Franklin County Board of Health (or appropriate agency).



FENCE NOTES
 FENCE SYSTEM SHALL BE BLACK VINYL COATED CHAIN LINK (SPEC Q-1 EXTENDED).
 ALL FRAMEWORK SHALL BE S20. TERMINAL, CORNER, AND GATE POSTS SHALL BE 2240.
 TOP RAIL = 1 9/8-INCH O.D.
 LINE POSTS = 2 3/8-INCH O.D.
 TENSION WIRE = 7-GAUGE
 CONCRETE FOR FOOTING = QUOT CLASS "C". SEE DETAIL FOR DIMENSIONS.
 GATES ARE CALLED OUT ON PLANS FOR SWING GATES SEE THIS SHEET FOR DETAIL.
 PROVIDE SHOP DRAWINGS SHOWING LAYOUT OF GATES, OPENERS AND ALL HARDWARE. INDICATE LOCATION AND TYPES OF GATE KEEPERS AND STOPS.



RICKENBACKER GLOBAL LOGISTICS FRANKLIN COUNTY ZONING COMPLIANCE PLAN FOR BUILDING 674 SITE PLAN	Scale: 1" = 60' Date: 05/05/17 Drawn By: JLB Checked By: JDW	Issue Dates: 05/08/17: BUILDING PERMIT SET 07/23/17: REVISIONS FOR TENANT IMPROVEMENTS	422 Beecher Road Gahanna, Ohio 43230 ph 614.428.7750 fax 614.428.7755	DUKEREALTY.COM 43017 614.428.8000 614.428.8000
	Drawing Number: 4 / 18	Date Ready Job Number: DRCCXXA-021 A/E Job Number: 17-0075-08		



SITE DATA

SITE AREA: 37,978 ACRES
 BUILDING AREA: 673,920 SF
 AUTO PARKING PROVIDED: 339 SPACES
 1/2 PARKING REQUIRED: 8 SPACES
 1/2 VAN PARKING PROVIDED: 2 SPACES
 1/2 VAN PARKING REQUIRED: 3 SPACES
 TRAILER AUTO PARKING PROVIDED: 275 SPACES
 TRAILER PARKING PROVIDED: 178 SPACES

LEGEND

- | | | | |
|--|----------------------------------|--|---|
| | STANDARD DUTY PAVEMENT SECTION | | HEAVY DUTY CONCRETE AREA = 60,820 SF |
| | HEAVY DUTY PAVEMENT SECTION | | CONCRETE DRIVEWAY APRON SECTION AREA = 4,888 SF |
| | SUPER DUTY PAVEMENT SECTION | | DETECTION LIMITS |
| | TRAILER PARKING POC SECTION | | SETBACK LINE |
| | TRAILER AUTO PARKING POC SECTION | | EDGE OF PAVEMENT |
| | CONCRETE LOADING DOCK SECTION | | 8' EXTENDED CURB |
| | AREA = 134,978 SF | | 18' STRAIGHT CURB |

Drawing Number: 3 / 18
 Date Ready Job Number: DR0075-08-021
 A/E Job Number: 17-0075-08

RICKENBACKER GLOBAL LOGISTICS
 FRANKLIN COUNTY ZONING COMPLIANCE PLAN
 FOR BUILDING 674
 SITE PLAN

Scale: 1" = 60'
 Date: 05/05/17
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 Checked By: JDW

Issue Dates:
 05/08/17: BUILDING PERM SET
 07/23/17: REVISIONS FOR TENANT IMPROVEMENTS

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 ENGINEERS SURVEYORS

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