

Franklin County Planning Commission

Judicial Services Building (Hall of Justice)
369 South High Street
1st Floor, Commissioners Hearing Room
Columbus, OH 43215

Wednesday, June 14, 2023
1:30 p.m.

1. Call roll for board members
2. Introduction of staff
3. Approval of minutes from the April 12, 2023 meeting
4. Old Business:

i. 660-PP&V-4 – Matt Brown - *Requesting to Table*

Owner/Applicant:	Braumiller Development, LLC.
Engineer:	EMH&T – Joseph Looby
Township:	Prairie Township
Site:	Galloway Road (PID #240-000112)
Acreage:	12.000-acres
Utilities:	Public water and sewer
Request:	Requesting preliminary plan approval of a 72-lot multi-family subdivision with 6.8 acres of open space and 3 reserves. Requesting a variance to Section 502.15 of the Franklin County Subdivision Regulations to allow a major subdivision with a private street that does not meet public street standards for minimum centerline radius, width of the reserve area, and the typical curb and gutter street section.

*Swear in witnesses as needed

ii. 775-V – Matt Brown

Owner:	June Hammonds
Applicant:	Bryan Hunt
Township:	Prairie Township
Site:	6601 Alkire Road (PID #240-001668)
Acreage:	10.970-acres
Utilities:	Private water and wastewater
Request:	Requesting a Variance from Sections 501.05 of the Franklin County Subdivision Regulations to allow the creation of lots that would have a side lot line beyond 5 degrees of perpendicular to the street centerline and exceed the maximum permitted depth to width ratio.

*Swear in witnesses as needed

iii. ZON-23-01 – Matt Brown - Requesting to Withdraw

Owner/Applicant:	Solid Waste Authority of Central Ohio
Township:	Pleasant Township
Site:	6435 Young Road (PID #230-000042)
Acreage:	10.600-acres
Utilities:	N/A
Zoning:	Exceptional Use (EU)
Request:	Requesting to rezone from the Exceptional Use (EU) district to the Select Commercial Planned District (SCPD).

*Swear in witnesses as needed

iv. ZON-23-03 – Matt Brown

Owner:	Columbus Regional Airport Authority
Applicant:	Josh Long P.E. – CESO Inc.
Township:	Madison Township
Site:	7161 Second Street (PID #180-004984)
Acreage:	10.330-acres
Utilities:	Public water and sewer
Zoning:	General Industrial (GI)
Request:	Requesting to rezone from the General Industrial (GI) district to the Community Commercial (CC) district.

*Swear in witnesses as needed

5. New Business:

i. 772-V&PP – Matt Brown

Owner/Applicant:	Braumiller Development, LLC.
Engineer:	EMH&T- Joseph Looby
Township:	Prairie Township
Site:	1860 Galloway Road (PID #240-000146)
Acreage:	102.400-acres
Utilities:	Public water and sewer
Request:	Requesting a variance from Section 402.01(B) of the Franklin County Subdivision Regulations to allow the construction of homes with below grade floor elevations in poorly drained soils. Requesting preliminary plan approval of the Galloway East subdivision to create 395 single-family lots and 7 reserves.

*Swear in witnesses as needed

ii. 776-V – Matt Brown

Owner:	Victory Stables, LLC.
Applicant:	Hugh Showe
Engineer:	Hockaden & Associates, Inc.
Township:	Brown Township
Site:	7380 Scioto Darby Creek (PID #120-000198)
Acreage:	45.900-acres
Utilities:	Private water and wastewater
Request:	Requesting a Variance from Section 501.05 of the Franklin County Subdivision Regulations to allow the creation of lots that would have a side lot line beyond 5 degrees of perpendicular to the street centerline.

*Swear in witnesses as needed

iii. 777-V&PP – Matt Brown

Owner/Applicant:	Bob Webb Woodland Preserve – Brandon Belli E.P. Ferris & Associates, Inc. – Matt Poindexter
Township:	Jefferson Township
Site:	Reynoldsburg New Albany Road (PID #170-000502) 3115 Reynoldsburg New Albany Road (PID #170-000495) 3201 Reynoldsburg New Albany Road (PID #170-000503) 3145 Reynoldsburg New Albany Road (PID #170-000504) Reynoldsburg New Albany Road (PID #170-000696)
Acreage:	32.380-acres
Utilities:	Public water and sewer
Request:	Requesting variances from Section 502.13 to allow a dead-end street system that exceeds 1,000 linear feet and will not be terminated with a cul-de-sac or other appropriate turnaround. Requesting preliminary plan approval of the Woodland Preserve subdivision to create 58 single-family lots on a private street contained in a reserve and 12.83 acres of open space contained in three reserves.

*Swear in witnesses as needed

iv. PLAIN-23-02 – Matt Brown

Owner:	Eastern Storage, LLC.
Applicant:	Jeff Heuerman
Township:	Plain Township
Site:	6202 E. Walnut Street (PID #220-000262), 6204 E. Walnut Street (PID #220-001955)
Acreage:	8.270-acres
Utilities:	Private water and public sewer
Request:	Requesting to rezone from the Rural District to the Select Commercial Planned District (SCPD) to allow for a personal storage facility.

*Swear in witnesses as needed

v. ZON-23-04 – Matt Brown

Owner:	U.S. Bank National Association
Applicant:	Westside Seniors Center, LLC.
Agent:	Northwest Law
Township:	Franklin Township
Site:	4200 Shoppers Lane (PID #140-003166)
Acreage:	0.976-acres
Utilities:	Public water and sewer
Request:	Requesting to Rezone from the General Industrial District to the Community Service District.

*Swear in witnesses as needed

vi. ZON-23-05 – Matt Brown

Owner:	AHB Transportation, LLC.
Applicant:	Shremshock Architects – David Blair
Township:	Mifflin Township
Site:	3505 Westerville Road (PID #190-000089)
Acreage:	2.030-acres
Utilities:	Public water and sewer
Request:	Requesting to Rezone from the Select Commercial Planned District (SCPD) to the Community Commercial (CC) District.

*Swear in witnesses as needed

6. Adjournment of Meeting to July 12, 2023



MINUTES OF THE FRANKLIN COUNTY PLANNING COMMISSION

Wednesday, April 12, 2023

The Franklin County Planning Commission convened via at 369 South High Street (Judicial Services Building), in the Commissioners' Hearing Room, Columbus, Ohio, 43215, on Wednesday, April 12, 2023.

Present were:

Nancy White, Chairperson
Daniel Blechschmidt
Chet Chaney
TeLisa Harrison
Annie Ryznar
Reza Reyazi
Roxyanne Burrus

Franklin County Economic Development and Planning Department:
Matt Brown, Planning Administrator
Marcus Duemmel, Planner

Franklin County Prosecuting Attorney's Office:
Jesse Armstrong, Franklin County Assistant Prosecuting Attorney
Adria Fields, Franklin County Assistant Prosecuting Attorney
Devin Bartlett, Franklin County Assistant Prosecuting Attorney

Chairwoman White opened the hearing.

The first order of business was the roll call of the members and introduction of staff. The next order of business was approval of the minutes of the March 8, 2023 meeting. A motion was made by Mr. Chaney, seconded by Mr. Reyazi, to approve the minutes of the March 8, 2023 Planning Commission meeting. The motion passed by a vote of five yeases, no nos, and two abstentions.

NEW BUSINESS:

The next order of business was to table Subdivision Case No. 775-V until the May 10, 2023 meeting. A motion was made by Mr. Blechschmidt, seconded by Mr. Reyazi, to accept the applicant's request to table Subdivision Case No. 775-V until the May 10, 2023 Planning Commission meeting. The motion passed with a vote of seven yeases, zero nos, and zero abstentions.

The next order of business was to table County Rezoning Case No. ZON-23-03 until the May 10, 2023 Planning Commission meeting. A motion made by Mr. Reyazi, seconded by Ms. Burrus, to accept the applicant's request to table County Rezoning Case No. ZON-23-03 until the May 10, 2023 Planning Commission meeting. The motion passed with a vote of seven yeases, zero nos, and zero abstentions.

OLD BUSINESS

The next order of business was to remove Subdivision Case No. 660-V&PP-4 from the table. A motion was made by Mr. Chaney, seconded by Mr. Blechschmidt, to remove Subdivision Case No. 660-V&PP-4 from the table. The motion passed by a vote of seven yeases, zero nos, and zero abstentions. Subdivision Case No. 660-V&PP-4 was then heard. The owner and applicant is the Braumiller Development Limited Liability Company, courtesy of T&R Properties. The engineer for the site is EMH&T, represented by Joseph Looby. The subdivision is the Villages at Galloway Phase 4 subdivision located in Prairie Township on Galloway Road. The site is 12 acres in size, and will be served by public water and sewer. The applicant was requesting a variance to Section 502.15 of the Franklin County Subdivision Regulations to allow a major subdivision with a private street that does not meet public street standards for minimum centerline radius or local, curb, and gutter street section. They're also requesting preliminary plan approval of a 72-lot multi-family subdivision with 6.8 acres of open space and three reserves. Staff recommended denial of a variance from Section 502.15, Street Classification and Design, with respect to the proposed cross slope and dimensional standards. Staff recommended approval with conditions of a variance from Section 502.15, Street Classification and Design, with respect to the minimum centerline radius requirement and the pavement composition to allow roller-compacted concrete. The recommended conditions of approval were as follows: No. 1: No on-street parking is permitted, and "no parking" signage must be identified on construction plans. No. 2: Notes as required by Section 502.07 of the Subdivision Regulations must be included on the final plat related to private street design and maintenance. No. 3: The street cross slope and dimensional standards for a typical subdivision street must be satisfied, and the roller-compacted concrete pavement section must meet the standard of the City of Hilliard Engineering Design Manual 4.7.3 for local (residential) streets. Mr. Joseph Looby with EMH&T and Mr. RJ Sabatino with Braumiller Development, LLC and T&R Properties spoke to the Planning Commission to explain more about the project and answer questions regarding how no on-street parking would be enforced as well as the number of curb cuts. Mr. Looby and Mr. Sabatino requested that Subdivision Case No. 660-V&PP-4 be tabled until the June 14, 2023 Planning Commission meeting. A motion was made by Mr. Chaney, seconded by Mr. Blechschmidt, to accept the applicant's request to table Subdivision Case No. 660-V&PP-4 until the June 14, 2023 Planning Commission meeting. The motion passed by a vote of seven yeases, zero nos, and zero abstentions.

NEW BUSINESS:

The next order of business was to hear Subdivision Case No. 740-FP. The owner is Pavlo Zubkevych, the applicant is Aleksandr Yakhnitskiy, the engineer for this project is Eli Cowan. The site is located in Pleasant Township on Kropp Road. It includes two parcels of land totaling just under 21 acres in size. This site will be served by on-site water and wastewater. The applicant was requesting final plat approval of a five-lot single-family subdivision. Staff recommended approval of the final plat for the Zubkevych Village subdivision. A motion was made by Mr. Blechschmidt, seconded by Ms. Ryznar, to approve Subdivision Case No. 740-FP. The motion passed by a vote of seven yeases, zero nos, and zero abstentions.

The next order of business was to hear Subdivision Case No. 774-V. The owner is Joy Thaxton, the applicant is Robert LeVeck. The site is located in Jackson Township at 2555 Gantz Road and is just under 5 acres in size. The applicant was requesting a variance to Section 202.03 and 502.01 of the Subdivision Regulations to allow the creation of a lot without evidence of adequate wastewater disposal and without fronting along, or having access to, a public road. Staff recommended approval with conditions of the variance request from Sections 202.03 and 502.01 of the Franklin County Subdivision Regulations to allow the creation of a lot without evidence of adequate wastewater disposal and without fronting along, or having access to, a public road. The conditions of approval were as follows: No. 1: The applicant must apply for and receive approval of a lot split from the Franklin County Economic Development and Planning Department. No. 2: The legal description approval stamp from the Franklin County Economic Development and Planning Department must note that the site has not been reviewed as a buildable lot and that the parcel was created with the understanding that it would be annexed and combined with the adjacent parcel to the north, located in the City of Columbus.

A motion was made by Mr. Reyazi, seconded by Ms. Ryznar, to approve Subdivision Case No. 774-V with the two recommended staff conditions. The motion passed by a vote of six yeses, zero nos, and one abstention. A motion was then made by Mr. Reyazi, seconded by Ms. Ryznar, to adopt findings of fact that the basis for approving the applicant's request for a variance in Subdivision Case No. 774-V results from the applicant satisfying the criteria for granting a variance under Section 701.07 of the Subdivision Regulations. The motion passed by a vote of six yeses, zero nos, and one abstention.

There being no further business coming before the Franklin County Planning Commission, Chairwoman White adjourned the meeting. The hearing was adjourned at 2:58 p.m.

Signature

Minutes of the April 12, 2023, Franklin County Planning Commission hearing were approved this 14th day of June 2023.

Brown, Matthew L.

From: Looby, Joseph <jlooby@emht.com>
Sent: Wednesday, May 17, 2023 5:36 PM
To: Brown, Matthew L.
Cc: Ron Sabatino; RJ Sabatino; Cummings, Joshua
Subject: Villages at Galloway Phase 4 Preliminary Plan

Matt,

Please accept our formal request to table the Preliminary Plan meeting for Villages at Galloway Phase 4 scheduled in June.

We plan plat the road, not private drive anymore, per our discussion last month.

As a result, we have been advised by Prairie Township to rezone the property to PUD in order to clean-up any non-compliant items with the existing R-8 zoning.

Once we complete the rezoning, we will re-engage with you to submit a Preliminary Plan.

Joe

Joe Looby, PLA
Senior Planner



v. 614.775.4706 | c. 614.679-5820

From: Brown, Matthew L. <mybrown@franklincountyohio.gov>
Sent: Tuesday, May 16, 2023 3:58 PM
To: Looby, Joseph <jlooby@emht.com>
Cc: Ron Sabatino <rsabatino@trprop.com>; RJ Sabatino <rjsabatino@trprop.com>
Subject: Galloway East Preliminary Plan and Villages at Galloway Phase 4 Preliminary Plan

Hi Joe,

We received the revised materials for the Galloway East Preliminary Plan and will have that case on the Technical Review Committee agenda for next Tuesday. I'll let you know on Thursday if the TRC agencies express any need to discuss the project at the TRC meeting on May 23.

The Villages at Galloway Phase 4 preliminary plan was tabled until June and we have not received a revised application/materials for that case. I know you were working on revising the number of access points previously so please let me know if you wish to table that case again at the June meeting or if you wish to proceed with the materials as originally submitted. If requesting a tabling, please let us know what Planning Commission meeting date you'd like to table to. Thanks!

Matt Brown
Planning Administrator

Franklin County
Economic Development & Planning Department
The Lazarus Building
150 South Front Street, FSL Suite 10
Columbus, Ohio 43215
Email: mybrown@franklincountyohio.gov
<http://development.franklincountyohio.gov/>



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STAFF REPORT

Planning Commission
June 14, 2023

Case: 775-V

Prepared by: Matt Brown

Owner:	June Hammonds, Trustee
Agent:	Bryan S. Hunt, Esq. – Loveland Law, LLC
Township:	Prairie Township
Site:	6601 Alkire Road (PID #160-001668)
Acreage:	10.97-acres
Utilities:	Private water and wastewater
Request:	Requesting a Variance from Section 501.05 of the Franklin County Subdivision Regulations to allow the creation of a lot with a side lot line more than five (5) degrees of perpendicular to the street centerline and exceed the maximum permitted depth to width ratio.

Summary:

The applicant is requesting a Variance to allow a lot split that will result in a parcel with a side lot line more than five (5) degrees of perpendicular to the street centerline and result in a lot that exceeds the maximum permitted depth to width ratio. Provided staff’s recommended conditions are satisfied, the application meets the criteria to grant a variance. Staff recommends **approval with conditions**.

Request:

The site is located on the south side of Alkire Road, approximately 0.4 miles west of Kunz Road in Prairie Township. The existing lot is 10.97-acres in size, developed with a single-family home and accessory buildings.

The applicant is proposing to subdivide the property to create properties of approximately 3.71- and 7.26-acres. The existing home and two accessory buildings will be located on the 3.71-acre property. A formal survey was not submitted with the application and measurements are approximations based on the exhibits provided. The application submitted identified the depth to width variance request to be up to a 10 to 1 ratio. The maximum permitted depth to width ratio is 4 to 1 and the exhibit submitted with the application identifies a lot that would be 7.15 to 1. Additionally, the application requests a variance to allow a side property line to be up to 15 degrees from perpendicular to the street centerline while the maximum deviation of side property lines to perpendicular is 5 degrees. The requested variance application does not account for the side lot line of the proposed 7.26-acre property being aligned closer to parallel to the street centerline, exceeding the 15 degrees from perpendicular identified in the application.

Surrounding Zoning and Land Use:

The subject site and land to the north, south and west is zoned Rural and is low density residential and agricultural in use. Immediately to the east is a platted low density residential subdivision zoned Low Density Residential (R-2). The Prairie Township Zoning Resolution requires properties in the Rural district to be a minimum of 5 acres in size with 300 feet of road frontage. The proposed approximately 3.71-acre lot does not meet the Township Zoning Resolution’s minimum lot size or width standard

however, Prairie Township approved a zoning variance to these standards and the proposal therefore keeps with the adopted zoning for the site.

Comprehensive Plan:

The Prairie Township 2007 Comprehensive Plan Update recommends the site for Rural land use with a Tier 3 Conservation Zone Overlay. The Plan recommends that development in Rural areas follow a conservation development design. Tier 3 areas include recommended open space corridors to provide connections between other tiered land.

The Big Darby Accord Watershed Master Plan, adopted in 2006, includes a Proposed General Land Use Map and a Conservation Strategy Map to help guide development. The General Land Use map recommends the site for conservation development with 50 percent open space based on existing Rural density. The Conservation Strategy map identifies the site as Tier 3 for habitat and open space connectivity.

The proposal to divide a 10.97-acre parcel into two properties as proposed does not keep with either adopted land use plans' recommendation for conservation development design or advance the creation of an open space corridor. Additionally, the proposed lot arrangement precludes the site from being developed in the future in a manner that would keep with the land use plan recommendation for conservation development.

Technical Review Agencies

No Technical Review Committee Agencies have expressed concerns with the requested variance however the variance application was filed prior to filing a formal lot split and large lot development application which would have allowed for a formal review.

Alkire Road is listed as a Minor Arterial roadway with a recommended future right-of-way width of 100 feet. The current right-of-way is approximately 60 feet in width and held in highway easement. Alkire Road is a rural roadway with a 55 mile per hour speed limit and an associated 495 feet driveway spacing requirement. The proposed land division will not be able to meet the driveway spacing requirement.

Staff Analysis

Variance Criteria – Section 701.01:

The following criteria govern the granting of a variance:

1. *It shall not be detrimental to public health or safety or be injurious to other property.*

The applicant stated that the requested variance to the depth to width standards and side lot line standard would not be detrimental to the public health or safety or injurious to other property.

- The proposed land division may be detrimental to public safety by allowing a driveway access to a new parcel that cannot meet driveway spacing standards which were adopted specifically for the purpose of improving public safety along roadways. Provided staff's recommended conditions are satisfied, the variances will not be detrimental to public health or safety or be injurious to other property.

2. *Circumstances of the request are unique to the property and not generally applicable to others.*

The applicant indicated that the circumstances of the request are unique to the property in that it is 10.97 acres in size and the property owner is only utilizing approximately 2.97 acres. Additionally, existing site improvements necessitate the variances that will allow the majority of the site to be transferred to the owner's son for personal development and use.

- Staff does not believe that there are any unique circumstances that warrant the granting of the variances as requested. The site could be subdivided in a manner that would reduce the amount

of variance needed and the angle of the roadway with respect to the existing side property lines is a unique situation warranting a variance to allow the efficient use of the property. Provided staff's recommended conditions are satisfied, the variances would be the minimum variance necessary to subdivide the parcel consistent with other properties in the area and in a manner that reduces the number of access drives along the public roadway.

- The property is approximately 450 feet in width with a centrally located driveway. A proposal to subdivide the property to create two parcels with 225 feet of width would result in depth to width ratios for the resulting parcels of 4.95 to 1 and 4.74 to 1. The depth to width ratio of the proposed 7.26-acre parcel is 7.15 to 1. Such a proposal would still require a side lot line variance as the existing side lot lines are not within 5 degrees of perpendicular to the roadway due to the roadway being angled but this would eliminate the side lot line that is oriented closer to parallel to the roadway. Additionally, dividing the property in the middle would allow the use of a shared driveway thereby preventing access management issues.

3. *Due to physical surroundings, shape or characteristics of the property, a hardship would result, as distinguished from an inconvenience, if the strict letter of these Regulations were enforced.*

The applicant indicated that given the physical surroundings, shape and characteristics of the property, a hardship would result if the Subdivision Regulations were strictly enforced. Specifically, the owner would remain burdened with a significant amount of land for which they do not, and cannot, utilize and which they have no desire to own. As a result, strict enforcement of the Regulations would result in the owner remaining saddled with costs associated with, among other things, maintenance, insurance and taxes for real property to which they derive no benefit.

- Staff does not believe that any physical surroundings, shape or characteristics of the property exist to warrant the variances as requested. However, the existing shape of the lot presents a hardship with respect to subdividing the property in a manner consistent with other properties in the area while reducing the variances to the minimum necessary. As described in Staff's response to the second criteria, the site could be subdivided in such a way as to significantly reduce the variance request. Bisecting the property in half widthwise would require a variance to the side lot line standard to allow a side lot line to be 10 degrees from perpendicular to the street centerline and require a variance to the depth to width standard of 4.95 to 1 and 4.74 to 1 for the resulting parcels. The resulting parcels would be approximately 5.65- and 5.32-acres in size.

Staff Recommendation

Based on Staff's Analysis, staff recommends ***approval with conditions*** of the Variance request from Section 501.05 of the Franklin County Subdivision Regulations to allow the creation of a lot with a side lot line that is more than five (5) degrees of perpendicular to the street.

1. The applicant must apply for and receive approval of a large lot development application.
2. The proposed land division submitted with the large lot development application must show the property bisected in half widthwise, with a straight property line from the front property line to the rear property line.
3. A shared access easement must be shown on the survey submitted with the large lot development application and a shared access easement recorded with the deed creating the new lot.
4. Additional right-of-way must be dedicated in an amount and manner determined by the Franklin County Engineer's office to meet the recommended future Thoroughfare Plan right-of-way width prior to approval of the large lot development application.

Resolution

For your convenience, the following is a proposed resolution:

Proposed Resolution for Request:

_____ moves to approve a Variance from Section 501.05 of the Franklin County Subdivision Regulations as outlined in the request identified in Case No. 775-V.

Seconded by: _____

Findings of Fact

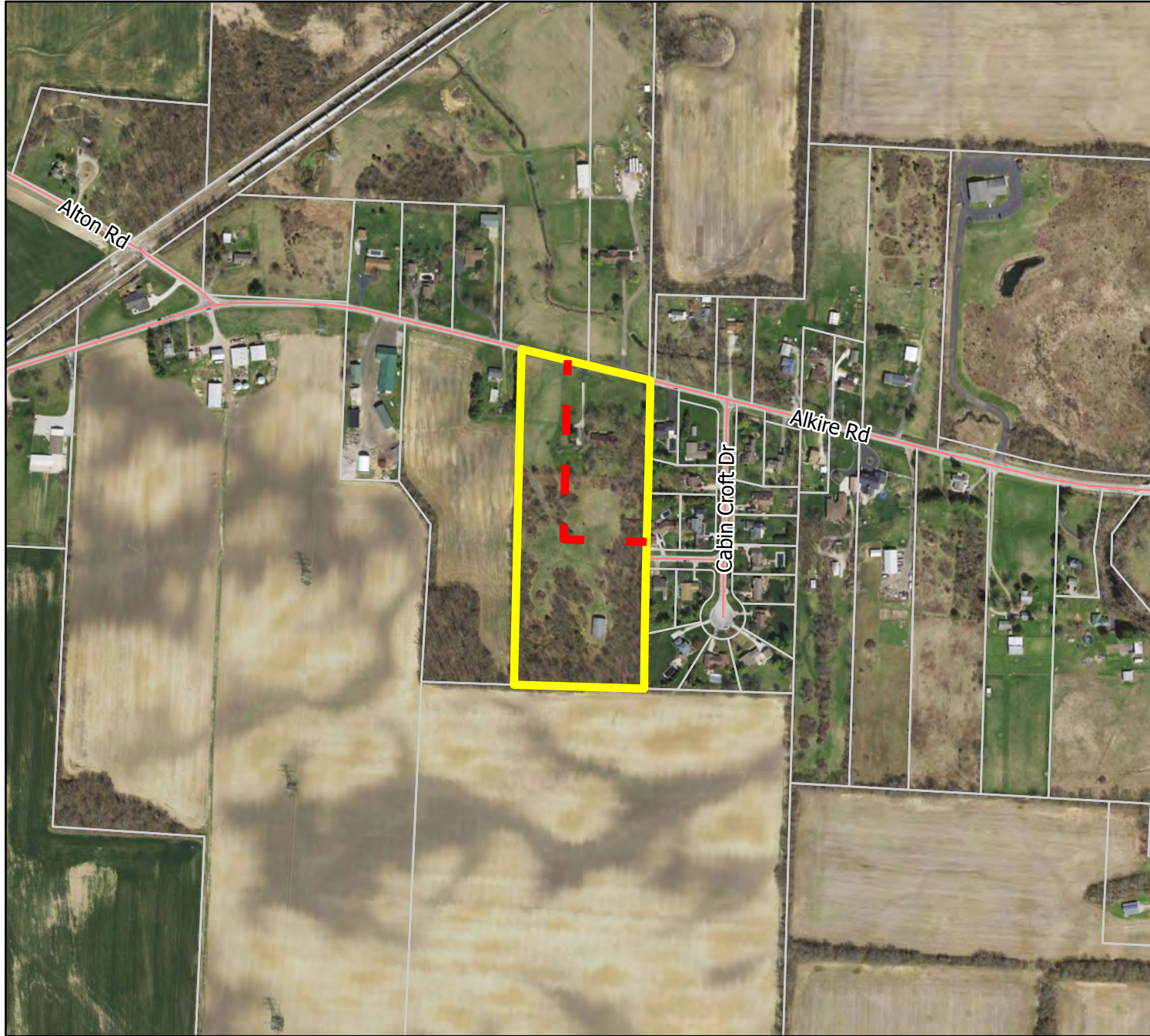
For your convenience, the following are proposed findings of fact:

_____ moves that the basis for approving/denying the applicant’s request for a Variance from Section 501.05 of the Franklin County Subdivision Regulations as outlined in the request for the applicant identified in Case No. 775-V results from the applicant satisfying/failing to satisfy the standards for granting a Variance under Section 701.07.

Seconded by: _____

701.07 General Standards for Variances. The FCPC shall not grant variations to these Regulations unless it shall make written findings of fact based upon the evidence presented by each specific case that:





- A. The particular physical surroundings, environmental constraints, shape, topographical or other exceptional condition of the specific property involved would cause extraordinary hardship or exceptional practical difficulty to the applicant, as distinguished from a mere inconvenience, if the provisions of these Subdivision Regulations were strictly enforced; and
- B. The conditions upon which the request for a variance is based are unusual to the property for which the variation is sought and are not applicable generally to other property; and
- C. The purpose of the variance is not based exclusively upon a desire to obtain additional income from the property; and
- D. The granting of the variance will not be detrimental to the public health, safety or general welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
- E. The special circumstances or conditions are created by the provisions or requirements of these regulations and have not resulted from any act of the applicant or applicant's predecessor in interest; and
- F. The variance requested is the minimum adjustment necessary for the reasonable use of the land.

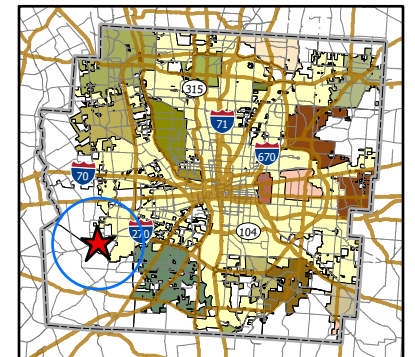


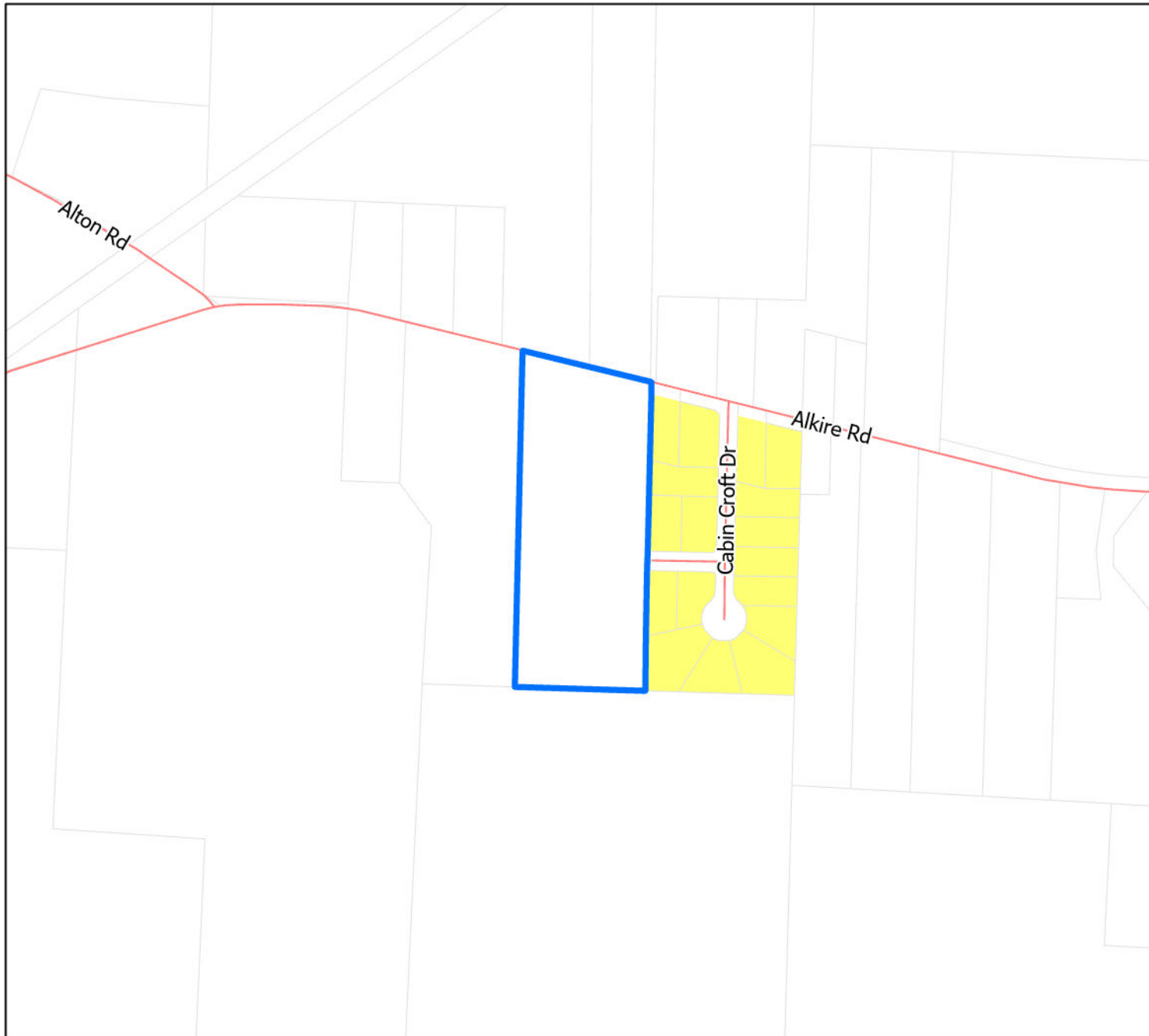
775-V

Requesting a Variance from Section 501.05 of the Franklin County Subdivision Regulations to allow the creation of a lot with a side lot line more than five (5) degrees of perpendicular to the street centerline and exceed the maximum permitted depth to width ratio.

Acres: 10.97-acres
Township: Prairie Township

-  Streets
-  Parcels
-  6601 Alkire Rd
-  Proposed Split





775-V

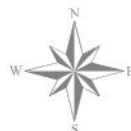
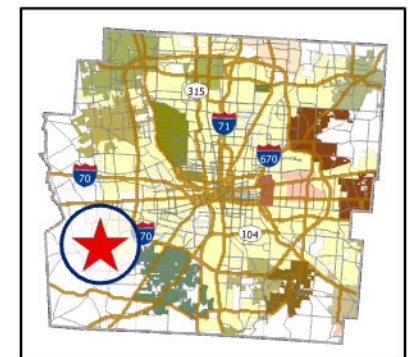
Requesting a Variance from Sections 501.05 of the Franklin County Subdivision Regulations to allow the creation of lots that would have a side lot line beyond 5 degrees of perpendicular to the street centerline and exceed the maximum permitted depth to width ratio

Acres: 10.970-acres
Township: Prairie Township

- Streets
- PID 240-001668
- Parcels

Prairie Twp Zoning

- R-2
RURAL



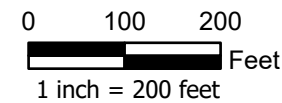
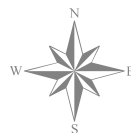
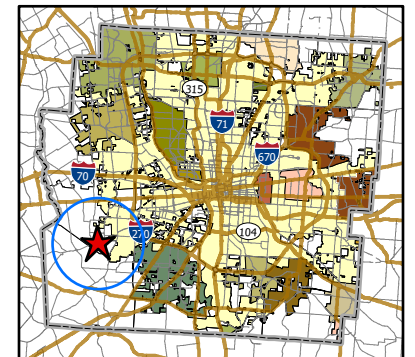


775-V

Requesting a Variance from Section 501.05 of the Franklin County Subdivision Regulations to allow the creation of a lot with a side lot line more than five (5) degrees of perpendicular to the street centerline and exceed the maximum permitted depth to width ratio.

Acres: 10.97-acres
 Township: Prairie Township

- Streets
- Parcels
- 6601 Alkire Rd
- - - Proposed Split



RECEIVED

MAR 03 2023

Franklin County Planning Department
Franklin County, OH

775-V

6601 ALKIRE ROAD SUBDIVISION VARIANCE APPLICATION

Site Plan



Application for
**Subdivision
 Variance**
 Page 1



Property Information

Site Address: 6601 Alkire Road, Galloway, Ohio 43119	
Parcel ID(s): 240-001668-00	
Total Acreage: 10.97 +/-	Current Zoning: Rural
Township: Prairie	Subdivision: N/A

Staff Use Only

Case #	775-V
Date Filed:	3/3/2023
Fee Paid:	\$350.00
Receipt #	23-00855
Hearing Date:	4/12/2023
Received By:	Marcus

Requested Variances/Decision or Interpretation Appealed

Section Number(s) of the county subdivision regulations and a brief description of variance(s) requested:

Section	Description
501.05	To allow a lot line greater than 5 Degs. of being perpendicular or radial to the street center line (i.e. up to 15 Degs.), as shown on site plan.
501.05	To allow a depth to width ratio greater than 4:1 (i.e. up to 10:1) as shown on site plan.
Section	Description

The following shall govern the granting of the variance: (Provide explanation, use separate sheet if needed)

Is the variance detrimental to the public health or safety or is it injurious to other property?

<input type="checkbox"/> Yes	Please see attached Exhibit A
<input checked="" type="checkbox"/> No	

Are the circumstances of the request unique to the property and not generally applicable to others?

<input checked="" type="checkbox"/> Yes	Please see attached Exhibit A
<input type="checkbox"/> No	

Due to physical surroundings, shape or characteristics of the property, would a hardship result, as distinguished from an inconvenience, if the strict letter of the Subdivision Regulations were enforced?

<input checked="" type="checkbox"/> Yes	Please see attached Exhibit A
<input type="checkbox"/> No	

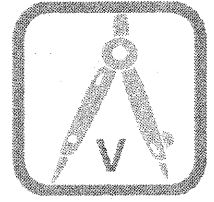


Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Subdivision Variance Page 2



Property Owner Information

Name: June Hammonds, TTEE

Address: 6601 Alkre Road

Galloway, Ohio 43119

Phone # 614-359-0101 Fax # N/A

Email: mark.hammonds@coxautoinc.com

Engineer/Surveyor Information

Name:

Address:

Phone # Fax #

Email:

Applicant Information Same as property owner Same as engineer/surveyor

Name: Bryan S. Hunt, Esq. (Loveland Law, LLC)

Address: 3300 Riverside Drive, Suite 125

Upper Arlington, Ohio 43221

*Legal Counsel for Property Owner

Phone # 614-928-9107 Fax # 614-737-9857

Email: bshunt@lovelandlaw.net

Water & Wastewater

Water Supply

Public (Central)

Private (On-site)

Other:

Wastewater Treatment

Public (Central)

Private (On-site)

Other:

Checklist

Completed Application

Fee Payment (checks only)

Copy of denied application, if applicable

Site plan, max. size 11"x17"

Proof of Water/Wastewater



Franklin County
Board of Commissioners
**ECONOMIC DEVELOPMENT
& PLANNING**
Economic Development & Planning Department
James Schimmer, Director

Application for
**Subdivision
Variance**
Page 3



Applicant Signature

To the best of my/our knowledge and belief, information and materials submitted as a part of this Variance application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes.

[Handwritten Signature]

Applicant

1-20-2023

Date

Engineer

Date

June Hammonds

Property Owner (Signature must be notarized)

1/20/2023

Date

Property Owner (Signature must be notarized)

Date

State of Ohio
County of Franklin

The foregoing instrument was acknowledged before me this 20th day of January, 2023,
by June Hammonds, Trustee.

No other or authentication was administered as part of this notarial act.



Bryan S. Hunt, Attorney At Law
NOTARY PUBLIC - STATE OF OHIO
My commission has no expiration date
Sec. 147.03 R.C.

[Handwritten Signature]

RECEIVED

MAR 03 2023

Franklin County Planning Department
Franklin County, OH

EXHIBIT A

Application for Subdivision Variance – 6601 Alkire Road, Galloway, Ohio 43119

CRITERIA FOR GRANTING VARIANCE – SECTION 701.01 OF SUBDIVISION REGS.

For the reasons set forth below, the requested variances meet the criteria set forth in Section 701.01 of the Franklin County Subdivision Regulations:

Criteria #1: Is the variance detrimental to the public health or safety or is it injurious to other property?

Response: No. The variances requested here from the standards contained in Section 501.05 of the Franklin County Subdivision Regulations to a.) permit a lot line beyond five degrees of being perpendicular or radial to street center lines and b.) permit a depth to width ratio in excess of 4 to 1 are not detrimental to the public health or safety or injurious to other property. The requested variances will have no effect other than defining the shape of future parcels.

Criteria #2: Are the circumstances of the request unique to the property and not generally applicable to others?

Response: Yes. The lot that is proposed to be split is approximately 10.97 acres, more or less, of which the Property Owner is currently only utilizing approximately 2.97 acres. Moreover, due to the placement of the current improvements on the lot, the requested variances are necessary to achieve the desired lot split that will allow a significant portion of the property to be transferred to Property Owner's son for personal development and use.

Criteria #3: Due to physical surroundings, shape or characteristics of the property, would a hardship result, as distinguished from an inconvenience, if the strict letter of the Subdivision Regulations were enforced?

Response: Yes. Given the physical surroundings, shape and characteristics of the Property, a hardship would result if the Subdivision Regulations were strictly enforced. Specifically, the Property Owner would remain burdened with a significant amount of land for which she does not, and cannot utilize and which she has not desire to own. As a result, strict enforcement of the Subdivision Regulations would result in tthe Property Owner remaining saddled with costs associated with, among other things, maintenance, insurance and taxes for real property to which she derives no benefit.

GENERAL STANDARDS FOR VARIANCES – SECTION 701.07 OF SUBDIVISION REGS.

For the reasons set forth below, the requested variances meet the standards set forth in Section 701.07 of the Franklin County Subdivision Regulations:

- A. The particular physical surroundings, environmental constraints, shape, topographical or other exceptional condition of the specific property involved would cause extraordinary hardship or exceptional practical difficulty to the applicant, as distinguished from a mere inconvenience, if the provisions of these Subdivision Regulations were strictly enforced; and

As set forth above in Criteria #3, this standard is met.

- B. The conditions upon which the request for a variance is based are unusual to the property for which the variation is sought and are not applicable generally to other property; and

As set forth above in Criteria #2, this standard is met.

- C. The purpose of the variance is not based exclusively upon a desire to obtain additional income from the property; and

The primary purpose of the requested variances is to effectuate a division of property that will allow the Property Owner to transfer land which she does not desire to own or have any use for to her son for his personal benefit. No income will be derived from the transfer or as a result of the variances, so this factor is met.

- D. The granting of the variance will not be detrimental to the public health, safety or general welfare or injurious to other property or improvements in the neighborhood in which the property is located; and

As set forth in Criteria #1, this standard is met. To further support the finding that this standard is met, it is noteworthy that numerous properties in the immediate area (including two parcels directly across the street from this property), as depicted on Exhibit B, exist without issues that would require the variances requested herein to be granted in order to be created.

- E. The special circumstances or conditions are created by the provisions or requirements of these regulations and have not resulted from any act of the applicant or applicant's predecessor in interest; and

Neither the Applicant, Property Owner, or predecessor to either contributed to or created the circumstances or conditions that gave rise to these variance requests. Rather, based upon a legal description of the property from a deed filed in 1946, a copy of which is attached here as Exhibit C, the size and shape of the property has not changed and existed prior to the Original Adoption of the Subdivision Regulations in 1948. Thus, this factor is met.

F. The variance requested is the minimum adjustment necessary for the reasonable use of the land.

The requested variances are very minor in nature and are required to make any reasonable use of the approximately eight acres of land behind the Property Owner's home. Thus, this standard is met.

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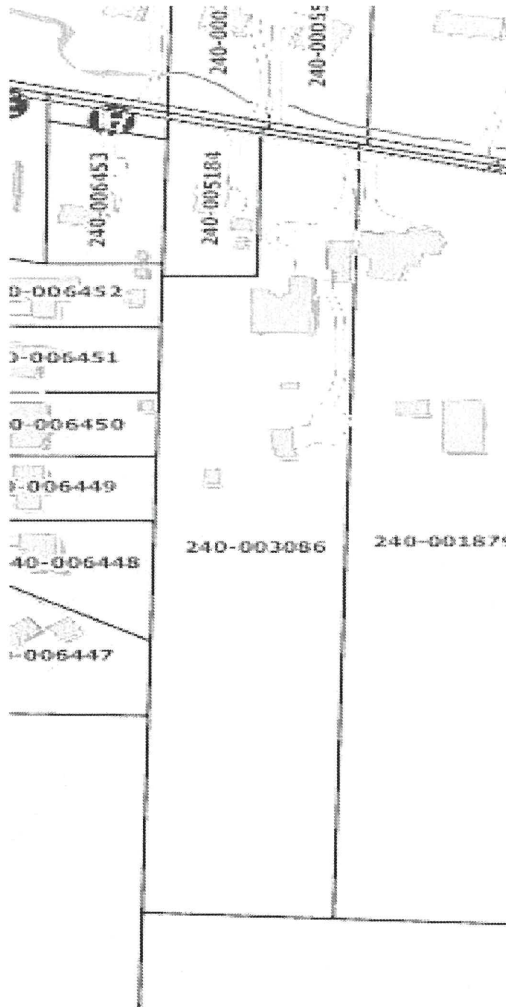
MAR 03 2023

Franklin County Planning Department
Franklin County, OH

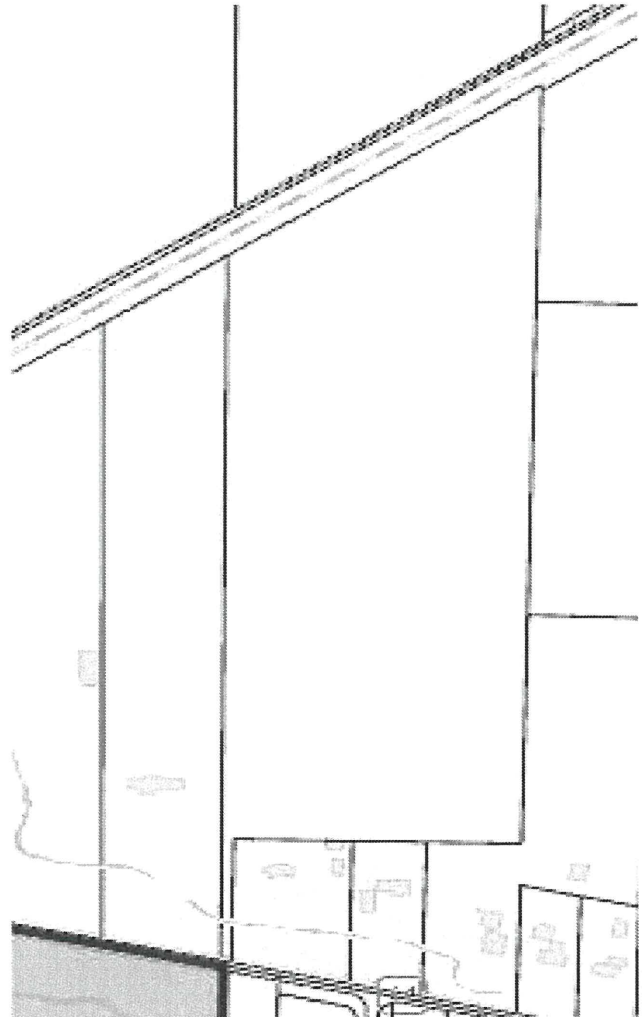
EXHIBIT B

Application for Subdivision Variance – 6601 Alkire Road, Galloway, Ohio 43119

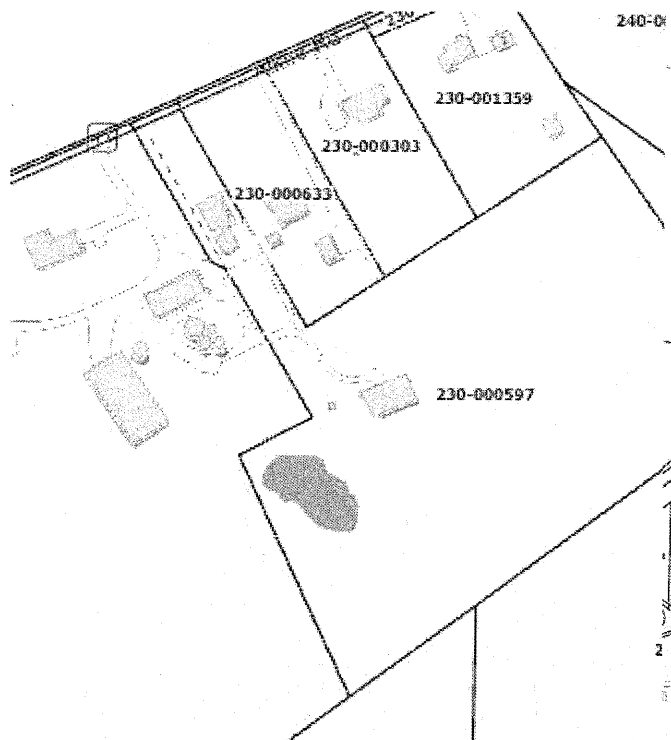
Similar Parcels in Immediate Area



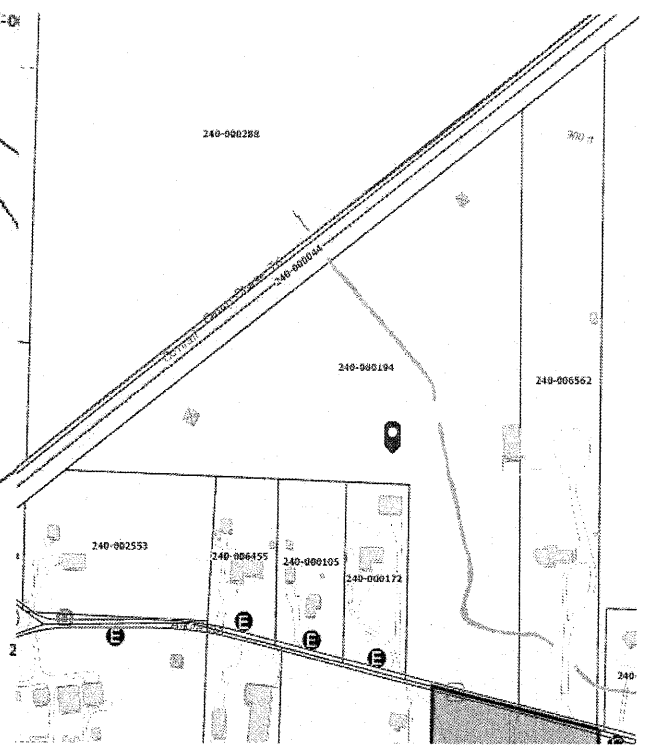
Parcel No. 240-003086



Parcel No. 240-006875



Parcel No. 230-000597



Parcel No. 240-000194

LOVELAND LAW, LLC

Attorneys at Law

3300 Riverside Drive, Suite 125, Upper Arlington, Ohio 43221
Telephone: (614) 928-9107 • Facsimile: (614) 737-9857
E-mail: bshunt@lovelandlaw.net • Website: www.lovelandlaw.net

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MAR 03 2023

Franklin County Planning Department
Franklin County, OH

Richard L. Loveland, (1930 – 2022)
William L. Loveland, Of Counsel
Bryan S. Hunt

Of Counsel:
Timothy J. Owens
Stephen B. Yurik

March 3, 2023

Sierra L. Saumenig, Planner
Franklin County Economic
Development & Planning Department
150 South Front Street, FSL Suite 10
Columbus, Ohio 43215

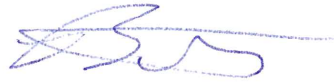
Re: 6601 Alkire Road (Parcel No. 240-001668)
Subdivision Variance Application

Dear Sierra:

Enclosed please find an Application for Subdivision Variance for the property located at 6601 Alkire Road, Galloway, Ohio 43119. Also enclosed is a check in the amount of \$350.00, which I understand to be the application fee.

Please contact me with any questions, comments or concerns.

Sincerely,



Bryan S. Hunt

Enc.

Brown, Matthew L.

From: Rebecca L. Egelhoff <rebecca.egelhoff@swaco.org>
Sent: Thursday, April 13, 2023 2:59 PM
To: Brown, Matthew L.
Subject: RE: 6435 Young Road Rezoning - ZON-23-01

Hi Matt! Our proposed tenant has requested that we put a hold on the rezoning application. If they decide to move forward, we will just start with a new application since we didn't have the necessary information in the application that was filed. Do you need anything besides this email to dismiss it?

Thanks,
Rebecca

Rebecca Egelhoff

Director of Legal Affairs



4239 London Groveport Rd
Grove City, OH 43123
Office: 614-801-6421

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From: Brown, Matthew L. <mybrown@franklincountyohio.gov>
Sent: Monday, March 27, 2023 1:47 PM
To: Rebecca L. Egelhoff <rebecca.egelhoff@swaco.org>
Subject: RE: 6435 Young Road Rezoning - ZON-23-01

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Hey Rebecca,
Just wanted to let you know that I received the check.

Matt Brown
Planning Administrator

Franklin County
Economic Development & Planning Department
The Lazarus Building
150 South Front Street, FSL Suite 10
Columbus, Ohio 43215
Email: mybrown@franklincountyohio.gov
<http://development.franklincountyohio.gov/>



From: Brown, Matthew L.
Sent: Monday, March 27, 2023 9:47 AM
To: Rebecca L. Egelhoff <rebecca.egelhoff@swaco.org>
Subject: RE: 6435 Young Road Rezoning - ZON-23-01

Thanks for letting me know and I'll keep an eye out for it.

Matt Brown
Planning Administrator

Franklin County
Economic Development & Planning Department
The Lazarus Building
150 South Front Street, FSL Suite 10
Columbus, Ohio 43215
Email: mybrown@franklincountyohio.gov
<http://development.franklincountyohio.gov/>



From: Rebecca L. Egelhoff <rebecca.egelhoff@swaco.org>
Sent: Monday, March 27, 2023 9:17 AM
To: Brown, Matthew L. <mybrown@franklincountyohio.gov>
Subject: RE: 6435 Young Road Rezoning - ZON-23-01

Matt,

Apparently, the check was mailed on Thursday rather than personally delivered. I apologize for the confusion. Can you keep an eye out for it? It was addressed to Economic Development & Planning and sent to 150 South Front Street, Suite 10. If it becomes an issue, I can have them void the check and re-issue.

Thanks,
Rebecca

Rebecca Egelhoff

Director of Legal Affairs



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From: Brown, Matthew L. <mybrown@franklincountyohio.gov>

Sent: Wednesday, March 22, 2023 4:06 PM

To: Rebecca L. Egelhoff <rebecca.egelhoff@swaco.org>

Subject: RE: 6435 Young Road Rezoning - ZON-23-01

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Sounds good, thanks!

Matt Brown

Planning Administrator

Franklin County
Economic Development & Planning Department
The Lazarus Building
150 South Front Street, FSL Suite 10
Columbus, Ohio 43215
Email: mybrown@franklincountyohio.gov

<http://development.franklincountyohio.gov/>



From: Rebecca L. Egelhoff <rebecca.egelhoff@swaco.org>
Sent: Wednesday, March 22, 2023 4:05 PM
To: Brown, Matthew L. <mybrown@franklincountyohio.gov>
Subject: RE: 6435 Young Road Rezoning - ZON-23-01

Thanks Matt! It took long than expected, but SWACO's Fiscal Officer cut the checks for the \$40 and \$175 today so they will be delivered to the office tomorrow.

Thanks,
Rebecca

Rebecca Egelhoff

Director of Legal Affairs



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From: Brown, Matthew L. <mybrown@franklincountyohio.gov>
Sent: Tuesday, March 21, 2023 5:31 PM
To: Rebecca L. Egelhoff <rebecca.egelhoff@swaco.org>
Subject: RE: 6435 Young Road Rezoning - ZON-23-01

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Hi Rebecca,

Sorry for the delay getting you the response letter from the March 8 Planning Commission meeting, please find the letter with the Commission's action attached. Let me know if you have any questions.

Matt Brown

Planning Administrator

Franklin County

Economic Development & Planning Department

The Lazarus Building

150 South Front Street, FSL Suite 10

Columbus, Ohio 43215

Email: mybrown@franklincountyohio.gov

<http://development.franklincountyohio.gov/>



From: Rebecca L. Egelhoff <rebecca.egelhoff@swaco.org>

Sent: Wednesday, March 8, 2023 7:44 AM

To: Brown, Matthew L. <mybrown@franklincountyohio.gov>

Cc: Schimmer, Jim R. <rschimmer@franklincountyohio.gov>

Subject: RE: 6435 Young Road Rezoning - ZON-23-01

Thanks!!

Rebecca Egelhoff

Director of Legal Affairs



4239 London Groveport Rd

Grove City, OH 43123

Office: 614-801-6421

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From: Brown, Matthew L. <mybrown@franklincountyohio.gov>
Sent: Tuesday, March 7, 2023 6:49 PM
To: Rebecca L. Egelhoff <rebecca.egelhoff@swaco.org>
Cc: Schimmer, Jim R. <jrschimmer@franklincountyohio.gov>
Subject: RE: 6435 Young Road Rezoning - ZON-23-01

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Hi Rebecca,

The request to table the case until the May 10th Planning Commission meeting will be presented at the meeting tomorrow for the Planning Commission's consideration. I've not seen an instance where the Commission has not granted a tabling request and expect no issues. The notice the SWACO received was likely for the anticipated consideration by the Rural Zoning Commission which we have to send out a couple weeks in advance of the meeting. Assuming this case is tabled by Planning Commission, we will just leave it off of the RZC agenda for next week.

Matt Brown
Planning Administrator

Franklin County
Economic Development & Planning Department
The Lazarus Building
150 South Front Street, FSL Suite 10
Columbus, Ohio 43215
Email: mybrown@franklincountyohio.gov
<http://development.franklincountyohio.gov/>



From: Rebecca L. Egelhoff <rebecca.egelhoff@swaco.org>
Sent: Tuesday, March 7, 2023 5:00 PM
To: Brown, Matthew L. <mybrown@franklincountyohio.gov>
Cc: Schimmer, Jim R. <jrschimmer@franklincountyohio.gov>
Subject: RE: 6435 Young Road Rezoning - ZON-23-01

Hi Matt! I just left you a voice mail so sorry for doubling up on the reach out. I just wanted to confirm that we were ok with tabling this application. SWACO received the notice of public hearing. I'll be in the office on Thursday so I will drop off the \$175 check to table and the \$40 balance. I meet with the prospect on Monday, and they are working on the narrative for the development text and the design plans. Right now, the plan is just for the one parcel – approximately 10 acres and they will not be going onto the property to the north and south. Once I have that information, I'll circle back with you to set up a time to review so that we can address any staff comments prior to presenting to the Planning Commission. Thanks again for all your help.

Thanks,
Rebecca

Rebecca Egelhoff

Director of Legal Affairs



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From: Rebecca L. Egelhoff <rebecca.egelhoff@swaco.org>
Sent: Wednesday, March 1, 2023 11:21 AM
To: Brown, Matthew L. <mybrown@franklincountyohio.gov>
Cc: Schimmer, Jim R. <irschimmer@franklincountyohio.gov>
Subject: RE: 6435 Young Road Rezoning - ZON-23-01

Yes, let's table to the May 10th Planning Commission. I'll confirm the parcels, too.

Thanks,
Rebecca

Rebecca Egelhoff

Director of Legal Affairs



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From: Brown, Matthew L. <mybrown@franklincountyohio.gov>
Sent: Wednesday, March 1, 2023 9:04 AM
To: Rebecca L. Egelhoff <rebecca.egelhoff@swaco.org>
Cc: Schimmer, Jim R. <rschimmer@franklincountyohio.gov>
Subject: RE: 6435 Young Road Rezoning - ZON-23-01

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Hi Rebecca,

Thank you for the email! There is a \$175 tabling fee for a first tabling request, you can just include the \$40 balance from the initial application fee with the tabling fee payment.

The Planning Commission can only accept a tabling request to a date certain and a maximum of 6 months from the date of tabling. I'd recommend requesting a tabling to the May 10 Planning Commission at the earliest. To be considered at that meeting, you'd need to have the new/revised materials submitted to my office by noon on April 18. The Planning Commission meeting month that you request to table to is really dependent on how much time you believe it will take to get the necessary materials together but whichever date you select for the meeting, the materials would need to be submitted by the application deadline identified on our [schedule](#) for that month's meeting. Please let me know what Planning Commission meeting you would like to table the case to and we'll present that request to the Planning Commission.

In discussion with County Administration about the proposed use, it was indicated that the existing paved area from the old radio controlled airplane take-off/landing strip would be used for the CDL driving training. If that is the case, the landing strip crosses 3 parcels of land and the application should reflect all properties included in the operation.

I'm happy to get a meeting scheduled anytime that you'd like to discuss the project, just let me know. I will note that I will be out of the office the week of March 13.

Matt Brown
Planning Administrator

Franklin County
Economic Development & Planning Department
The Lazarus Building
150 South Front Street, FSL Suite 10
Columbus, Ohio 43215
Email: mybrown@franklincountyohio.gov
<http://development.franklincountyohio.gov/>

From: Rebecca L. Egelhoff <rebecca.egelhoff@swaco.org>
Sent: Wednesday, March 1, 2023 8:09 AM
To: Brown, Matthew L. <mybrown@franklincountyohio.gov>
Cc: Schimmer, Jim R. <rschimmer@franklincountyohio.gov>
Subject: RE: 6435 Young Road Rezoning - ZON-23-01

Hi Matt! We are still getting the requested information together to address the comments and therefore would like to request to table this application. Is there an additional filing fee to be tabled? We will submit that with the additional funds due on the initial application (\$40). I apologize for being short – I should have rounded up on the acreage since it is 10.6ac. Please let me know if there is anything else you need from me to table this application from the March 8th meeting. Once we have the responses to the comments, we'd like to schedule a review with staff to ensure we have addressed all staffs' concerns/comments before moving forward.

Thanks,
Rebecca

Rebecca Egelhoff

Director of Legal Affairs



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Grove City, OH 43123
Office: 614-801-6421

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From: Brown, Matthew L. <mybrown@franklincountyohio.gov>
Sent: Thursday, February 16, 2023 2:38 PM
To: Rebecca L. Egelhoff <rebecca.egelhoff@swaco.org>
Cc: Schimmer, Jim R. <rschimmer@franklincountyohio.gov>
Subject: 6435 Young Road Rezoning - ZON-23-01

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Hi Rebecca,

I hope that you have been well. Attached are technical review agency comments on the rezoning application submitted for 6435 Young Road. The application as submitted didn't provide sufficient information to allow a thorough review. I'm recommending that you request this application be tabled until such time as SWACO is able to provide sufficient materials to allow a complete review. The case will be placed on the March 8 Planning Commission agenda. If a request to table is submitted before March 1, we will include that request in our meeting materials. If no request to table is submitted, we will include the rezoning application materials as submitted and write a staff report with a recommendation based on the materials submitted.

Please let me know if you wish to discuss further once you've had an opportunity to review the comments. Thank you.

Matt Brown
Planning Administrator

Franklin County
Economic Development & Planning Department
The Lazarus Building
150 South Front Street, FSL Suite 10
Columbus, Ohio 43215
Email: mybrown@franklincountyohio.gov
<http://development.franklincountyohio.gov/>



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STAFF REPORT

Planning Commission
June 14, 2023

Case ZON-23-03

Prepared by: Matt Brown

Owner:	Columbus Regional Airport Authority
Applicant:	Josh Long P.E. – CESO Inc.
Township:	Madison Township
Site:	2295 John Circle Drive (PID #180-004984)
Acreage:	10.33-acres
Zoning:	General Industrial
Request:	Requesting to rezone from the General Industrial (GI) district to the Select Commercial Planned District (SCPD).

Summary

Requesting to rezone from the General Industrial district to the Select Commercial Planned District (SCPD). Staff believes that the proposed rezoning to the SCPD contributes to the general health, safety and welfare of the community by encouraging appropriate use and development of the land affected and the overall development of the surrounding area. Based on this, staff recommends **approval with conditions**.

Background and Request

This rezoning application was originally submitted with a request to rezone the site to the Community Commercial (CC) district. Staff identified concerns with rezoning the site to a standard zoning district that would have allowed for a wide array of commercial uses of the site, many of which staff did not believe would be appropriate. Based on the concerns raised by staff, the applicant requested the case be tabled at the May 2023 Planning Commission meeting and has since revised their rezoning proposal to request a rezoning to the Select Commercial Planned District.

The area to be rezoned is 10.33-acres of a larger 140 +/- acre property owned by the Columbus Regional Airport Authority. The 10.33-acre area is located at the southeast corner of the Alum Creek Drive and London Groveport Road intersection in Madison Township which is a gateway to the Rickenbacker International Airport. The proposed rezoning would allow the site to be developed with a gasoline service station, truck scales, and a food store and eating place. The 10.33-acre area subject to the rezoning request will be subdivided from the larger parcel if the rezoning is approved.

Surrounding Land Use/Zoning

The area to be rezoned is currently vacant. The surrounding area includes a mix of land uses including industrial warehousing, commercial warehousing, fueling station and convenience store, and apartments in Columbus, Groveport, and Madison Township. Consistent with the land uses in the area, zoning districts include manufacturing/industrial, multi-family residential, and commercial zoning districts. The city of Groveport is located directly north of the site and the city of Columbus is located to the northwest, west, south, and east.

Comprehensive Plans

The area proposed for rezoning is not located in any County or Township adopted land use planning areas. However, a Rickenbacker Study was published by MORPC in 2018 that focused on economic development factors, roadway improvement needs, workforce mobility, and housing affordability. Plan

recommendations relevant to the subject site include widening Alum Creek Drive and SR 317 (London Groveport Road) and implementing place-making strategies on key corridors. Alum Creek Drive and SR 317 are identified as Business Core Placemaking Corridors that would benefit from a branded theme for consistent lighting, signage, and site design elements. To staff's knowledge no branded theme guidelines have been developed or incorporated into these corridors.

The uses proposed as part of this planned district rezoning request will serve the businesses and employees in the Rickenbacker area and support the area's continued economic growth. Additionally the development plan submitted as part of the rezoning request includes significant landscaping along both Alum Creek Drive and London-Groveport Road which will contribute to creating an attractive entry point to the Rickenbacker area.

Staff Analysis

Existing zoning – General Industrial (GI) District

The General Industrial District is provided for heavy manufacturing and extensive industrial uses not provided for in other Industrial Zoning Districts. These industrial uses generally require large sites and a total range of services and facilities, including appropriate access to highly developed and integrated transportation facilities. These industries typically operate from enclosed structures, but often have large open storage and service areas where some part of the production process may take place.

Proposed zoning – Select Commercial Planned District

The Select Commercial Planned District (SCPD) is intended to provide for any use permitted in a straight commercial district to locate in areas with development controls to ensure compatibility with the surrounding environment. As part of the rezoning of an area to the SCPD a development plan (text and map form) detailing performance standards for building design, parking, access, landscaping, lighting, and signage is required. A compliance waiver from any standard is permitted only if approved as part of the development plan. Any change/modification to an approved development plan must go through the amendment process.

The applicant has provided a development text and plan describing and showing how the site will be used and developed. Waivers have been requested to Section 531.02 – Minimum number of parking spaces required and to Section 541 – Sign and Billboard Regulations. The minimum number of parking space waiver request it to reduce the number of spaces provided from the required 75 spaces to 61 spaces. The waiver request indicates that the applicant operates over 550 locations nationwide and has the experience to know how much parking is needed to successfully operate their sites. The sign and billboard waiver request will allow the site to develop in accordance with the signage package that was submitted as part of the application materials. The waivers are generally related to the size of price signs, the height of price signs, and the orientation of the truck scale sign on the property. The property is unique for a fueling station given the size of the site and having frontage on three roadways. These unique characteristics warrant the requested signage requirement waivers.

The full development plan including text, map, elevations, and signage are included with the meeting materials.

Technical Review Committee Comments

Franklin County Engineer's Office

- The portion of the property located west of Alum Creek Drive needs to be deeded to the Franklin County Commissioners as part of the rezoning.
- Final access approval will be subject to review and approval of a traffic impact study.
- Franklin County, the City of Columbus, and the Ohio Department of Transportation will be responsible for reviewing and approving a traffic impact study.

- The city of Columbus should confirm if they desire a sidewalk or shared use path along the London Groveport Road frontage.
- Landscaping along the roadways needs to ensure adequate site distance for motorists.

Franklin County Drainage Engineer's Office

- There is an existing Water Management Easement on the site that is proposed to be moved. Additional information needs to be provided to ensure appropriate approvals are obtained from the easement holder and to ensure that proper stormwater controls are provided for the proposed development in accordance with the Franklin County Stormwater Drainage Manual.

Franklin Soil and Water Conservation District

- Indicated that native cultivars should be used for a number of the plant species identified on the landscaping plan.

Staff Review

In addition to the waivers requested by the applicant, a waiver is needed to Sections 504.011 and 504.012 to allow the fueling canopy and parking to be located within the Alum Creek Drive front building and parking setbacks as well as to allow the fueling canopy to be located within the London Groveport Road front building setback.

The Zoning Resolution regulates buildings and land use for the purpose of promoting public health, safety and welfare throughout Franklin County. Rezoning proposals are evaluated to determine if such a proposal encourages the appropriate use and development of the land affected and the overall development of the surrounding area such as to achieve this purpose.

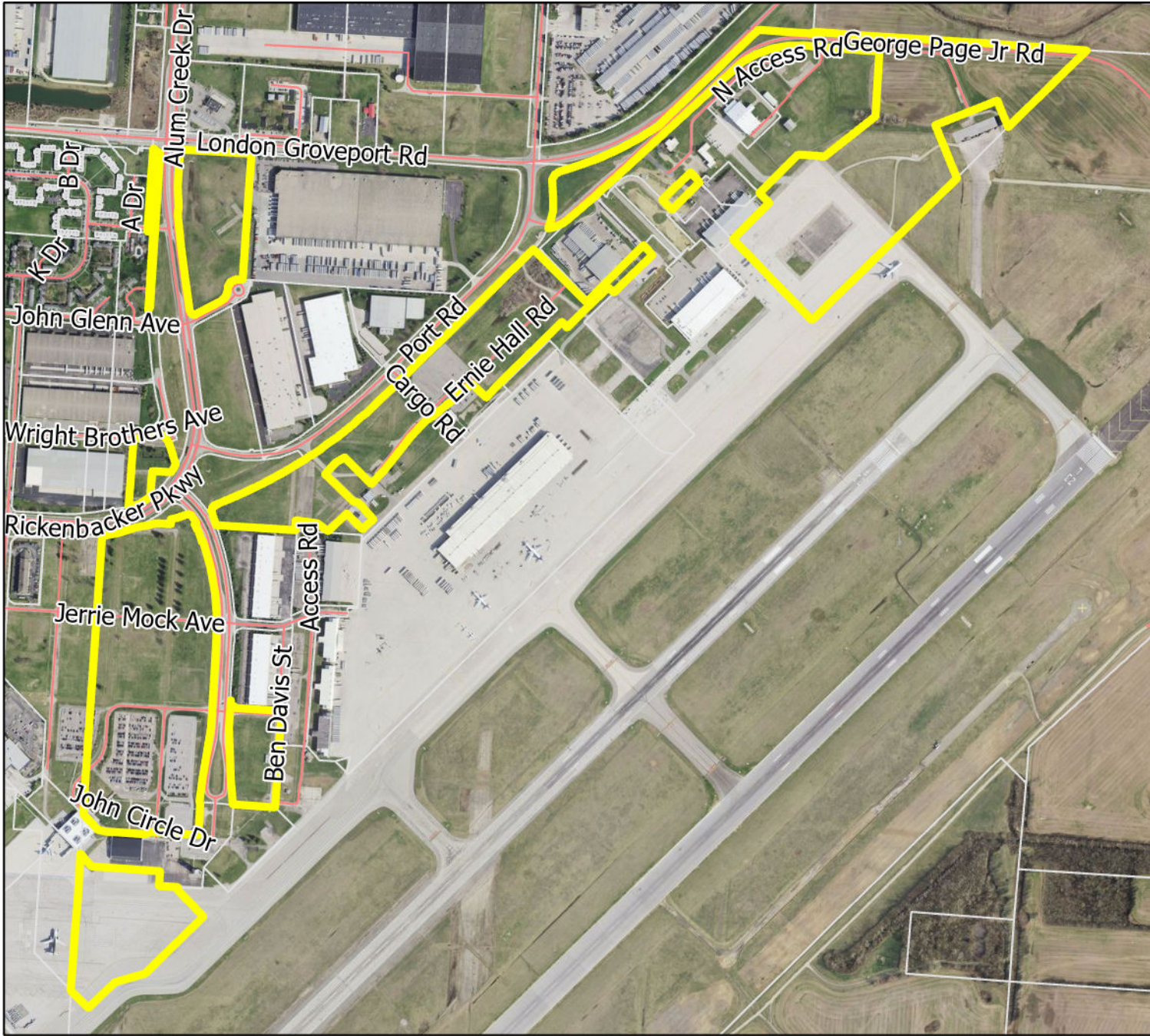
The proposed uses of the site would be beneficial to the surrounding businesses and the employees working in the area and the proposed site design creates an attractive entry point to the Rickenbacker area.

Staff believes that the proposed rezoning to the Select Commercial Planned District advances the general health, safety and welfare of the community by encouraging appropriate use and development of the land affected and the overall development of the surrounding area.

Staff Recommendation

Based on Staff's Review, Staff recommends *approval with conditions* of the proposed rezoning from the General Industrial (GI) district to the Select Commercial Planned District (SCPD). The conditions of approval are as follows:

1. The applicant must update the development text and map prior to consideration by the Board of Commissioners to identify native plant cultivars, to request the additional waivers identified by staff, and to fix typographical errors identified by the Technical Review Committee agencies.
2. The portion of the site located west of Alum Creek Drive must be dedicated to the Board of Commissioners prior to approval of a Certificate of Zoning Compliance.
3. A traffic impact study must be submitted for review and approval by the County Engineer's office, the City of Columbus, and the Ohio Department of Transportation. Final access approval is subject to that review.
4. The city of Columbus must confirm if they desire a sidewalk or shared use path along London Groveport Road prior to approval of a Certificate of Zoning Compliance.
5. The final landscaping plan is subject to revision at the time of Zoning Compliance review to ensure adequate site distance at intersections is provided.
6. The proposed development must show compliance with the requirements of the Franklin County Stormwater Drainage Manual prior to approval of a Certificate of Zoning Compliance.
7. Appropriate governmental entities must approve the relocation of the Water Management Easement prior to approval of a Certificate of Zoning Compliance.

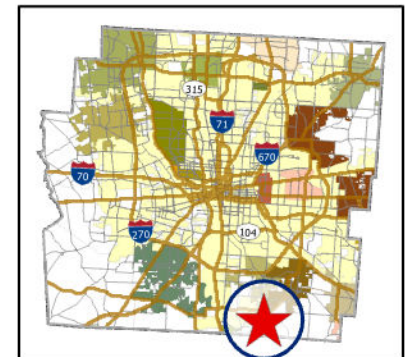


ZON-23-03

Requesting to rezone from the General Industrial (GI) district to the Community Commercial (CC) district.

Acres: 10.330-acres
Township: Madison Township

- Streets
- Parcels
- PID 180-004984



**SELECT COMMERCIAL PLANNED DISTRICT
(SCPD)**

Owner: Columbus Regional Airport Authority

Applicant: Josh Long P.E. – CESO Inc.

Township: Madison Township

Site: 2295 John Circle Drive (PID #180-004984)

Acreage: 10.33-acres

Zoning: General Industrial

Request: Requesting to rezone from the General Industrial District (GI) to the Select Commercial Planned District (SCPD)

Date: May 15, 2023

INTRODUCTION:

This vacant site is located at 2295 John Circle Drive in Madison Township, Franklin County, Ohio and generally north of the Rickenbacker International Airport. The area to be rezoned is 10.33-acres of a larger 140 +/- acre property owned by the Columbus Regional Airport Authority. The site is situated at the southeast corner of the Alum Creek Drive and London Groveport Road intersection.

The Applicant proposes rezoning the site from the General Industrial District to the Select Commercial Planned District to allow for the construction of a fuel service station serving personal and commercial vehicles, market, and truck scale. The development will also include a convenience market with food service. The site will develop to the standards set forth in this development text and the site map.

The site will ultimately annex to the City of Columbus to avail itself of municipal services and utilities. While property is normally annexed and then rezoned in the municipality, in this case there is an existing annexation agreement between the City of Columbus and Columbus Regional Airport Authority which requires the site to be rezoned in the township before the site is annexed. That is the purpose of this application.

PERMITTED USES:

Pursuant to Section 420.02 of the Franklin County Zoning Resolution, the following uses (SIC) shall be permitted:

1. Fixed Facilities and Inspection and Weighing Services for Motor Vehicle Transportation (4785)
2. Food Stores (54)
3. Gasoline Service Station (554)
4. Eating Places (58)

DEVELOPMENT STANDARDS:

The site will be developed in accordance with this development text, the site map, and submitted exhibits. The development standards of ARTICLE V, GENERAL DEVELOPMENT STANDARDS and the development standards of Section 328 – (CC) COMMUNITY COMMERCIAL DISTRICT REGULATIONS have been utilized in the preparation of this development text, site map, and exhibits.

SITE MAP:

The submitted site map and survey depict the existing roads, streets, and easements within the site and the proposed location and approximate site of all structures and ancillary uses.

VEGETATION:

The site is vacant and there is no existing vegetation except for two trees. The site's proposed vegetation is depicted on the submitted landscape plan which will increase on-site landscaping.

SOILS:

The composition of the site's soil is detailed in the submitted soil map. The site's soil primarily consists of Kokomo-Urban land complex (gently rolling) and small pockets of Crosby-Urban land complex (0 to 2 percent slopes).

TRAFFIC:

An analysis of traffic conditions expected to result from the proposed development is set forth in the submitted traffic volume memorandum. This traffic volume memorandum is subject to review and approval by the Franklin County Engineer's Office.

ACCESS:

The site is situated at the south-east corner of the intersection of London Groveport Road and Alum Creek Drive. There are no existing curb cuts for the site. The development proposes one full access driveway on Rickenbacker Parkway, one right-in/right-out access driveway on Alum Creek Drive, and one full access driveway from John Glen Avenue. The access points are depicted on the site map.

PARKING:

The development's proposed parking and internal circuitry is depicted on the site plan. The development proposes providing 16 passenger car fueling stations, 5 commercial truck fueling stations, and 8,100 square feet of convenience market. Section 531.02 requires 2 parking spaces per fueling station (requiring 42 parking spaces) and 1 parking space per 250 square feet of convenience store (requiring 32.4 parking spaces). The total minimum required number of parking spaces for the proposed uses are 74.4 parking spaces. The development requests a compliance waiver to reduce the minimum number of parking spaces to 61 spaces (personal vehicle, ADA, and commercial truck).

STORM WATER DRAINAGE:

The submitted site map and grading plan depicts the site's grading and stormwater management retention pond along the east side of the site. This includes a proposed 2-acre water management easement.

SWEAGE DISPOSAL AND WATER SUPPLY:

The Applicant submitted correspondence from the City of Columbus Division of Water and Division of Sewage and Drainage confirming that municipal water and sewer services will be available to the site post-annexation. There is an existing 42-inch sanitary sewer situated along the site's western property line that can provide sewer service to the site. There is a 24-inch water main on the west side of Alum Creek Drive that can provide water service to the site.

ARCHITECTURAL DESIGN:

The architectural design shall substantially conform to the submitted exterior design renderings and exterior elevations. The exterior elevations exhibit provides an exterior material schedule and the building materials include brick, hardie cement board, EIFS, metal, and glass.

OUTSIDE STORAGE:

Outdoor storage and display areas for propane tank and ice sales shall be permitted in the areas depicted on the site map.

UTILITIES AND FACILITIES:

Utilities shall be placed underground per the applicable requirements and regulations.

POLLUTION:

Smoke - No smoke from an industrial or commercial process shall be emitted from any structure;
Odor - No use shall emit odorous gases or other odorous matter in such quantities as to be offensive at any point on or beyond the property;
Noise – No use shall emit noise greater than sixty decibels at the lot line.

GRAPHICS:

The submitted sign package is the Applicant's typical sign package that it installed on similar sites. Only signage and graphics as shown on the submitted sign package exhibit will be permitted on site and compliance waivers are requested to any applicable standards of Section 541 that the signage and graphics may fail to satisfy.

LIGHTING:

Lighting shall be in the locations depicted in the lighting plan.

SCREENING AND BUFFERING PLAN:

Screening and buffering shall be in general conformance with the submitted landscape plan. The screening details include installation of street trees along Alum Creek Drive, Rickenbacker Parkway, and John Glenn Avenue. Additionally, the screening details include shrubs along Alum Creek Drive and Rickenbacker Parkway with parking lot headlight screening from John Glenn Avenue.

COMPLIANCE WAIVER:

1. Section 531.02 – Minimum number of parking spaces required. The Applicant requests a waiver to reduce the minimum number of parking spaces from 74.4 to 61.

Reasoning: The requested compliance waiver is not a substantial deviation from the resolution requirements and the reduction will not cause adjacent property owners any detriment. The Applicant operates over 550 locations nationwide and a positive customer experience is integral to that level of growth. The first step to a positive customer experience is creating a site with easy access, safe and efficient internal circuitry, and providing space for customers to park to use the provided services. Having so many locations, the Applicant has the experience to know what works for a site and how many parking spaces are needed to provide a good experience for its customers. The spaces depicted on the site map are more than sufficient to provide that positive experience.

The reduction is not a substantial deviation from the requirement. Though the fueling stations and the convenience store parking are calculated independently, there is a lot of overlap in the parking needs between both uses. Often times customers will park at the fueling station and shop in the convenience store while their tank is filling up. Other times customers will park at the fueling station and leave when refueling is complete. Under these circumstances, these customers are parking at the 42 available but unaccounted for parking spaces next to fueling stations. Only the minority of customers that shop at the convenience store without purchasing fuel utilize the on-site parking spaces.

Also, there is a gas station and convenience store across from this site. If ever all of the on-site parking spaces and fuel stations were occupied, a prospective customer could just visit the other gas station across the street. The Applicant is confident that this situation is completely avoidable with the proposed parking plan, but this is a mitigating factor as to whether the requested parking reduction would ever cause a detrimental effect on the community.

2. Section 541 – Sign and Billboard Regulations. The Applicant requests a general waiver to any applicable standards within this section that the submitted sign exhibit may fail to satisfy. The Applicant is committed to the submitted sign exhibit and additional signs and graphics will not be permitted. While the Applicant requests a general waiver to this section, examples of particular standards to waive include increased size of price signs, increased height of price signs, and orientation of CAT sign.

The submitted sign exhibit is a typical package that the Applicant provides for similar sites. The site is unique because it is large and there are three road frontages with three access points. However, the size of the building (which is the basis for graphic area mass factors) is very small comparatively. As a result, this section would require fewer and smaller graphics than is appropriate for a site of this size. The amount and size of the proposed graphics are necessary to ensure safe and efficient wayfinding and facilitating internal circuitry.

Branding is an important component of any retail business. The brand is meant to attract customers with a welcoming environment. A lot of effort has been made to provide quality architecture and to design graphics that complement the site. Please see the submitted sign exhibit, renderings, and elevations to see the complimentary nature of the proposed graphics.

The undersigned, being the owner of the subject property, together with the Applicant in the subject Application, do hereby agree to abide by the above restrictions, conditions, and commitments regarding development of the subject property.



Property Owner or Representative Signature

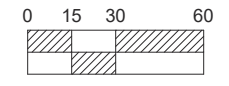
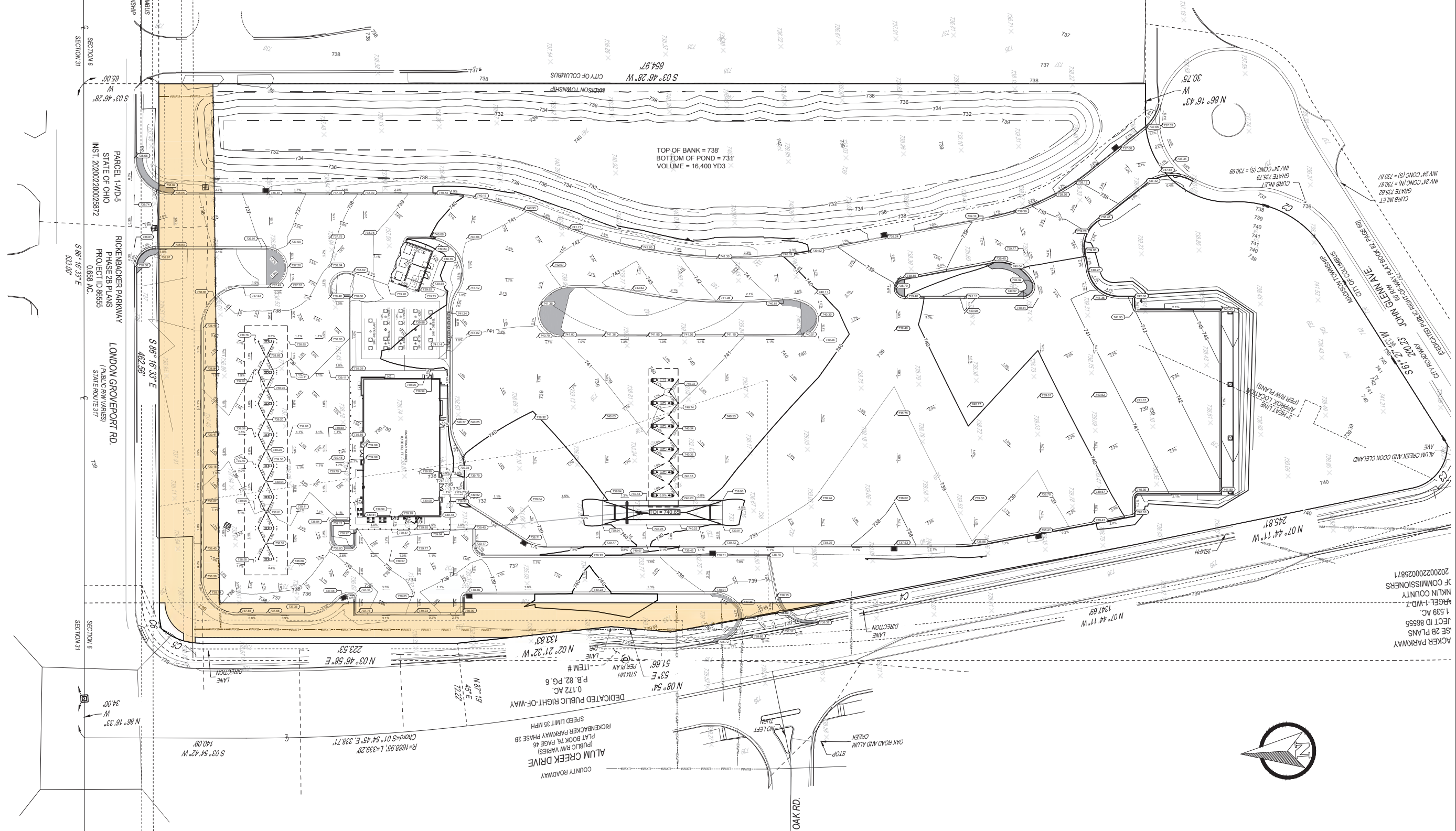


Know what's below.
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Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
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POND EW	1.000	1.125	75839.80 Sq. Ft.	16392.42 Cu. Yd.	44.83 Cu. Yd.	16347.59 Cu. Yd.<Cut>
Totals			381718.78 Sq. Ft.	22348.78 Cu. Yd.	17028.59 Cu. Yd.	5320.19 Cu. Yd.<Cut>

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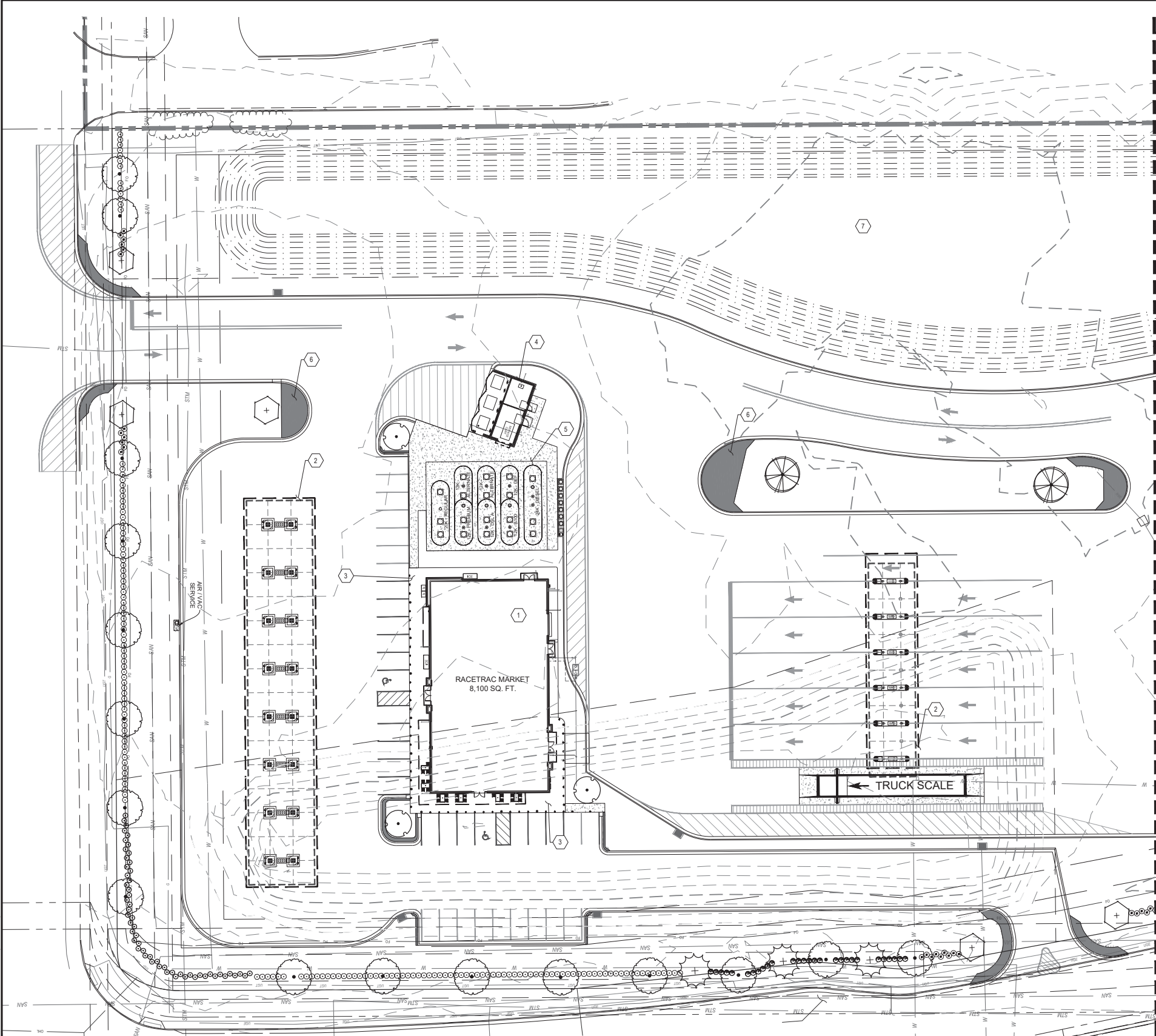
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<p>202002200025871 OF COMMISSIONERS MUNICIPALITY 1.539 AC. JECT ID 86555 SE 2B PLANS ACKER PARKWAY</p>	
<p>Racetrac RACETRAC PETROLEUM, INC. 200 GALLERIA PARKWAY SE SUITE 900 ATLANTA, GA 30339 (770) 431-6600</p>	
<p>GRADING PLAN 1595 RT TRAVEL CENTER ALUM CREEK ALUM CREEK @ LONDON GROVEPORT COLUMBUS, OH FRANKLIN COUNTY</p>	<p>DRAWN-BY: 4/12/2023 DATE: AWONG SCALE: 1" = 30' DRAWING NAME: 1595-RT8.0(KTC) ALUM CREEK V3.dwg</p>
<p>C4</p>	<p>SHEET NO. VERSION</p>

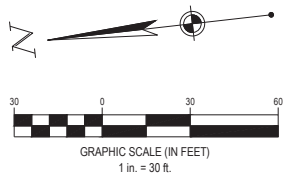
NO.	DATE

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CODED NOTES:

1. PROPOSED BUILDING
2. PROPOSED GAS CANOPY
3. PROPOSED SIDEWALK
4. PROPOSED DUMPSTER ENCLOSURE
5. PROPOSED UNDERGROUND TANK STORAGE
6. PROPOSED CURB BACKING
7. WATER MANAGEMENT AREA



PLANT SCHEDULE					
TREES	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
	5	ACER PLATANOIDES 'CRIMSON SENTRY' CRIMSON SENTRY NORWAY MAPLE	2" CAL	6' HT	AS SHOWN
	5	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	2" CAL	8' HT	AS SHOWN
	3	PICEA PUNGENS COLORADO SPRUCE	---	4' HT	AS SHOWN
	3	PRUNUS SERRULATA 'FIRST BLUSH' FIRST BLUSH CHERRY	2" CAL	8' HT	AS SHOWN
	17	QUERCUS RUBRA RED OAK	2" CAL	10' HT	AS SHOWN
	16	ZELKOVA SERRATA JAPANESE ZELKOVA	2" CAL	10' HT	AS SHOWN
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	70	ABELIA X 'EDWARD GOUCHER' EDWARD GOUCHER ABELIA	---	24" HT	3'-0" OC
	291	ILEX CRENATA JAPANESE HOLLY	---	24" HT	3'-0" OC
	55	JUNIPERUS X PFITZERIANA 'GOLD COAST' GOLD COAST PFITZER JUNIPER	---	24" HT	3'-0" OC
	28	SPIRAEA X BUMALDA 'GOLDFLAME' GOLDFLAME SPIRAEA	---	24" HT	3'-0" OC

MULCH

- ALL PLANT BEDS SHALL CONTAIN A 3" LAYER OF DECORATIVE ROCK MULCH, LOCALLY SOURCED
- CONTRACTOR TO PLACE 4" DIAMETER MULCH RING AROUND ALL TREES IN LAWN

IRRIGATION

- THE CONTRACTOR SHALL DESIGN, SUPPLY, AND INSTALL IRRIGATION SYSTEM FOR ALL SODDED AND PLANTING AREAS AS SHOWN ON THIS SHEET. DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION

LANDSCAPE REQUIREMENTS

- INTERIOR LANDSCAPING**
1 SHADE TREE PER 10 PARKING SPACES, 1 TREE PER LANDSCAPE ISLAND
REQUIRED: 8 SHADE TREES
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REQUIRED: 23 SHADE TREES
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- OVERHEAD POWER LINE
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- UNDERGROUND TELEPHONE LINE
- B/WALE
- MAJOR EXISTING CONTOUR
- MINOR EXISTING CONTOUR
- MINOR ENGINEERED CONTOUR
- MAJOR ENGINEERED CONTOUR

NO.	DATE	DESCRIPTION
1	04/16/2020	KYTC AND CLIENT COMMENTS
2	05/21/2020	KYTC AND CITY COMMENTS
3	06/09/2020	KYTC AND CITY COMMENTS
4	08/07/2020	CLIENT UPDATES



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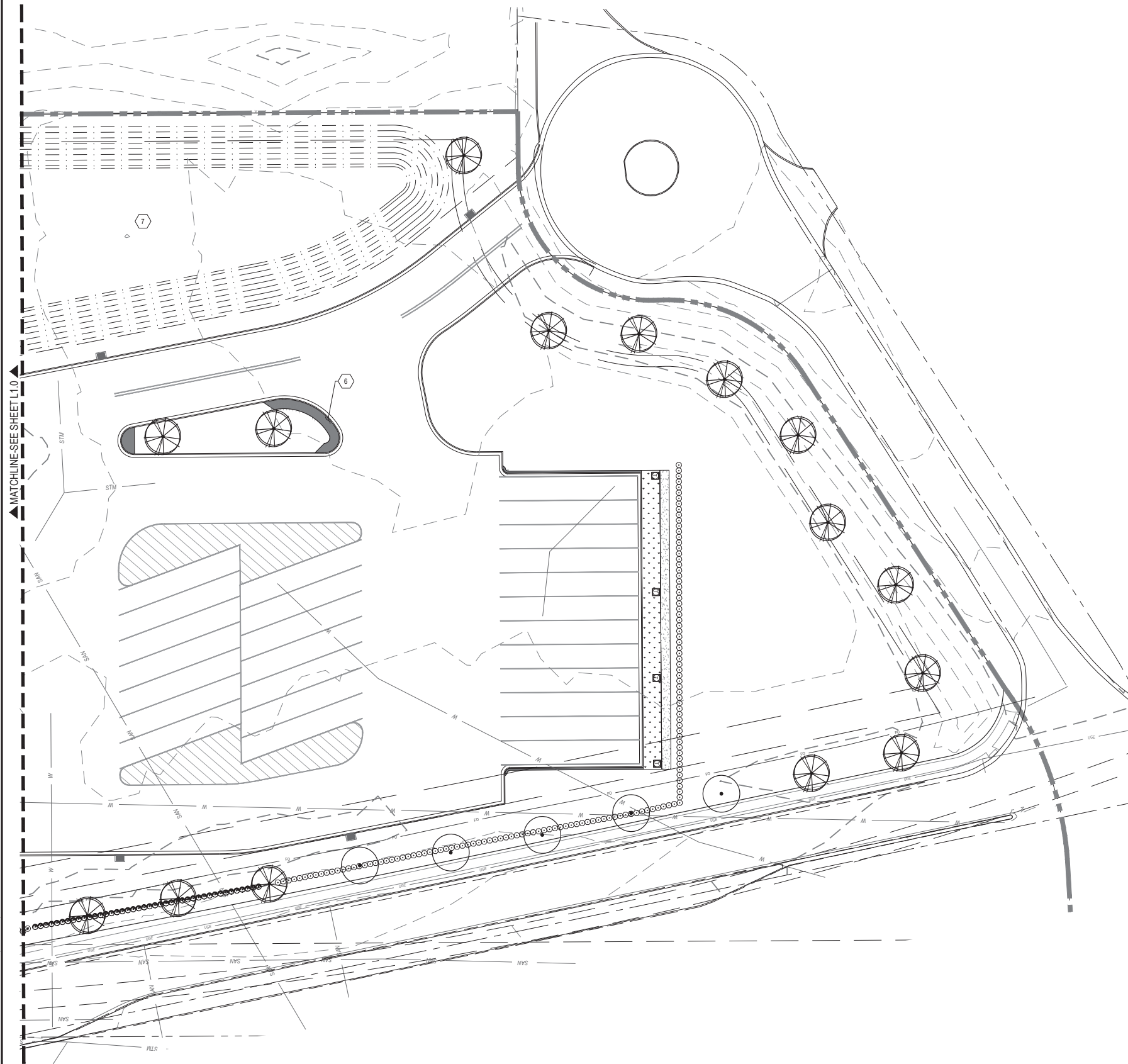
RaceTrac
RACETRAC PETROLEUM LLC
200 GALLERIA PKWY, SE, SUITE 900 ATLANTA, GA 30339
(770) 431-7600

LANDSCAPE PLAN
1595 RT TRAVEL CENTER ALUM CREEK
ALUM CREEK DR. @ LONDON GROVEPORT RD.
COLUMBUS, OHIO
FRANKLIN COUNTY

DRAWN-BY	TRH
DATE	01.19.2023
SCALE	
DRAWING NAME:	LANDSCAPE PLAN
L1.0	VERSION

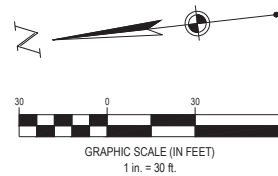
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(770) 431-7600

LANDSCAPE PLAN

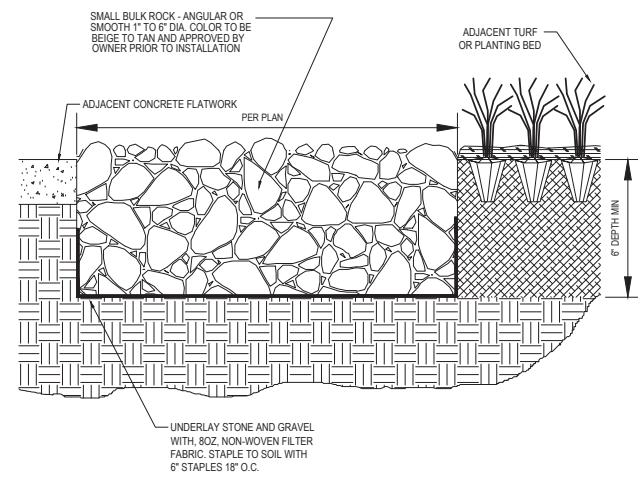
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SHEET NO.	VERSION

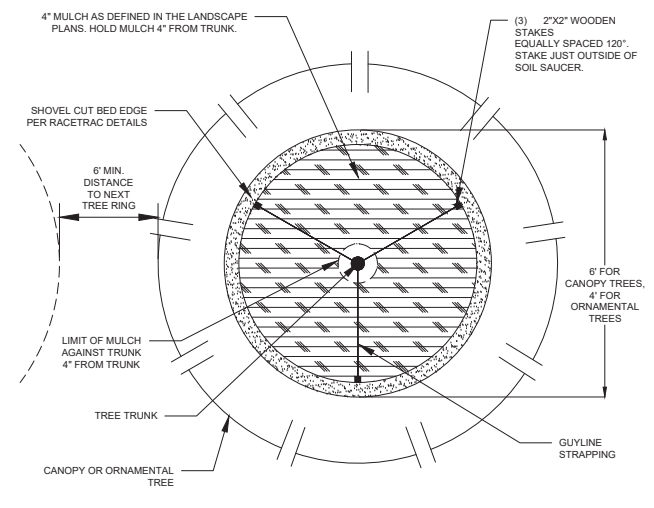
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GENERAL NOTES: LANDSCAPE PLAN

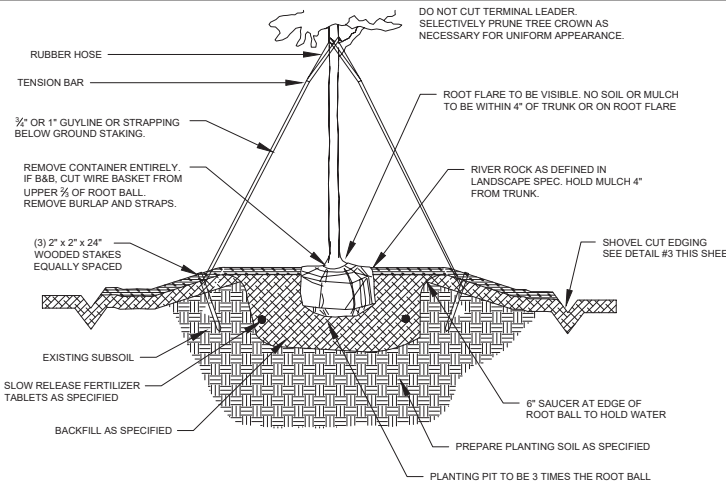
- CONTRACTOR TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY LOCATE SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- REFER TO SITE CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS AND COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWING AS NEEDED.
- REESTABLISH EXISTING TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE RIGHT-OF-WAY.
- CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
- CONTRACTOR TO FINE GRADE AND ROCK-HOUND ALL TURF AREAS PRIOR TO SEEDING, TO PROVIDE A SMOOTH AND CONTINUAL SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEOUS MATERIAL OR DEBRIS.
- REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER. APPLY AMENDMENTS AND FERTILIZER AS NEEDED.
- QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER LABELED ON THE PLANT LEGEND AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GREATER QUANTITY SHALL GOVERN.
- COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
- ALL SIZES AND QUALITY OF PLANT MATERIAL SHALL MEET THE MINIMUM SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014). THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN SIZE AS INDICATED IN THE PLANT SCHEDULE UNLESS OTHERWISE SPECIFIED ON THE PLAN SET. ALL PLANTS THAT DO NOT MEET THE SIZE AND SPECIFICATIONS SET FORTH BY THE AMERICAN STANDARD FOR NURSERY STOCK WILL BE REJECTED BY LANDSCAPE ARCHITECT AT NO COST TO OWNER.
- ONCE PROJECT IS AWARDED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PLANT MATERIAL IN THE SIZE SPECIFIED ON PLAN PRIOR TO INSTALLATION. IN THE EVENT THE PLANT MATERIAL IS NOT AVAILABLE IN THE SIZE SPECIFIED, THE CONTRACTOR SHALL INSTALL LARGER AT NO COST TO OWNER.
- THE LANDSCAPE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AND REPLACED BY CONTRACTOR AT NO COST TO THE OWNER.
- PRIOR TO MOBILIZATION THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT, IN WRITING, IF HE/SHE BELIEVES ANY OF THE PLANT MATERIAL IDENTIFIED ON THE PLAN MAY NOT BE SUITABLE FOR THE SITE OR MAY DIE. SUBSTITUTION REQUESTS WILL BE GRANTED BY THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. IF NOTIFICATION IS NOT GIVEN TO THE LANDSCAPE ARCHITECT ALL PLANTING WHICH FAILS TO GROW (EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE AS DETERMINED BY THE OWNER, NEGLIGENCE OR VANDALISM) SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY LANDSCAPE ARCHITECT TO ADJUST TREE LOCATIONS.
- ALL PLANT MASSES TO BE TOP DRESSED WITH MULCH AS SPECIFIED IN PLANT SCHEDULE, SPREAD UNIFORMLY IN DEPTH OVER THE PLANTING BEDS AS DELINEATED ON THE PLANS UNLESS OTHERWISE NOTED.
- BED EDGE TO BE NO LESS THAN 12" AND NO MORE THAN 18" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING. WHERE GROUND-COVER OCCURS, PLANT TO LIMITS OF AREA AS SHOWN.
- ALL PLANTS SHALL BE GUARANTEED FOR 1 YEAR AFTER SUBSTANTIAL COMPLETION OCCURS AND FINAL ACCEPTANCE BY OWNER.
- LANDSCAPE MAINTENANCE PERIOD BEGINS IMMEDIATELY AFTER THE COMPLETION OF ALL PLANTING OPERATIONS AND WRITTEN ACCEPTANCE FROM FROM THE OWNER AND LANDSCAPE ARCHITECT. MAINTAIN TREES, SHRUBS, LAWNS AND OTHER PLANTS AS PER THE SPECIFICATIONS. LANDSCAPE MAINTENANCE IS THE LANDSCAPING CONTRACTORS RESPONSIBILITY UNTIL FINAL ACCEPTANCE BY THE OWNER.
- ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH LOCAL GOVERNING STANDARDS
- REFER TO PROJECT MANUAL OR WRITTEN SPECIFICATIONS, IF AVAILABLE, FOR ADDITIONAL REQUIREMENTS



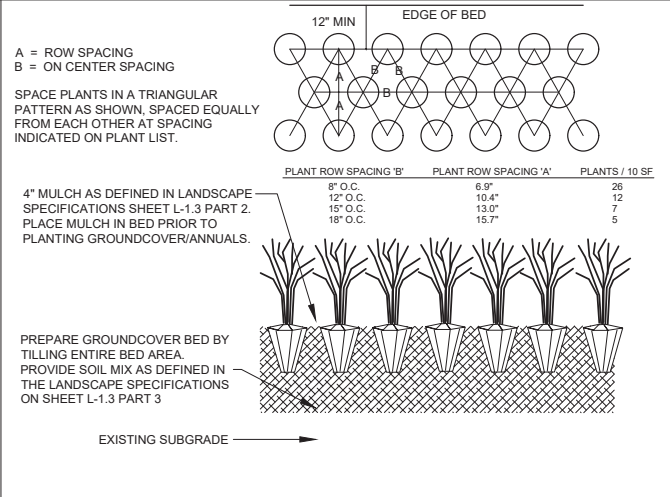
1 SIGNATURE RIVER ROCK MULCH
L2.0 NTS



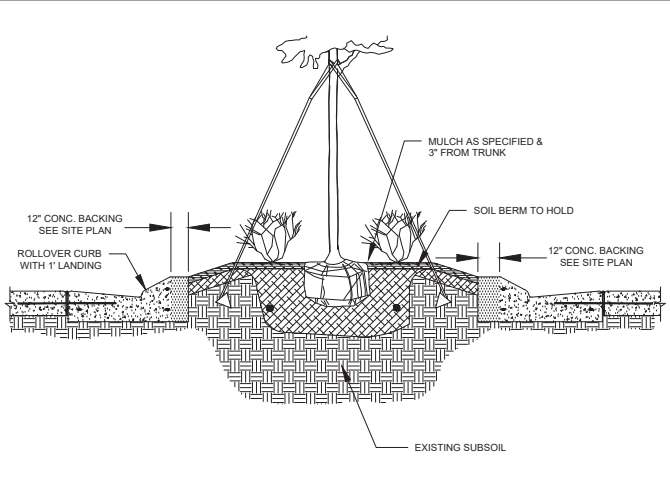
2 MULCHING RING AT TREES
L2.0 NTS



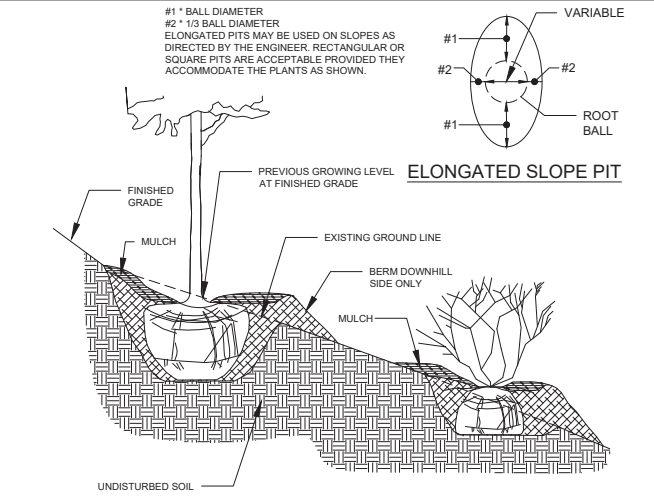
3 STAKED TREE (GENERAL)
L2.0 NTS



4 GROUNDCOVER PLANTING
L2.0 NTS

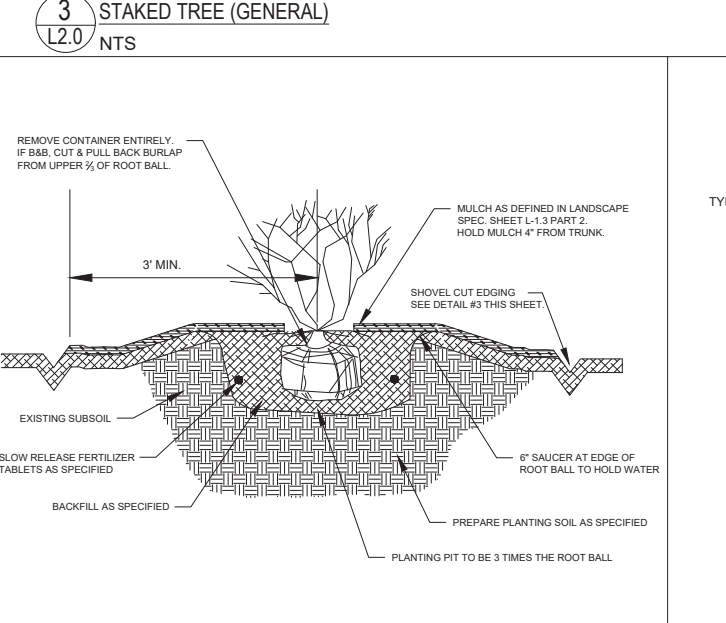


5 LANDSCAPE ISLAND BED (TYP)
L2.0 NTS

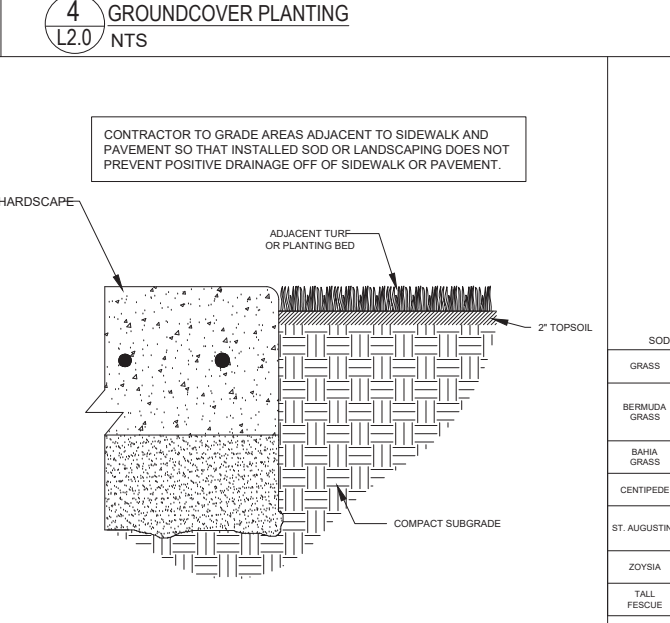


6 PLANT PLACEMENT ON SLOPE
L2.0 NTS

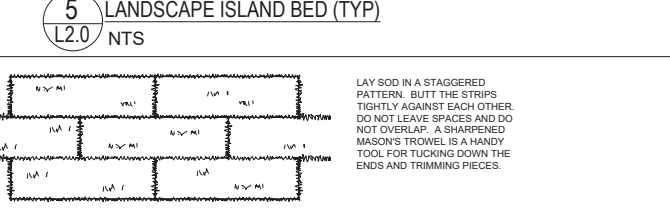
W:\PROJECTS\BACETRAC\70608 - ALUM CREEK DR. - COLUMBUS, OHIO, L.A. PLAN, CONTRACTOR COLUMBUS OH ALUM CREEK PLANTING PLANDWG - 8/3/2023 4:25 PM



7 SHRUB (GENERAL)
L2.0 NTS



8 SOD AGAINST HARDSCAPE
L2.0 NTS



SHOOTS - OR GRASS BLADES. GRASS SHOULD BE GREEN AND HEALTHY. MOWED AT A 2"-3" CUTTING HEIGHT.
THATCH - GRASS CLIPPINGS AND DEAD LEAVES. UP TO 1/2" THICK.
ROOT ZONE - SOIL AND ROOTS SHOULD BE 1/2" - 3/4" THICK, WITH DENSE ROOT MAT FOR STRENGTH.

SOD PLANTING REQUIREMENTS

GRASS	VARIETIES	RESOURCE AREA	GROWING SEASON
BERMUDA GRASS	COMMON TIFWAY TIFGREEN TIFLAWN	M-L-P C P.C P.C	WARM WEATHER
BAHIA GRASS	PENSACOLA	P.C	WARM WEATHER
CENTPEDE		P.C	WARM WEATHER
ST. AUGUSTINE	COMMON BITTERBLIE RALEIGH	C	WARM WEATHER
ZOYSIA	EMERALD MYER	P.C	WARM WEATHER
TALL FESCUE	KENTUCKY	M-L-P	COOL WEATHER

FERTILIZER REQUIREMENTS FOR SOD

TYPES OF SPECIES	PLANTING YEAR	FERTILIZER (N-P-K)	RATE (lb/acre)	NITROGEN TOP DRESSING RATE (lb/acre)
COOL SEASON GRASSES	FIRST	6-12-12	1500	50-100
	SECOND MAINTENANCE	10-10-10	400	30
WARM SEASON GRASSES	FIRST	6-12-12	1500	50-100
	SECOND MAINTENANCE	10-10-10	400	30

FERTILIZER REQUIREMENTS FOR SOIL SURFACE APPLICATION

FERTILIZER TYPE	RATE (lb/acre)	FERTILIZER RATE (lb/sq ft)	SEASON
10-10-10	1000	.025	FALL

9 SOD
L2.0 NTS

- AGENDA ITEMS**
- SCHEDULE
 - ARE THE CONSTRUCTION PROJECT MANAGER, ENGINEERING PROJECT MANAGER, LANDSCAPE CONTRACTOR PRESENT?
 - HAS A START DATE BEEN TARGETED AND TIME FRAMES LAID OUT?
 - HAVE THE OTHER REQUIRED ON-SITE MEETINGS BEEN DISCUSSED?
 - IS EVERYONE ON THE SAME PAGE MOVING FORWARD?
 - TOP SOIL
 - WHO IS BRINGING IT TO THE SITE?
 - WHEN SHOULD IT BE BROUGHT TO THE SITE?
 - WHERE WILL IT BE STOCKPILED?
 - PLAN REVIEW
 - HAS IT BEEN STRESSED THAT WE PREFER ROLLED SOD OVER SQUARE PALLETS WHERE APPLICABLE?
 - ARE THE IRRIGATION SLEEVES IN THEIR PROPER LOCATION?
 - WILL STRUCTURES / UTILITIES PREVENT THE IRRIGATION MAINLINE FROM BEING THREE (3) FEET OFF OF CURB?
 - IS EVERYONE CLEAR ON HOW THE IRRIGATION TIES IN AND OUT OF THE BUILDING?
 - SUBMITTALS / APPROVALS
 - IS THE LANDSCAPE CONTRACTOR CLEAR ON WHAT ALL NEEDS TO BE SELECTED (TAGGED) AND SEEN BEFORE SHOWING UP ON SITE?
 - PICTURES OF SHRUBS, SOD, INDIVIDUAL TREES, ROCK MULCH, AND WOOD MULCH.
 - MISCELLANEOUS
 - HAVE CIRCUMSTANCES UNIQUE TO THE SITE BEEN DISCUSSED?
 - DOES ANYONE AT THE MEETING HAVE ANY QUESTIONS OR CONCERNS ABOUT THEIR RESPONSIBILITIES MOVING FORWARD WITH THE PROJECT?

10 LANDSCAPE PRE-CON MEETING AGENDA
L2.0 NTS

NO.	DATE	REVISIONS
1	04/16/2020	KYTC AND CLIENT COMMENTS
2	05/21/2020	KYTC AND CITY COMMENTS
3	06/09/2020	KYTC AND CITY COMMENTS
4	08/07/2020	CLIENT UPDATES

CESO
WWW.CESOINC.COM

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RaceTrac

RACETRAC PETROLEUM LLC
200 GALLERIA PKWY, SE SUITE 800 ATLANTA, GA 30339
(770) 431-7600

LANDSCAPE DETAILS

1595 RT TRAVEL CENTER ALUM CREEK
ALUM CREEK DR. @ LONDON GROVEPORT RD.
COLUMBUS, OHIO
FRANKLIN COUNTY

DRAWN BY	TRH
DATE	01/19/2023
SCALE	
DRAWING NAME:	LANDSCAPE DETAILS
L2.0	
SHEET NO.	VERSION

Received 5/16/23



ISSUE/REVISION RECORD

DATE	DESCRIPTION
05/11/23	PHOTOMETRIC PLAN



PROJECT NAME

LONDON GROVEPORT

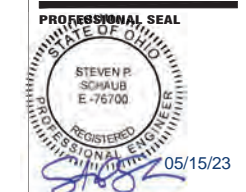
FRANKLIN COUNTY OH 43209
ALUM CREEK ROAD

RACETRAC STORE NUMBER
#1595

PROTOTYPE SERIES
TC RH

PLAN MODIFICATION NOTICE

SPB NO.	DATE
STANDARD PLAN BULLETINS (SPB) MODIFY THE PROTOTYPE SERIES SET NOTED ABOVE. THE LISTED SPB REPRESENTS THE LATEST MODIFICATION INCORPORATED TO THIS PROTOTYPE SERIES SET AT ORIGINAL RELEASE. THE ISSUE/REVISION RECORD COLUMN ABOVE LISTS ANY REVISIONS OR SPB INCORPORATED IN THIS SET AFTER THE ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY SUBSEQUENT BULLETINS NOT INCORPORATED HEREIN.	



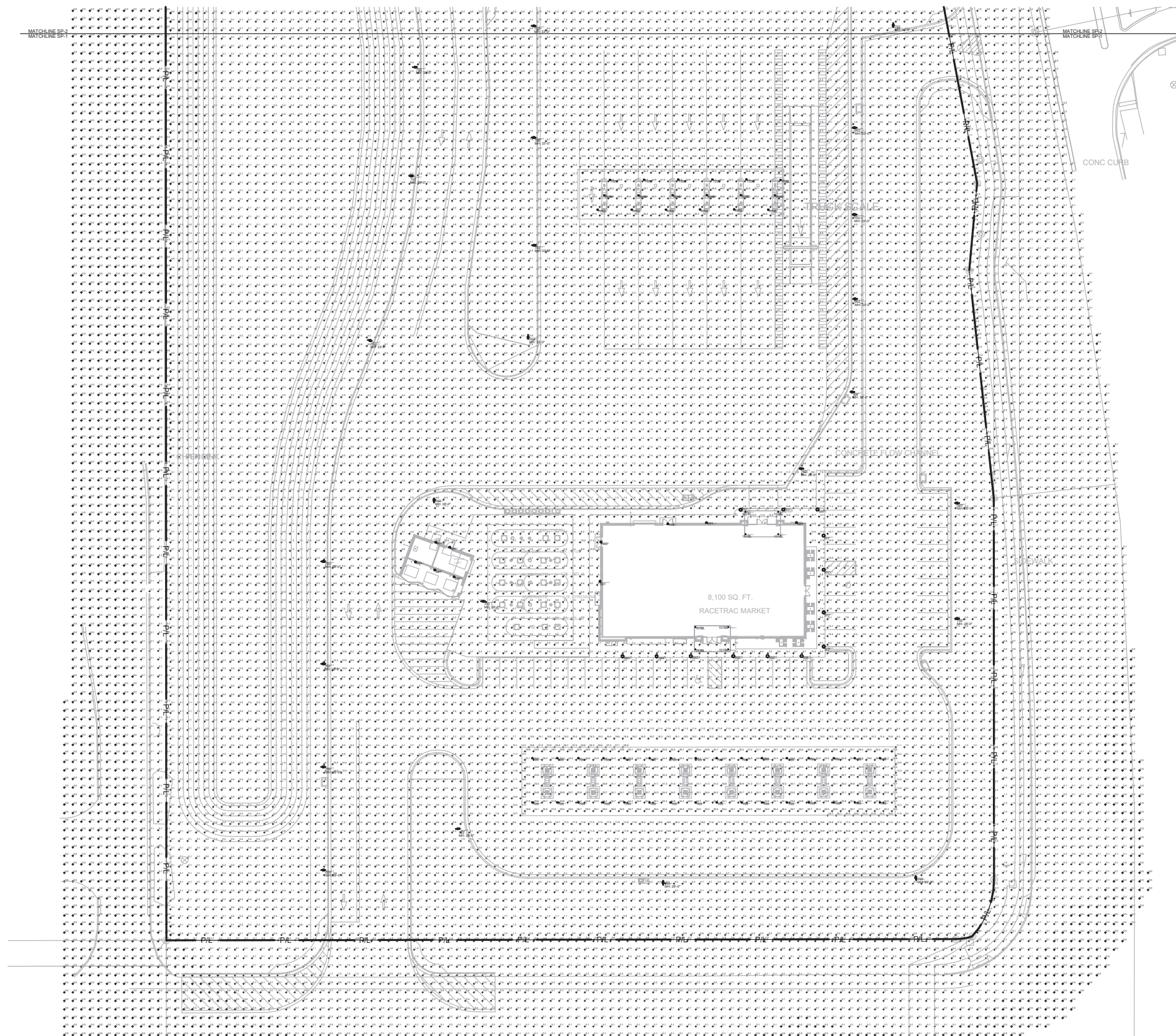
PROJECT NUMBER
 2023157.18

SHEET TITLE

SITE PHOTOMETRY PLAN

SHEET NUMBER

SP-1



LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
□	705	32	701948-SW-WT-M150-P2-601106	SLOAN MODUS PD13 PETROLEUM CANOPY LED LUMINAIRE WHITE FINISH	LEDS.	701948-SWT-WT3-M150.IES	Absolute	0.70	118.5
□	705B	18	701948-SW-BZ-M150-P2-601106	SLOAN MODUS PD13 PETROLEUM CANOPY LED LUMINAIRE BRONZE FINISH	LEDS.	701948-SBZ-WT3-M150.IES	Absolute	0.70	118.5
○	101BL	8	LBR6-AL03-SWW1-AR-TRW-LSS-MWD-MVOLT-UJZ	LED DOWNLIGHT RECESSED WHITE PLASTIC LENS	LEDS.	LR6.IES	3300	1.00	38
○	507	13	RADPTLED-P3-4K-SYM-MVOLT-RADPT20-FA0-DOBXD	RADEAN POST TOP LED AREA LUMINAIRE FROSTED GLASS DIFFUSER	LEDS.	RADPT_P3_40K_SYM.IES	7303	1.00	54
⬆	702	42	RSX2 LED-P6-40K-R4-MVOLT-RPA-DOBXD	LITHONIA - RSX2 OUTDOOR LED AREA LIGHT	LEDS.	RSX2_LED_P6_40K_R4.IES	Absolute	1.00	244
⬆	501	8	ARC2-LED-P6-40K-MVOLT-DOBXD	LITHONIA WALL LUMINAIRE (ARC2)	LEDS.	ARC2_LED_P4_40K.IES	Absolute	1.00	51
⬆	502	2	ARC2-LED-P4-40K-MVOLT-DOBXD	LITHONIA WALL LUMINAIRE (ARC2)	LEDS.	LSI_XWM-FT-LED-44-60.IES	Absolute	1.00	30

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Beyond Property Line	+	0.3 fc	2.1 fc	0.0 fc	N/A	N/A
Canopy	+	30.3 fc	35.3 fc	15.0 fc	2.4:1	2.0:1
Site	+	3.5 fc	36.5 fc	0.0 fc	N/A	N/A
Vehicle Area	⊗	4.9 fc	27.1 fc	0.8 fc	33.9:1	6.1:1
Property Line	+	0.6 fc	2.9 fc	0.0 fc	N/A	N/A
Truck Canopy	+	39.9 fc	50.5 fc	15.5 fc	3.3:1	2.6:1

- GENERAL NOTES**
- ALL FIXTURES UTILIZED IN THIS SITE PHOTOMETRIC PLAN ARE FULL CUTOFF.
 - MOUNT AREA LUMINAIRE TYPE '702(S)' AT 28'-0" AFG (INCLUDING POLE BASE)
 - MOUNT AREA LUMINAIRE TYPE '702(S)' IN TRUCK AREA AT 33'-0" AFG (INCLUDING POLE BASE)
 - FILE NUMBERS PROVIDED FOR PHOTOMETRY REFERENCE ONLY. CATALOG NUMBERS SHALL BE UTILIZED FOR ORDERING FIXTURES.
 - COLOR TEMPERATURE OF FIXTURES SHALL BE PROVIDED AS FOLLOWS
 - AREA LIGHTING - 5700K
 - BUILDING MOUNTED - 5700K
 - DECORATIVE POLE - 5000K
 - CANOPY - 5700K
 - CANOPY DOWNLIGHTS - 4000K



ISSUE/REVISION RECORD

DATE	DESCRIPTION
05/11/23	PHOTOMETRIC PLAN



PROJECT NAME

LONDON GROVEPORT

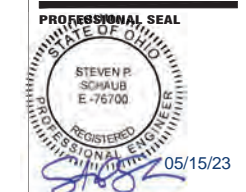
FRANKLIN COUNTY OH 43209
 ALUM CREEK ROAD

RACETRAC STORE NUMBER
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PROTOTYPE SERIES
TC RH

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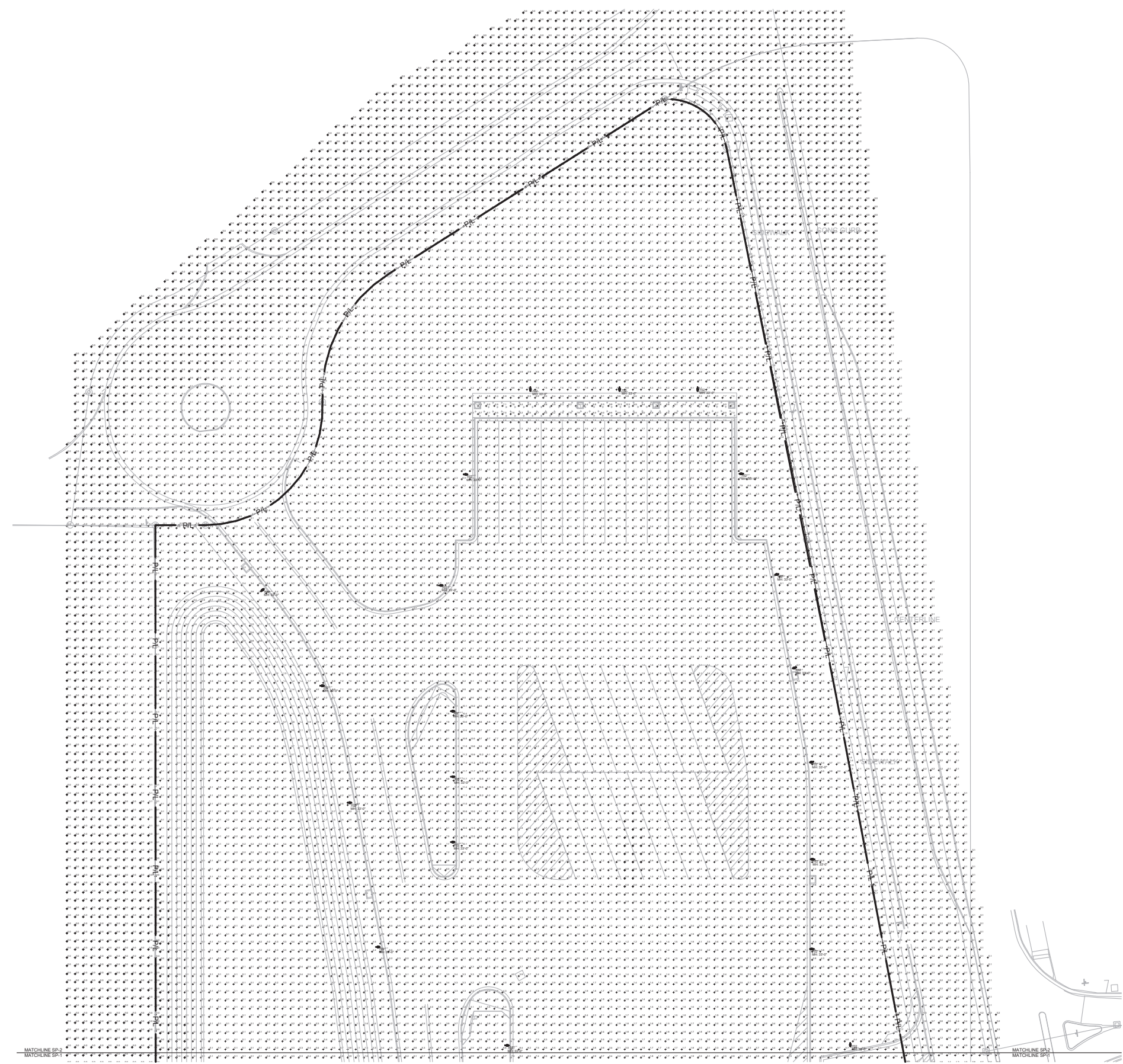
PROJECT NUMBER
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SHEET TITLE

SITE PHOTOMETRY PLAN

SHEET NUMBER

SP-2



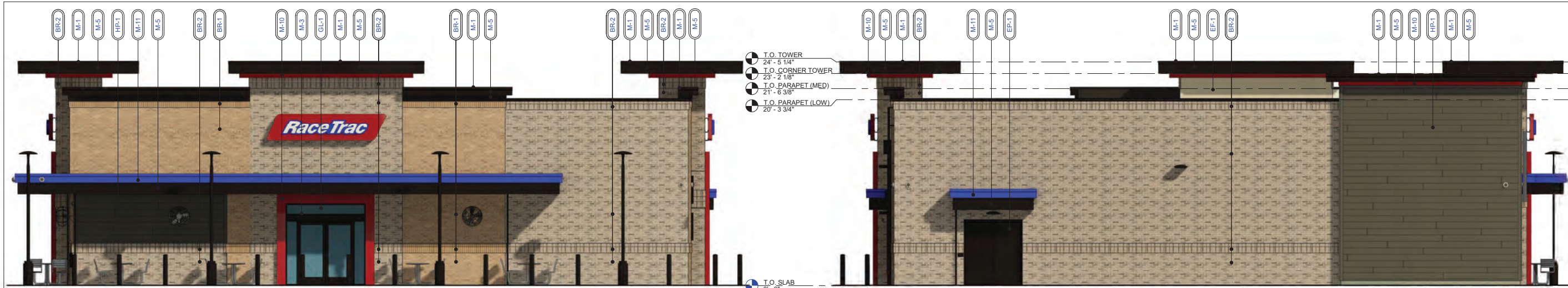
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⬆	502	2	ARC2-LED-P4-40K-MVOLT-DOBXD	LITHONIA WALL LUMINAIRE (ARC2)	LEDS.	LSI_XWM-FT-LED_04-50.IES	Absolute	1.00	30

STATISTICS

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Site	+	3.5 fc	36.5 fc	0.0 fc	N/A	N/A
Vehicle Area	X	4.9 fc	27.1 fc	0.8 fc	33.9:1	6.1:1
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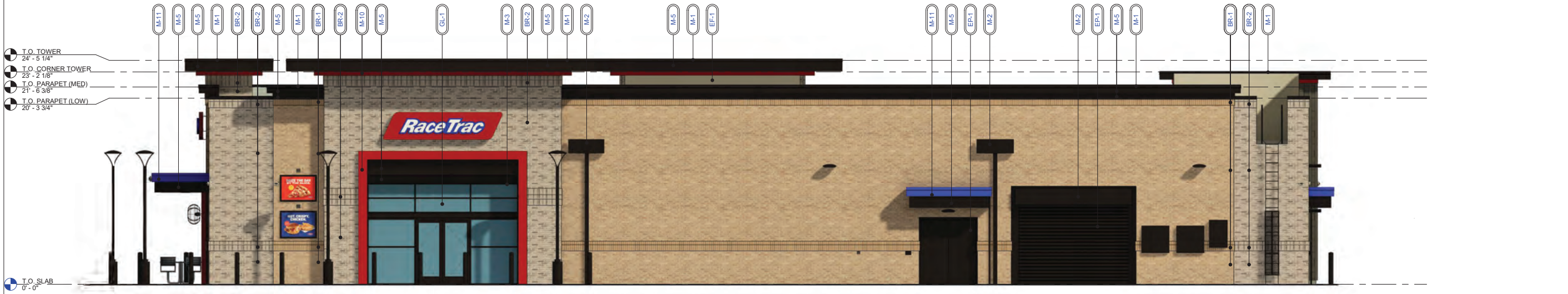
4 RIGHT ELEVATION
3/16" = 1'-0"

RIGHT ELEVATION (ENTRY)		
MATERIAL	SQ. FOOT.	% OF ELEVATION
BRICK	1,008	64%
EIFS	0	0%
GLAZING	78	5%
METAL	398	25%
COMPOSITE SIDING	90	6%

ELEVATION	SIGNAGE	DIMENSIONS	AREA
RIGHT	RT PARALLELOGRAM	13'-5/8" X 3'-0"	40 SF

3 LEFT ELEVATION
3/16" = 1'-0"

LEFT ELEVATION (NON-ENTRY)		
MATERIAL	SQ. FOOT.	% OF ELEVATION
BRICK	884	56%
EIFS	54	3%
GLAZING	0	0%
METAL	246	16%
COMPOSITE SIDING	394	25%



2 REAR ELEVATION
3/16" = 1'-0"

REAR ELEVATION		
MATERIAL	SQ. FOOT.	% OF ELEVATION
BRICK	1,754	65%
EIFS	48	2%
GLAZING	182	7%
METAL	696	26%
COMPOSITE SIDING	0	0%

ELEVATION	SIGNAGE	DIMENSIONS	AREA
REAR	RT PARALLELOGRAM	13'-5/8" X 3'-0"	40 SF
REAR	RT BANNER	4'-0" X 3'-0"	12 SF
REAR	RT BANNER	4'-0" X 3'-0"	12 SF



1 FRONT ELEVATION
3/16" = 1'-0"

FRONT ELEVATION		
MATERIAL	SQ. FOOT.	% OF ELEVATION
BRICK	1,471	55%
EIFS	53	2%
GLAZING	265	10%
METAL	512	19%
COMPOSITE SIDING	394	14%

ELEVATION	SIGNAGE	DIMENSIONS	AREA
FRONT	RT PARALLELOGRAM	13'-5/8" X 3'-0"	40 SF
FRONT	BANNER	7'-8" X 5'-6"	42 SF

EXTERIOR MATERIAL SCHEDULE			
BRICK			
BR-1	US BRICK	LAREDO (QUEEN 1/3 BOND)	MORTAR COLOR "LIGHT BUFF"
BR-2	US BRICK	MOUNT RUSHMORE (QUEEN 1/3 BOND)	MORTAR COLOR "LIGHT BUFF"
CEMENT BOARD			
HP-1	JAMES HARDIE	SMOOTH LAP SIDING (OR APPROVED ALTERNATE)	PAINTED SHERWIN WILLIAMS "SEALSKIN" #7675. BLIND FASTEN AND STAGGER PLANKS PER MANUFACTURER'S RECOMMENDATION
EIFS			
EF-1	STO	EIFS FASCIA AND SOFFIT	"FINE FINISH" APPLICATION; COLOR TO MATCH SW #6141 "SOFTIER TAN"
GLAZING			
GL-1		1" NON-IMPACT RATED INSULATED GLAZING	CLIMATE ZONES 2 OR 3. IGU AT STOREFRONT 0.28 U-FACTOR, SHGC PF>0.25=0.27 (1/4" PPG SOLARBAN 70-XL LOW-E #2 +1/2" AIR +1/4" CLEAR) OR APPROVED ALTERNATE. SEE A600
METAL			
M-1		PREFINISHED 4" 2-PIECE COMPRESSION METAL COVER	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-2		COLOR DARK BRONZE	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-3	VISTAWALL (OR APPROVED ALTERNATE)	FG-3000 STOREFRONT SYSTEM (OR APPROVED ALTERNATE)	PREFINISHED DARK BRONZE ANODIZED ALUMINUM AA-M2C22A44
M-5	ALCOA	REYNOBOND PE	COLORWELD 500 "CLASSIC BRONZE"
M-7	JAMES HARDIE, VERSATEX, NICHISOFFIT, OR TRU EXTERIOR	SMOOTH NON-VENTED SOFFIT PANEL (OR APPROVED ALTERNATE)	PAINT SOFTER TAN
M-10	ALCOA	REYNOBOND PE	TRD RED
M-11	ALCOA	REYNOBOND PE	HYB BLUE
PAINT			
EP-1	SHERWIN WILLIAMS	EXTERIOR PAINT TO SW #7020 "BLACK FOX"	
TREX			
TX-1	SELECT COMPOSITE	1"X 6"	WINCHESTER GRAY
WINDOW FILM			
WF-1		WINDOW FILM; 3M PRESTIGE 70 SOLAR FILM	SEE A600 FOR WINDOW FILM LOCATIONS
WF-2		WINDOW FILM; OPAQUE	SEE A600 FOR WINDOW FILM LOCATIONS

ISSUE/REVISION RECORD	
DATE	DESCRIPTION
10/20/22	SPB NO. 0304

RaceTrac

RACETRAC INC.
200 GALLERIA PARKWAY SOUTHEAST
SUITE 900
ATLANTA, GEORGIA 30339
(770) 431-7600

PROJECT NAME
ANYTOWN,CITY

CITY
STATE 00000
ADDRESS

RACETRAC STORE NUMBER
#0000

PROTOTYPE SERIES 2022
2022 RH MO 0304

PLAN MODIFICATION NOTICE
SPB NO. 0304 DATE 10/20/22

STANDARD PLAN BULLETINS (SPB) MODIFY THE
PROTOTYPE SERIES SET NOTED ABOVE. THE
LISTED SPB REPRESENTS THE LATEST
MODIFICATION INCORPORATED TO THIS
PROTOTYPE SERIES SET AT ORIGINAL RELEASE.
THE ISSUE/REVISION RECORD COLUMN ABOVE
LISTS ANY REVISIONS OR SPB INCORPORATED IN
THIS SET AFTER THE ORIGINAL RELEASE.
CONTACT RACETRAC ENGINEERING AND
CONSTRUCTION FOR ANY SUBSEQUENT
BULLETIN NOT INCORPORATED HEREIN.

PROFESSIONAL SEAL

PROJECT NUMBER
XXXXXXXXXX

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
300



RaceTrac Front Corner Perspective

5.5K PROTOTYPE

DESIGN REPRESENTATION ONLY – NOT FOR CONSTRUCTION
The building images shown are a representation of the current design intent only. The building images may not reflect variations in color, tone, hue, tint, shading, ambient light intensity, materials, texture, contrast, font style, construction variations required by building codes or inspectors, material availability or final design detailing.



RaceTrac Front Corner Perspective (Masonry Detail Opt 2)

5.5K PROTOTYPE

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RaceTrac Rear Corner Perspective

5.5K PROTOTYPE

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RaceTrac Rear Corner Perspective

5.5K PROTOTYPE

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INDUSTRY STANDARDS, MANUFACTURER'S RECOMMENDATIONS
AND ALL APPLICABLE STATE & LOCAL CODES
NO SUBSTITUTIONS ALLOWED









**RT1595 London Groveport -TC
Signage Mini Book
Alum Creek @ London Groveport
Columbus, OH**

Revision #	Date	Page # and Details
1	00.00.00	Comments

RECEIVED
MAY 16 2023
Franklin County Planning Department
Franklin County, OH

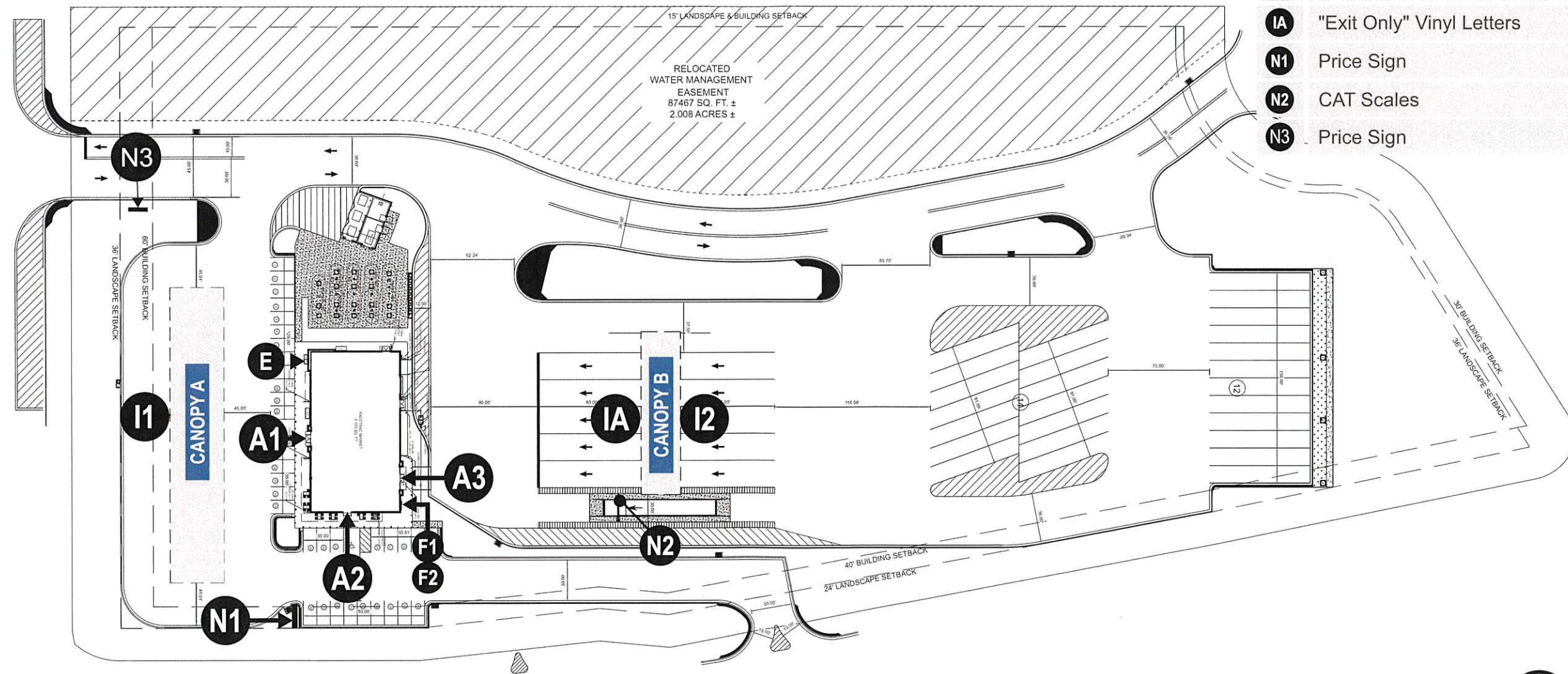
ZON-23-03

COLOR	SUPPLIER(S)	PART NUMBER(S)
C1	AKZO NOBEL MATTHEWS	Akzo SIGN91780 Red* MP81489 R137186 LVS Semi-Gloss V1.1 Racetrac Red
C2	AKZO NOBEL MATTHEWS	Akzo Sign 10553 White* MP83729 R143456 LVS Semi Gloss V1.1 White
C3	AKZO NOBEL MATTHEWS	Dark Bronze 313E MP21286 R170760 Dark Bronze 313E
C5	AKZO NOBEL MATTHEWS 3M	Akzo Code Sign3243 Blue* MP02136 R143265 LVS Semi-Gloss V1.1 Sultan Blue 7725-17 Vivid Blue Opaque Vinyl
C6	3M	3630-22 Black Translucent Vinyl
C7	3M	3630-156 Vivid Green Translucent Vinyl
C8	3M	3630-143 Poppy Red Translucent Vinyl
C9	3M	3630-127 Intense Blue Translucent Vinyl (Ethanol Free-DEF)
C11	FORT MYERS, FL AWNING ONLY AKZO NOBEL MATTHEWS	PMS 1807C Color Match (see provided sample) PMS 1807C Color Match (see provided sample)
C15	NAPLES, FL AWNING ONLY AKZO NOBEL MATTHEWS	SW 6444 Color Match (see provided sample) SW 6444 Color Match (see provided sample)
C18	3M	7725-10 White Opaque Vinyl
C19	AKZO NOBEL MATTHEWS	CUSTOM COLOR MATCH-SAMPLE PROVIDED Mp15024 RED DRAGON LVS SEMI GLOSS V1.1
C20	AKZO NOBEL MATTHEWS	CUSTOM COLOR MATCH-SAMPLE PROVIDED Mp10259 LVS SEMI GLOSS V1.1
C21	MATTHEWS	Mp10147 IMPULSE SATIN FINISH
C22	SHERWIN WILLIAMS	Sw9087 SMOKEY BEIGE
C23	SHERWIN WILLIAMS	Sw7675 SEALSKIN

	RACE TRAC PRINT-Provided by Miratec Systems
	SWIRLWORLD PRINT-Provided by Miratec Systems
	Flex Face Provided by Others; Install by Sign Vendor
	Provided by Others; Install by Sign Vendor
	3M 3630-43 Light Tomato Red Translucent Vinyl
	Provided by Others; Install by Sign Vendor
	3M 3630-015 Yellow Translucent Vinyl 3M 3630-22 Black Translucent Vinyl or Laminated Digital Print -Provided by Miratec Systems
	3M 3630-167 Bright Blue Translucent Vinyl or Laminated Digital Print -Provided by Miratec Systems
	3M 3630-337 Process Blue Translucent Vinyl or Laminated Digital Print -Provided by Miratec Systems

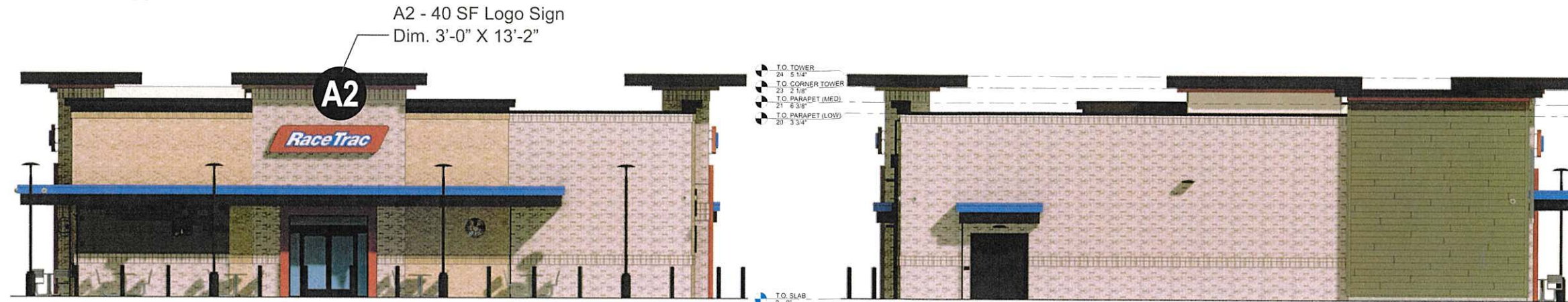


Sign Legend	
A1	Main Identification Sign
A2	Secondary Identification Sign
A3	Secondary Identification Sign
E	Illuminated Wall Cabinet
F1	Promotional Signage
F2	Promotional Signage
I1	Canopy Cloud Sign
I2	Canopy
IA	"Exit Only" Vinyl Letters
N1	Price Sign
N2	CAT Scales
N3	Price Sign



Building Elevations - Right Hand Rear Entry

TRAVEL CENTER



4 RIGHT ELEVATION
3/16" = 1'-0"

3 LEFT ELEVATION
3/16" = 1'-0"



2 REAR ELEVATION
3/16" = 1'-0"



1 FRONT ELEVATION
3/16" = 1'-0"



See Color Schedule on Page 2

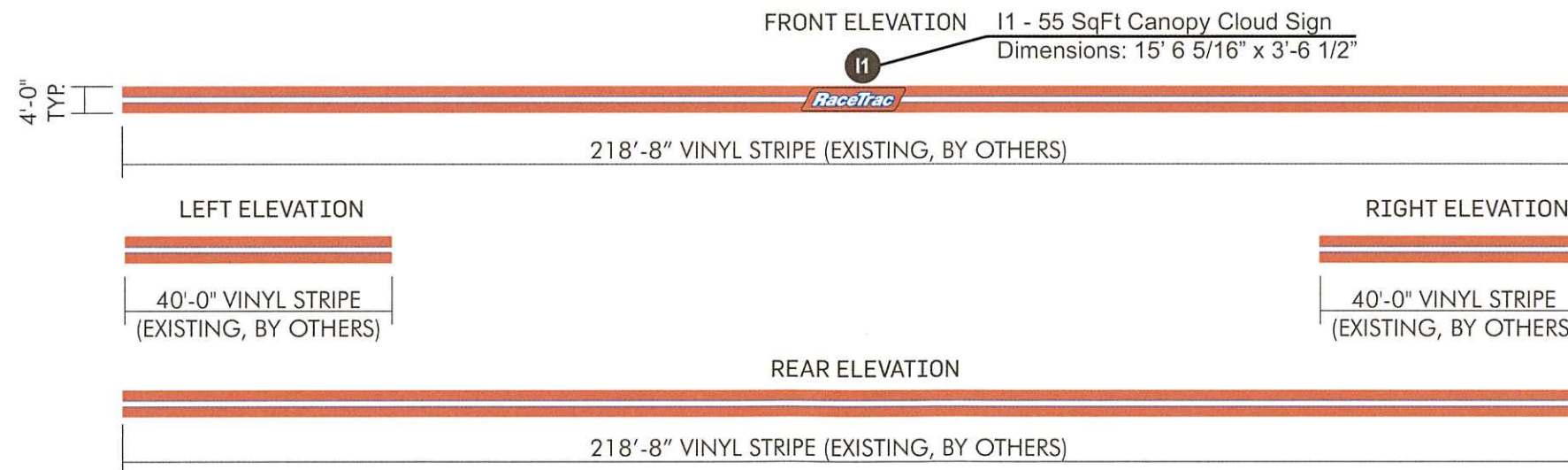
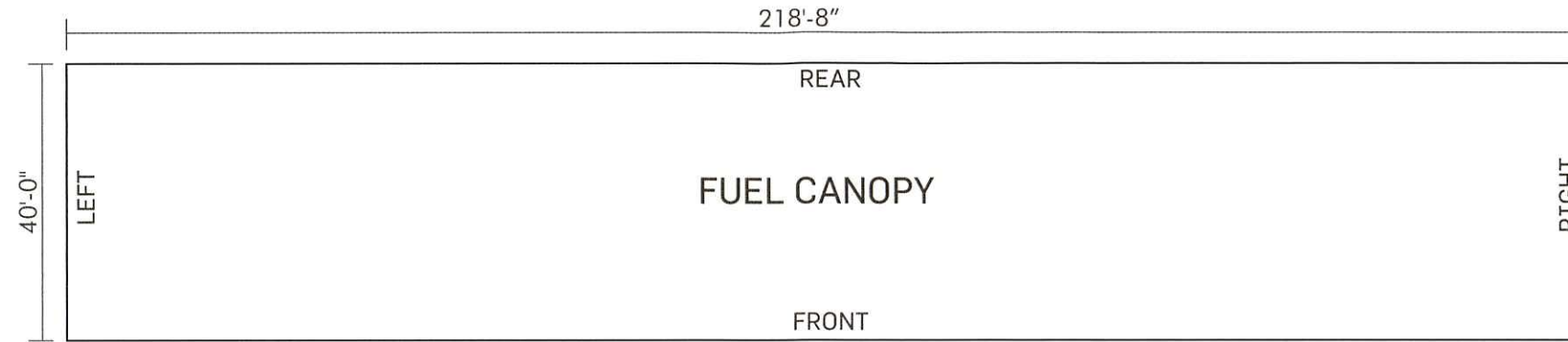
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Vehicular Fuel Canopy Layout - A

CANOPY FRONT	ITEM	SQ. FT.	LIN. FT.
	CLOUD SIGN	55	15.50
TOTAL FRONT		55	15.50

ENTIRE CANOPY	SQ. FT.	LIN. FT.
	55	15.50

ACM COLORS:
 Program Red
 Larson Program Red



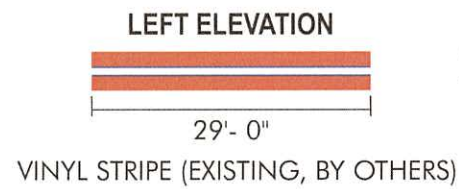
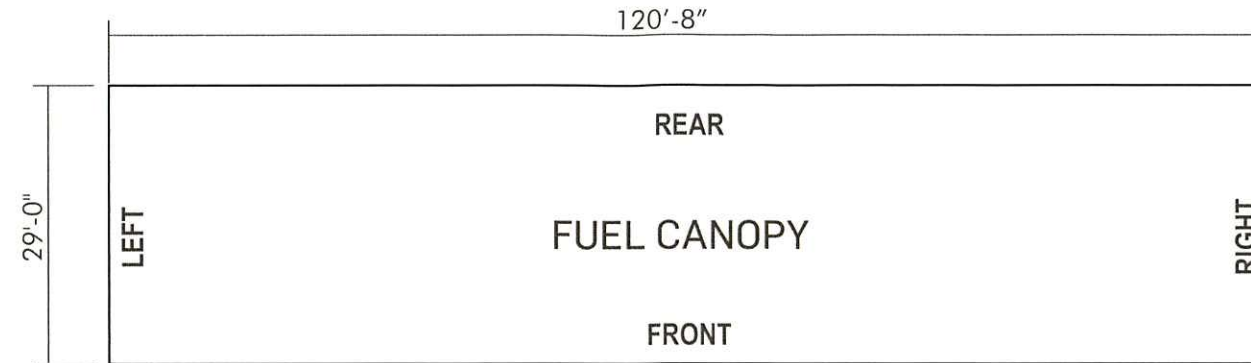
See Color Schedule on Page 2

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EDO Fuel Canopy B Layout

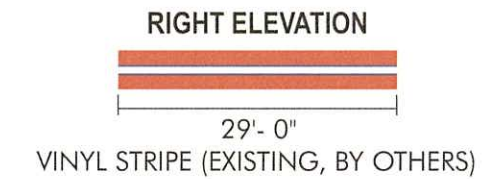
CANOPY FRONT	ITEM	SQ. FT.	LIN. FT.	CANOPY REAR	ITEM	SQ. FT.	LIN. FT.	ENTIRE CANOPY		SQ. FT.	LIN. FT.
	CLOUD SIGN	55	15.50		"EXIT ONLY" VINYL LETTERS	22	10.81			77	26.31
TOTAL FRONT		55	15.50	TOTAL REAR		22	10.81				

ACM COLORS:
 Program Red
 Larson Program Red



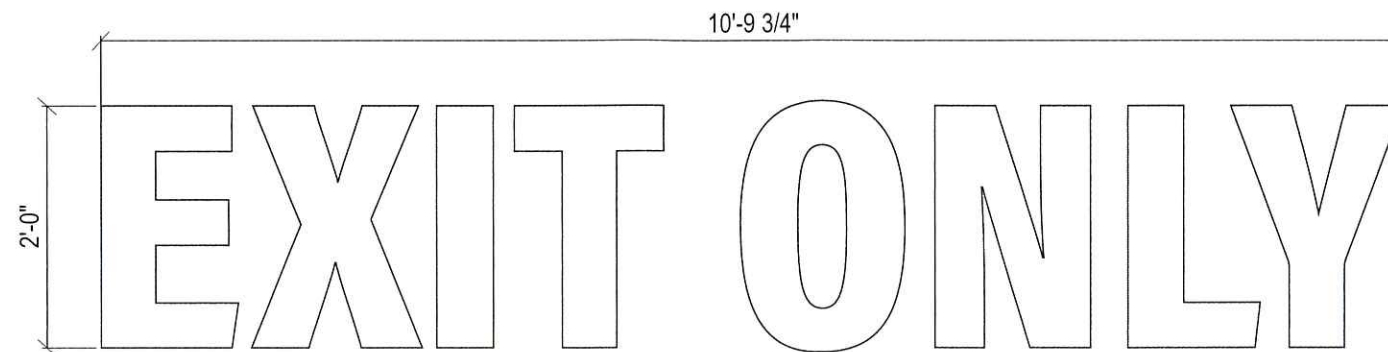
4'-0" (TYP)

FRONT ELEVATION 11 - 55 SqFt Canopy Cloud Sign
 Dimensions: 15' 6 5/16" x 3'-6 1/2"



REAR ELEVATION

IA - 22 SqFt "Exit Only" Vinyl Letters
 Dimensions: 10'-9 3/4" x 2'-0"



VINYL LETTERS: IA, IB - 21.63 SF
 SCALE: 1/2" = 1'-0"



See Color Schedule on Page 2

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200 SqFt Price Sign - (2) 48" LED N1/N3

* All sign components to be UL listed. All wiring to conform to UL specifications. Installation to be per NEC requirements. All signs to bear UL labels.

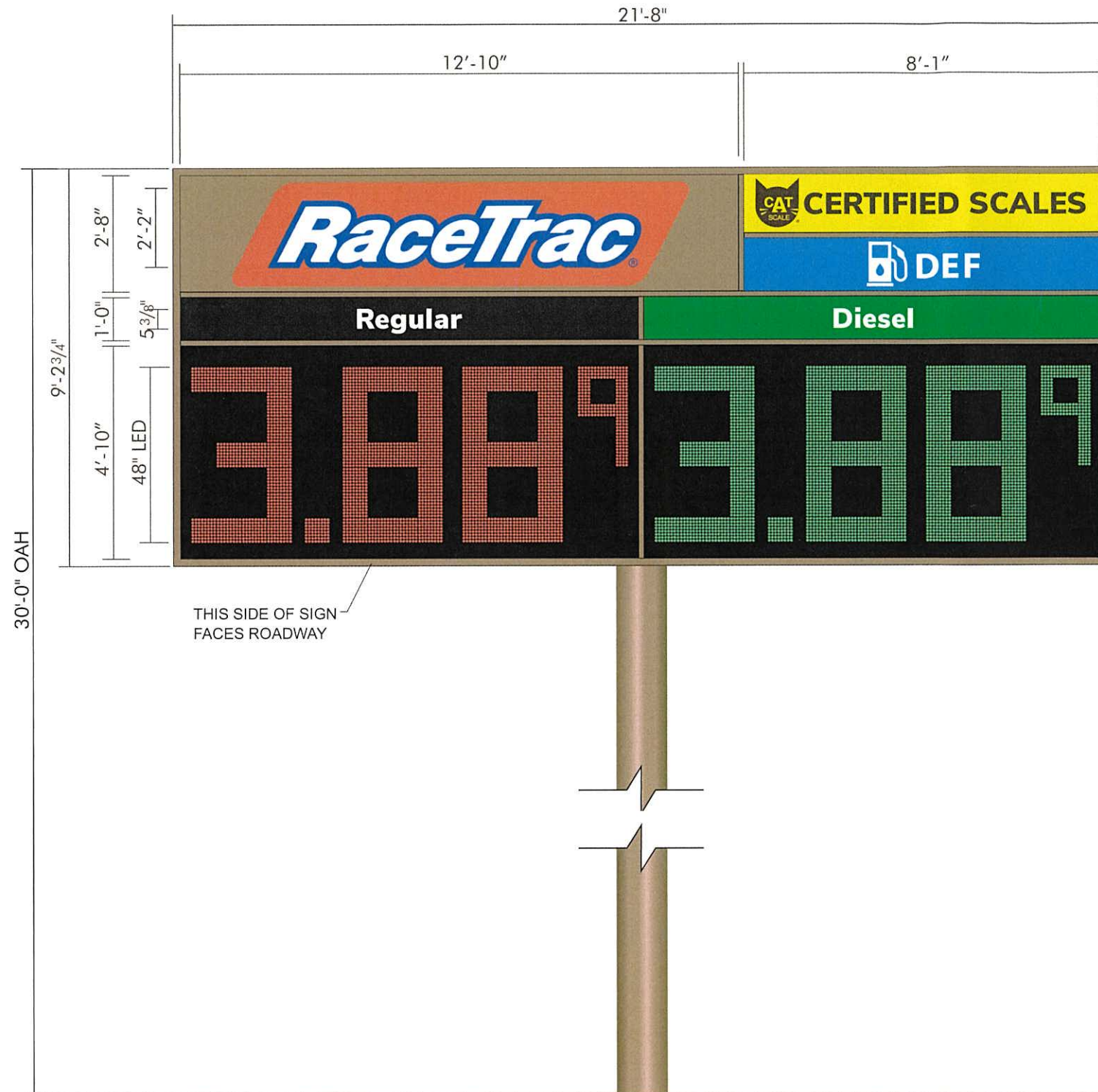
STAMPED, SEALED ENGINEERING REQUIRED

FOUNDATION INFORMATION PROVIDED BY RACETRAC. MANUFACTURER RESPONSIBLE FOR HAVING A LICENSED ENGINEER VALIDATE FOUNDATION DESIGN PRIOR TO INSTALL

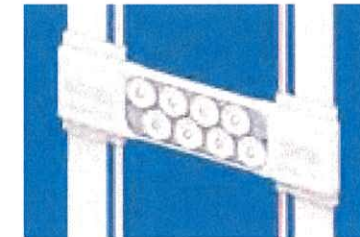
DOUBLE FACED

QUANTITY 1

ALL FUEL GRADE PANELS TO BE ACCESSIBLE FROM TOP OF SIGN



FRONT VIEW



Sloan Sign Box 3
LED Interior Illumination

Specifications:

Sign Faces:

- Logo panel: Aluminum panel painted Bronze C3 with parallelogram mounted to the surface. Parallelogram to be channel letter-type construction with .177" thick Polycarbonate face panels with 2nd surface applied translucent vinyl graphics. Parallelogram copy to be digital print provided by Miratec Systems with red background with blue area of logo graphic also printed. Cabinet and trim cap to be painted Red C1.
- Regular Unleaded Product Panel: Solar Grade Polycarbonate; Background to be 1st surface applied opaque vinyl Black C6; "Regular" to be show-through white.
- Diesel Product Panel: Solar Grade Polycarbonate; Background to be 1st surface applied translucent vinyl Green C7; "Diesel" to be show-through white.
- Unleaded 88 Product Panel: Solar Grade Polycarbonate; Background to be 1st surface applied opaque vinyl Black C6; "Unleaded 88" to be show-through white.

Interior Illumination: Sloan Sign Box 3 LED Interior Illumination powered by low voltage power supplies. This is behind fuel grade panels, only.

Sign Frame: 2" x 2" x .25" steel tube with .063 aluminum cladding painted Bronze C3.

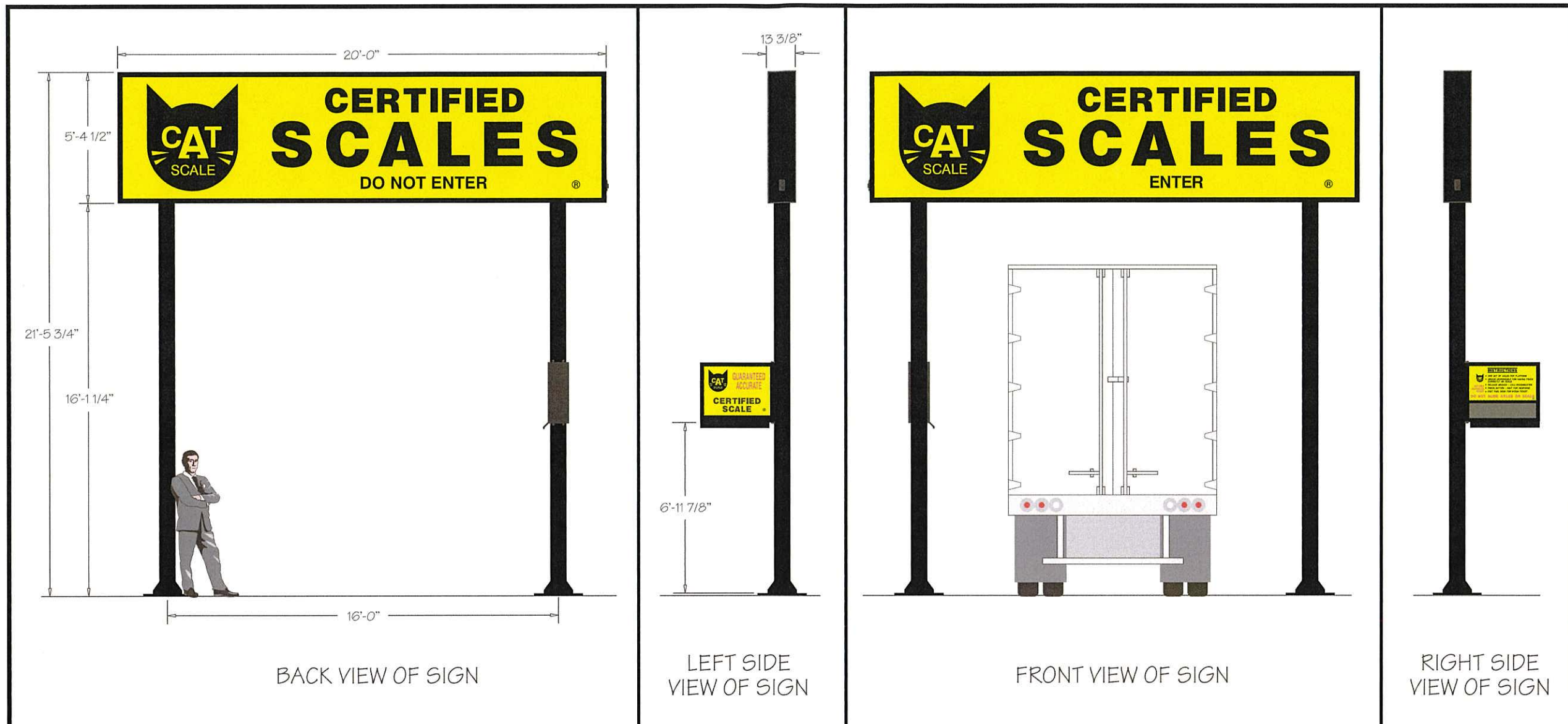
Extruded aluminum 1-1/2" wide Divider Bars installed to retain sign panels. Face dividers and retainer to be painted painted Bronze C3.

Sign Support: Internal steel pipe support to be welded to steel saddle bracket at top and bottom of sign frame.

External steel sign support to meet building and local sign codes. Size of steel and footing as required per site requirements.

See Color Schedule on Page 2

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CAT Scale ID sign – Qty (5) Advance ISB104014E Ballasts and Qty (20) F60T12CW/HO lamps. Power Consumption: (approx. 1000 W)
 Speaker Sign – Qty (1) Advance ISB104014E Ballast and Qty (3) F36T12CW/HO lamps. Power Consumption: (approx. 100 W)

Signs are fabricated per UL 48 Standard for Electric Signs and shall be installed per National Electric Code (NEC) Article 600.


 <p>EAGLE SIGN CO. A DIVISION OF HAZLE DENN, INC.</p>	<p>605 SW 37TH ST. GRIMES, IA 50111 515-243-5663 • FAX: 515-243-5313 TOLL FREE: 800-307-8186 www.eaglesign.net</p>	<p>NAME: CAT SCALE - STANDARD SIGN PACKAGE</p>	<p>PROJECT:</p>	<p>SCALE: 1/4" = 1' DESIGNER: CRN</p>	<p>THIS IS A CONCEPTUAL DRAWING. FINAL PRODUCT MAY VARY. THIS ARTWORK IS PROPERTY OF EAGLE SIGN CO. AND MAY NOT BE REPRODUCED.</p>
		<p>SKETCH #: 0218-01</p>			
		<p>APPROVAL: X</p>	<p>DATE: X</p>		

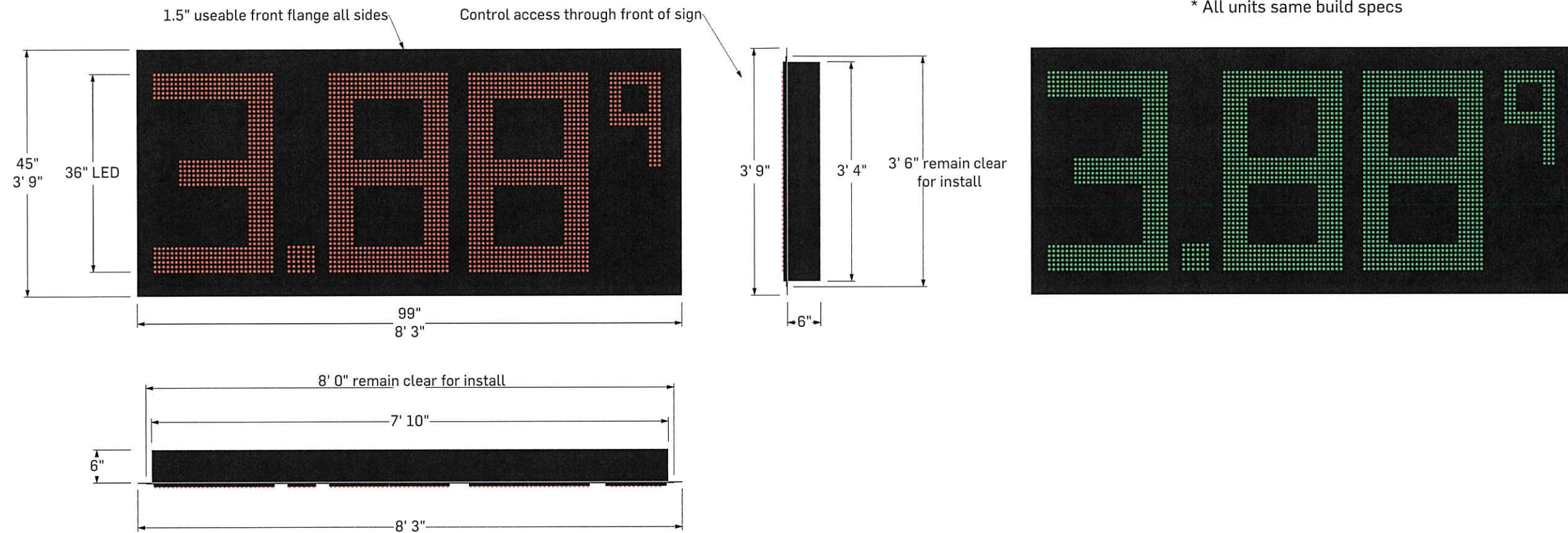




See Color Schedule on Page 2

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189 SqFt Price Sign - (2) 36" LED N1

 <p>316 S 6th Street St. Joseph, MO 64501 800 871 9013</p>	Client	Install Location	Sales	Date: Oct 2020	Job #:
	RaceTrac	TBA			
Client Approval			Date:	Revisions:	Date:



Cabinet Specs	Label Specs	Other
Digit Size & Style: 36" LED Digit Color: Red/Green Overall Cabinet Size: 3'9"h x 8'3"w x 6"d Cabinet Color: Black Single or Double Face: Double Build type: Drop-in		* Minimum digit spacing * 30.9 sq ft per unit * 16.07 total AC amps including both cabinets and sides * Cabinet(s) will have lifting/install eyebolt(s) * Electrical to be knocked out and ran at installer's preference
		This original drawing is provided as part of a planned project and is not to be exhibited, copied or reproduced without the written permission of Sunshine Electronic Display Corporation or its authorized agent. All installation details are suggested only. All signs must be installed in accordance with NATIONAL, STATE, ELECTRICAL AND BUILDING CODES. Sunshine Electronic Display Corporation has no responsibility for wind loads, installations or electrical circuits. These are the sole responsibility of the Buyer/user. * Actual LED size and configuration may vary
		 <p>UL LISTED E340294 CCN: UXYT</p>  <p>ETL LISTED CONFORMS TO UL STD 48 UL STD 1433 102482 CERTIFIED TO CAN/CSA STD C22.2 NO. 207</p>

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**RT1595 London Groveport -TC
Additional Site Signage
Alum Creek @ London Groveport
Columbus, OH**

Revision #	Date	Page # and Details
1	00.00.00	Comments

RECEIVED
MAY 16 2023
Franklin County Planning Department
Franklin County, OH

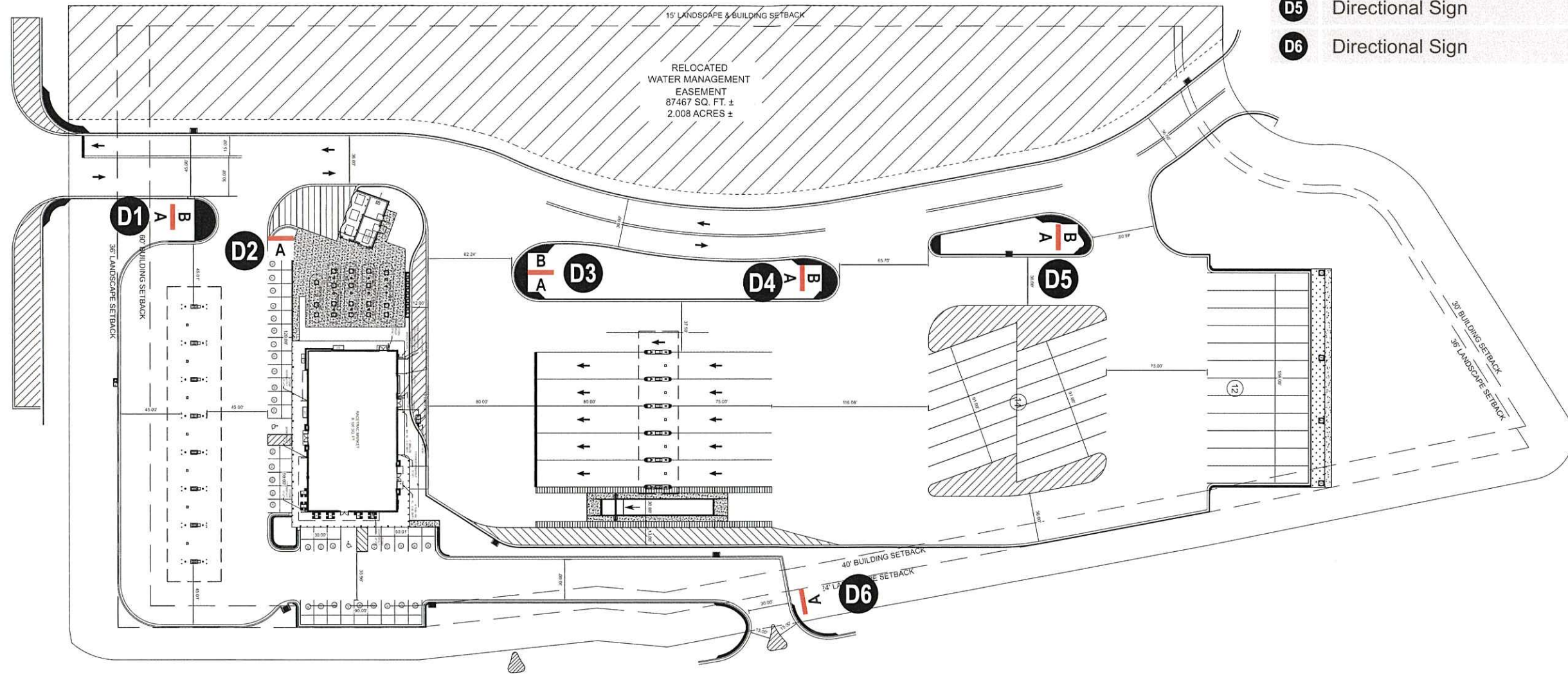
ZGN-23-03

COLOR	SUPPLIER(S)	PART NUMBER(S)
C1 LOGO RED	AKZO NOBEL MATTHEWS	Akzo SIGN91780 Red* MP81489 R137186 LVS Semi-Gloss V1.1 Racetrac Red
C2 WHITE	AKZO NOBEL MATTHEWS	Akzo Sign 10553 White* MP83729 R143456 LVS Semi Gloss V1.1 White
C3 DARK BRONZE	AKZO NOBEL MATTHEWS	Dark Bronze 313E MP21286 R170760 Dark Bronze 313E
C5 RACETRAC BLUE	AKZO NOBEL MATTHEWS 3M	Akzo Code Sign3243 Blue* MP02136 R143265 LVS Semi-Gloss V1.1 Sultan Blue 7725-17 Vivid Blue Opaque Vinyl
C6 PRICER BLACK	3M	3630-22 Black Translucent Vinyl
C7 PRICER GREEN	3M	3630-156 Vivid Green Translucent Vinyl
C8 PRICER RED	3M	3630-143 Poppy Red Translucent Vinyl
C9 PRICER BLUE	3M	3630-127 Intense Blue Translucent Vinyl (Ethanol Free-DEF)
C11 FORT MYERS, FL AWNING ONLY	AKZO NOBEL MATTHEWS	PMS 1807C Color Match (see provided sample) PMS 1807C Color Match (see provided sample)
C15 NAPLES, FL AWNING ONLY	AKZO NOBEL MATTHEWS	SW 6444 Color Match (see provided sample) SW 6444 Color Match (see provided sample)
C18 ADDRESS WHITE	3M	7725-10 White Opaque Vinyl
C19 STANDARD AWNING RED	AKZO NOBEL MATTHEWS	CUSTOM COLOR MATCH-SAMPLE PROVIDED Mp15024 RED DRAGON LVS SEMI GLOSS V1.1
C20 STANDARD AWNING BLUE	AKZO NOBEL MATTHEWS	CUSTOM COLOR MATCH-SAMPLE PROVIDED Mp10259 LVS SEMI GLOSS V1.1
C21 EFC WGYG BLUE	MATTHEWS	Mp10147 IMPULSE SATIN FINISH
C22 EFC WGYG BEIGE	SHERWIN WILLIAMS	Sw9087 SMOKEY BEIGE
C23 EFC STANDARD COLOR	SHERWIN WILLIAMS	Sw7675 SEALSKIN

	RACE TRAC PRINT-Provided by Miratec Systems
	SWIRLWORLD PRINT-Provided by Miratec Systems
	Flex Face Provided by Others; Install by Sign Vendor
	Provided by Others; Install by Sign Vendor
	3M 3630-43 Light Tomato Red Translucent Vinyl
	Provided by Others; Install by Sign Vendor
	3M 3630-015 Yellow Translucent Vinyl 3M 3630-22 Black Translucent Vinyl or Laminated Digital Print -Provided by Miratec Systems
	3M 3630-167 Bright Blue Translucent Vinyl or Laminated Digital Print -Provided by Miratec Systems
	3M 3630-337 Process Blue Translucent Vinyl or Laminated Digital Print -Provided by Miratec Systems

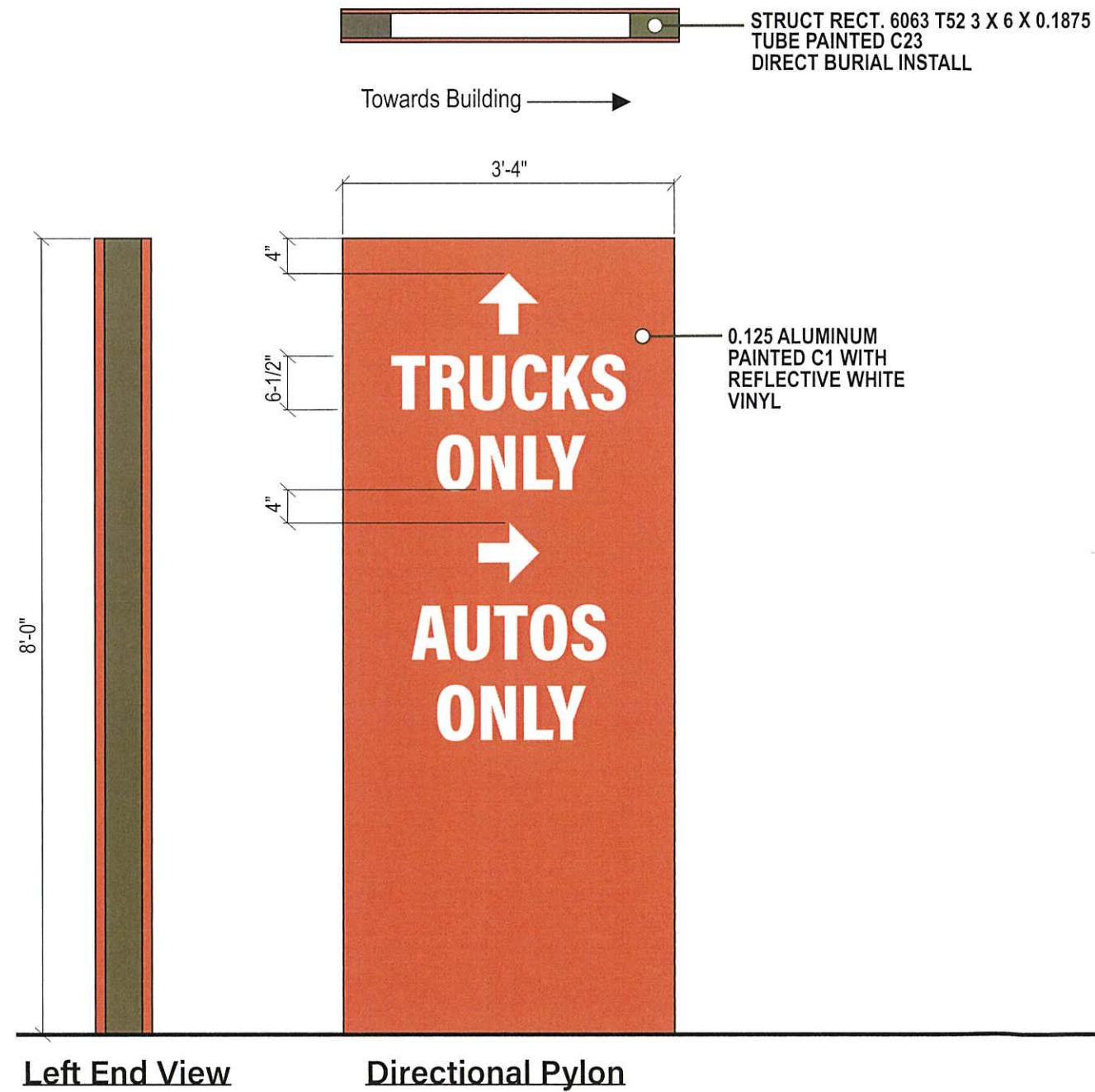


Sign Legend	
D1	Directional Sign
D2	Directional Sign
D3	Directional Sign
D4	Directional Sign
D5	Directional Sign
D6	Directional Sign



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QUANTITY 6
 26.67 S.F. Each
 160.0 S.F. Total

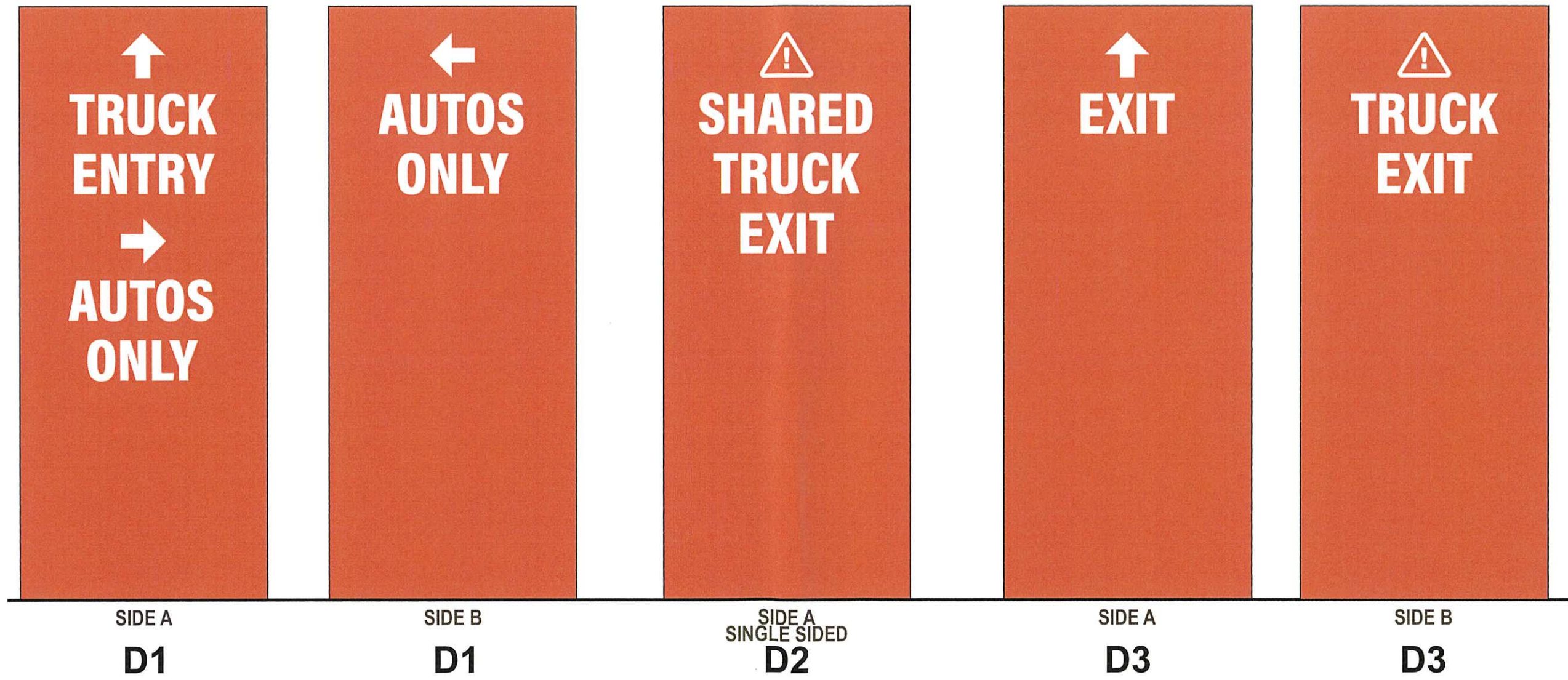


SAMPLE MESSAGING
 SINGLE SIDED SIGNS WILL NOT HAVE MESSAGING
 ON SECONDARY SIDE

ACUMIN PRO CONDENSED BLACK
 ACUMIN PRO SEMIBOLD

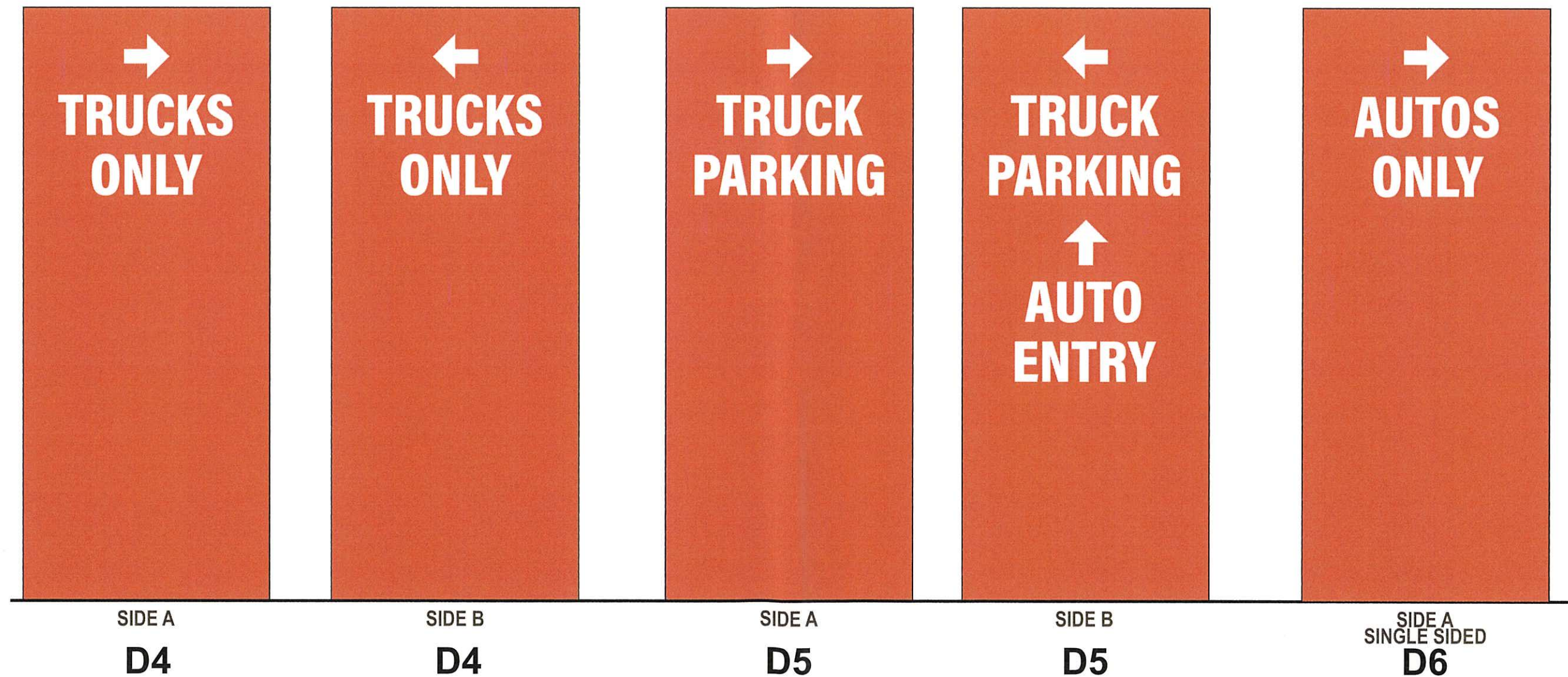


QUANTITY 6
26.67 S.F. Each
160.0 S.F. Total



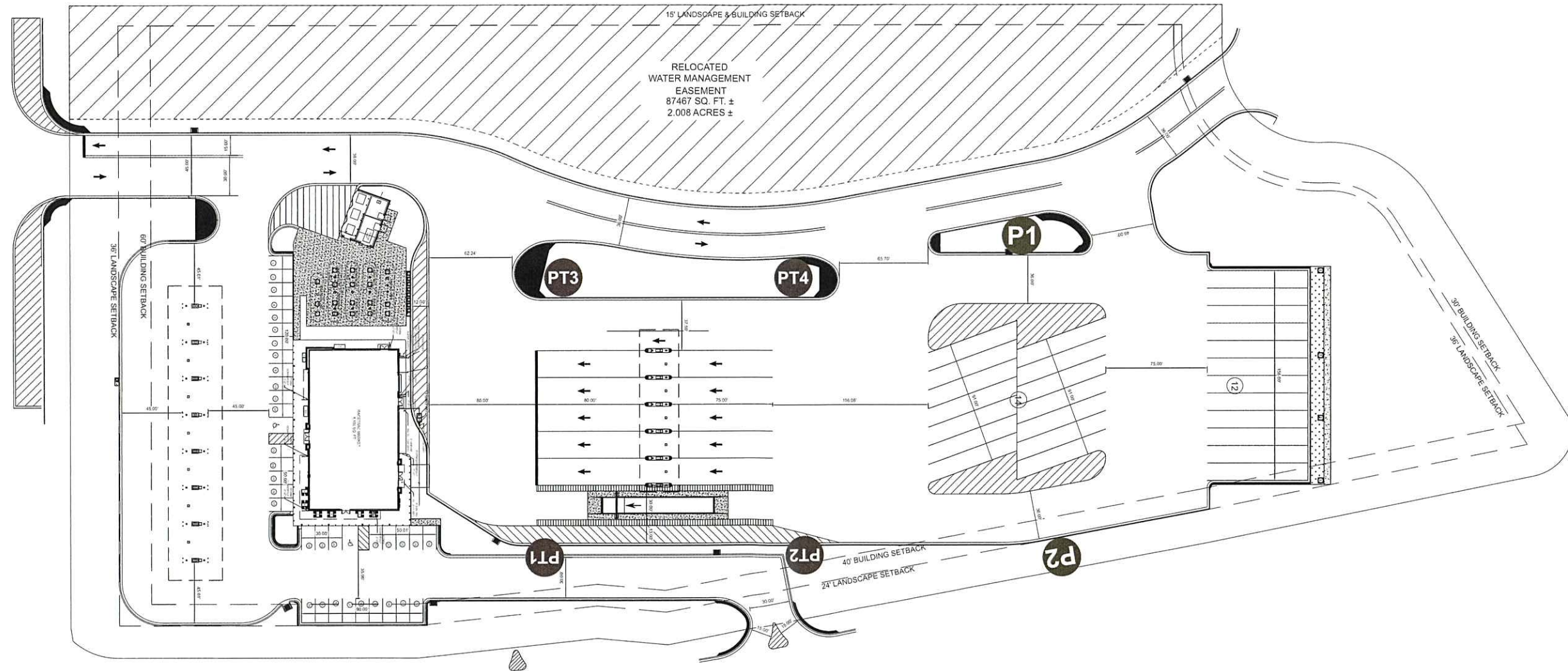
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QUANTITY 6
26.67 S.F. Each
160.0 S.F. Total



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Sign Legend	
PT1-PT4	Parking/Towing Signs
P1-P2	Parking Signs

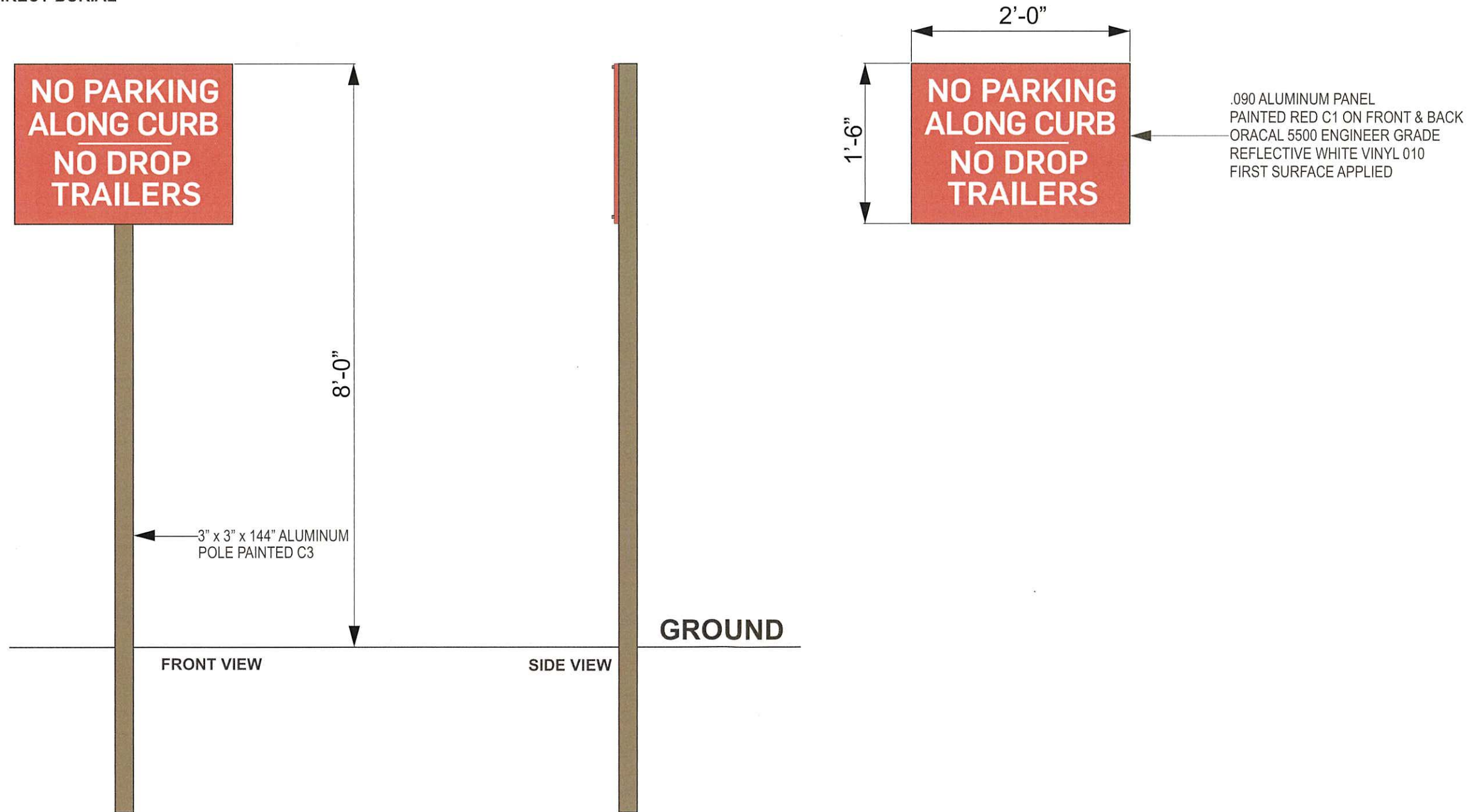


See Color Schedule on Page 2

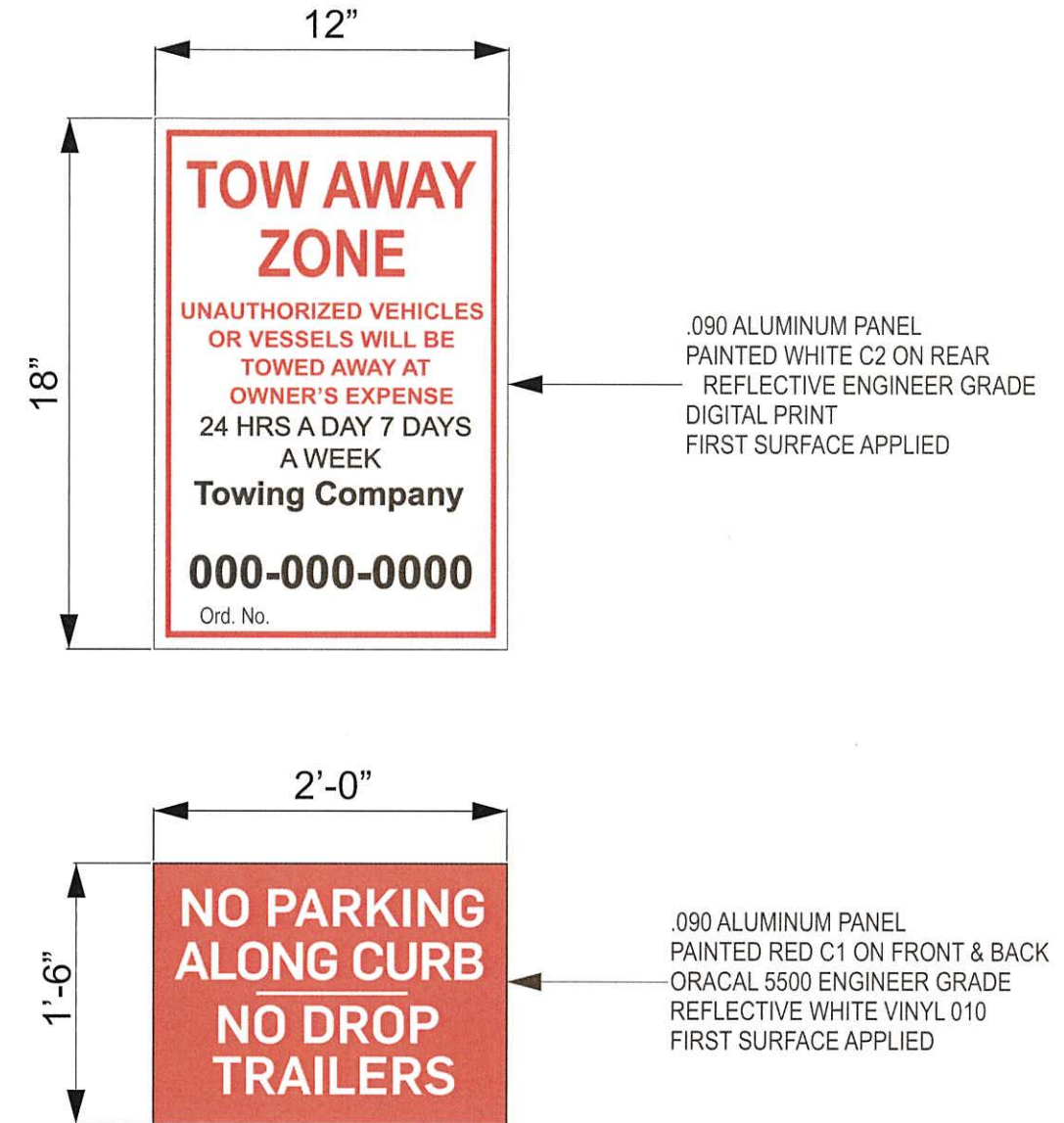
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Parking Signs P1, P2

SINGLE FACED
QTY 2
DIRECT BURIAL



SINGLE FACED
 QTY 4
 DIRECT BURIAL



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STAFF REPORT

Planning Commission
June 14, 2023

Case: 772-V&PP

Prepared by: Matt Brown

Owner/Applicant:	Braumiller Development, LLC.
Engineer:	EMH&T- Joseph Looby
Township:	Prairie Township
Site:	1860 Galloway Road (PID #240-000146)
Acreage:	102.400-acres
Utilities:	Public water and sewer
Request:	Requesting a variance from Section 402.01(B) of the Franklin County Subdivision Regulations to allow the construction of homes with below grade floor elevations in poorly drained soils. Requesting preliminary plan approval of the Galloway East subdivision to create 395 single-family lots and 10 reserves.

Request

The applicant is requesting a Variance to allow the construction of homes with basements in poorly drained soils and requesting Preliminary Plan approval of the Galloway East subdivision to allow the creation of 395 single-family lots and 10 reserves.

Overview

The site consists of one parcel totaling 102.4-acres on the east side of Galloway Road, north of O’Harra Road. The applicant is proposing to construct a 395-lot single-family home subdivision in two phases. The preliminary plan shows three reserves in phase 1 of the project that are intended for future commercial and multifamily development in accordance with the approved zoning. The property is zoned as a Planned Unit Development in Prairie Township.

Stormwater Management

The site will use storm sewers to convey stormwater to five stormwater retention basins located in reserves. The proposed stormwater system will be publicly maintained under the County’s Ditch Maintenance Petition program and required to be built in accordance with the Franklin County Stormwater Drainage Manual.

Traffic and Access Management

The proposed subdivision will include two access points to Galloway Road. Both access points will include a street section with 36 feet of pavement to accommodate one inbound lane and two outbound lanes. The proposed subdivision street network will be public and built to County standards as a curb and gutter street section with 25 feet of pavement width contained in a 50-foot wide right-of-way. Sidewalks 5 feet in width will be installed along both sides of all roadways and a 5 feet wide sidewalk will also be installed along the full frontage of Galloway Road.

Additional right-of-way will be dedicated along Galloway Road to meet 50 feet half right-of-way as recommended by the Franklin County Thoroughfare Plan.

Environmental and Land Suitability

The site is not impacted by any regulatory floodplain or wetlands.

The site is impacted by Kokomo soils which are identified as poorly drained soils by the Franklin County Subdivision Regulations. The Subdivision Regulations prohibit the construction of homes with below grade floor elevations in poorly drained soils. The applicant has requested a variance to Section 402.01(B) to allow basement construction on lots impacted by the poorly drained soils. The preliminary plan includes a note identifying the lots impacted by these soils and indicates that the developer will install inside and outside foundation drain tiles and back up sump pumps as part of the home construction on these lots. This note will also be included on the Final Plat.

Water Supply and Wastewater Disposal

The site will be served by public water supply and wastewater disposal.

Technical Review Agency Comments

Prairie Township Fire Department

The Township Fire Department has not expressed any concerns with the proposed site layout.

Prairie Township Zoning

The Township confirmed that a prior version of the preliminary plan conformed with the adopted zoning however no confirmation has been received for the current version of the preliminary plan.

Franklin County Sanitary Engineering

The Franklin County Sanitary Engineering Department has not provided confirmation that the site has adequate wastewater disposal capacity or water supply.

Franklin Soil and Water Conservation District

Provided no comments.

Franklin County Engineer's Office

Expressed no concerns with the proposed preliminary plan.

Franklin County Drainage Engineer's Office

- There is a history of private property and Galloway Road flooding downstream of the development.
- The proposed subdivision shows two stormwater outlets and the condition and capacity of the outlets is unknown.
- A stormwater report and watershed analysis need to be submitted to ensure that the development does not negatively affect downstream properties and to ensure that the proposed outlets are adequate.

Franklin County Economic Development and Planning Department

- The preliminary plan indicates that Reserves "A" through "G" will be owned and maintained by a Home Owners Association however Reserves "A", "B", and "G" include stormwater infrastructure which will need to be placed under the County's Ditch Maintenance Petition program.
- No information has been provided related to the placement of fire hydrants within the development and the possible implications of fire hydrants to on-street parking.
- Reserves "H", "I", and "J" which are intended for future commercial and multifamily development will be platted as part of Phase 1. However, the preliminary plan identifies a retention pond in Reserve "J" that will not be constructed until Phase 2 of the project. The final plat for Phase 1 should include a drainage easement in the location of the future proposed retention pond to serve Phase 2.

Staff Analysis

Variance Criteria:

All of the following must be met in order to grant a variance:

1. *It shall not be detrimental to public health or safety or be injurious to other property.*

The applicant has indicated that the subdivision will be designed in accordance with the County Stormwater Drainage Manual and Ohio residential construction standards so the requested variance should not detrimentally impact public health or safety, or be injurious to other property.

Staff agrees that the requested variance will not be detrimental to public health or safety, or be injurious to other property. The final plat for the subdivision will include a note identifying lots impacted by poorly drained soils and a requirement to utilize inside and outside foundation drain tiles and back up sump pump on the affected lots.

2. *Circumstances of the request are unique to the property and not generally applicable to others.*

The applicant indicated that significant portions of Franklin County and Prairie Township contain developments with basements on poorly drained soils

Based on calculations provided in the Subdivision Regulations, approximately 17 percent of Franklin County is impacted by poorly drained soils so the circumstances and existence of poorly drained soils on the site are not generally applicable throughout Franklin County.

3. *Due to physical surroundings, shape or characteristics of the property, a hardship would result, as distinguished from an inconvenience, if the strict letter of these Regulations were enforced.*

Strict compliance with the Subdivision Regulations would present a hardship to the owner as past developments throughout Franklin County have received variances to allow homes with basements in poorly drained soils, with the same safeguards as proposed with this subdivision, and failing to grant a variance in this instance would put the development at a competitive disadvantage to other developments in the County.

Staff Recommendation

Variance Recommendation:

Based on Staff's Analysis, staff recommends **approval with conditions** of a Variance from Sections 402.01(B) of the Franklin County Subdivision Regulations to allow the construction of homes with below grade floor elevations in poorly drained soils. The condition of approval is as follows:

1. A note must be included on the Final Plats for the subdivision identifying the lots impacted by poorly drained soils and a requirement that homes constructed on those lots include inside and outside foundation drain tiles and back-up sump pumps.

Findings of Fact

For your convenience, the following are proposed findings of fact if the variance is granted:

_____ moves that the basis for approving the applicant's request for the Variance from Sections 402.01(B) of the Franklin County Subdivision Regulations as outlined in the request for the applicant identified in Case No. 772-V&PP results from the applicant satisfying the standards for granting a Variance under Section 701.07.

701.07 General Standards for Variances. The FCPC shall not grant variations to these Regulations unless it shall make written findings of fact based upon the evidence presented by each specific case that:

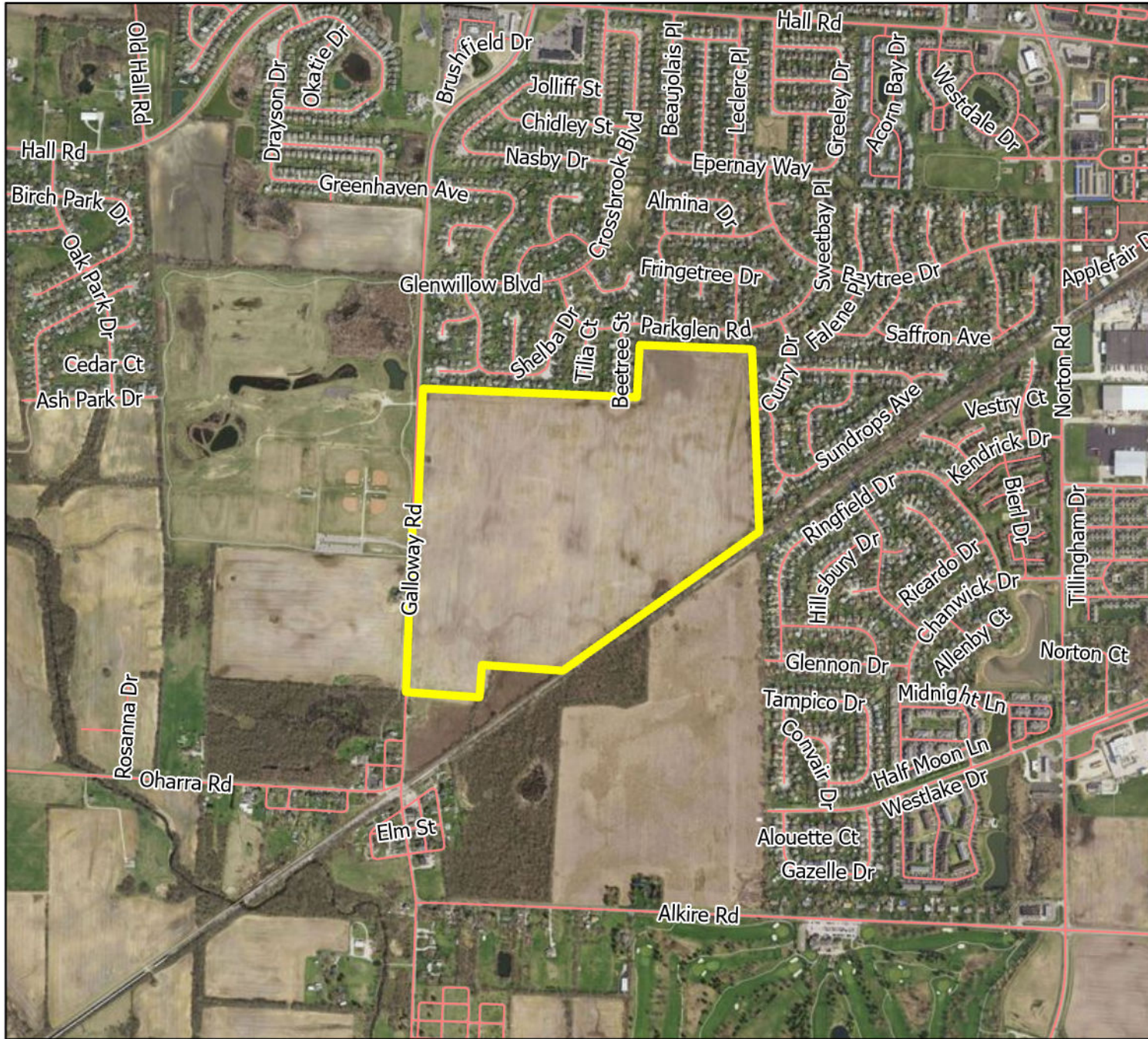
- A. The particular physical surroundings, environmental constraints, shape, topographical or other exceptional condition of the specific property involved would cause extraordinary hardship or exceptional practical difficulty to the applicant, as distinguished from a mere inconvenience, if the provisions of these Subdivision Regulations were strictly enforced; and
- B. The conditions upon which the request for a variance is based are unusual to the property for which the variation is sought and are not applicable generally to other property; and

- C. The purpose of the variance is not based exclusively upon a desire to obtain additional income from the property; and
- D. The granting of the variance will not be detrimental to the public health, safety or general welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
- E. The special circumstances or conditions are created by the provisions or requirements of these regulations and have not resulted from any act of the applicant or applicant's predecessor in interest; and
- F. The variance requested is the minimum adjustment necessary for the reasonable use of the land.

Preliminary Plan Recommendation:

Staff recommends *approval with conditions* of the Preliminary Plan for the Galloway East subdivision to create 395 single-family lots and 10 reserves. The conditions of approval are as follows:

1. Prior to construction plan approval, the Prairie Township Fire Department must provide confirmation that the proposed development complies with the Ohio Fire Code and any on-street parking restrictions that may be necessary to provide effective fire service to the development.
 2. Prior to construction plan approval, Prairie Township must confirm that the proposed development complies with the adopted zoning.
 3. Prior to construction plan approval, proof of adequate wastewater disposal capacity and water supply must be provided to Franklin County EDP.
 4. Prior to construction plan approval, the developer must show that the subdivision will comply with the requirements of the Franklin County Stormwater Drainage Manual.
 5. The developer must provide an NPDES Phase II review fee in accordance with the adopted fee schedule of Franklin County EDP at the time of submitting for construction plan approval.
 6. Prior to Final Plat approval, the developer must provide evidence of participation in the Big Darby Accord Revenue Program.
- Note to the applicant: Per Section 205.13 of the Franklin County Subdivision Regulations, the Preliminary Plan for the Galloway East subdivision will expire on **June 14, 2025** if a Final Plat application has not been accepted by that date.

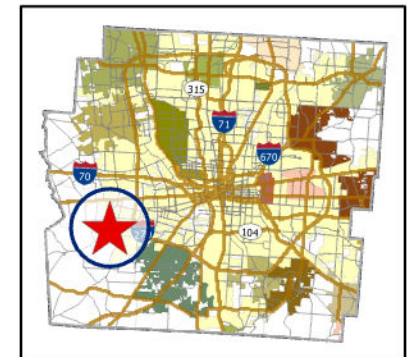


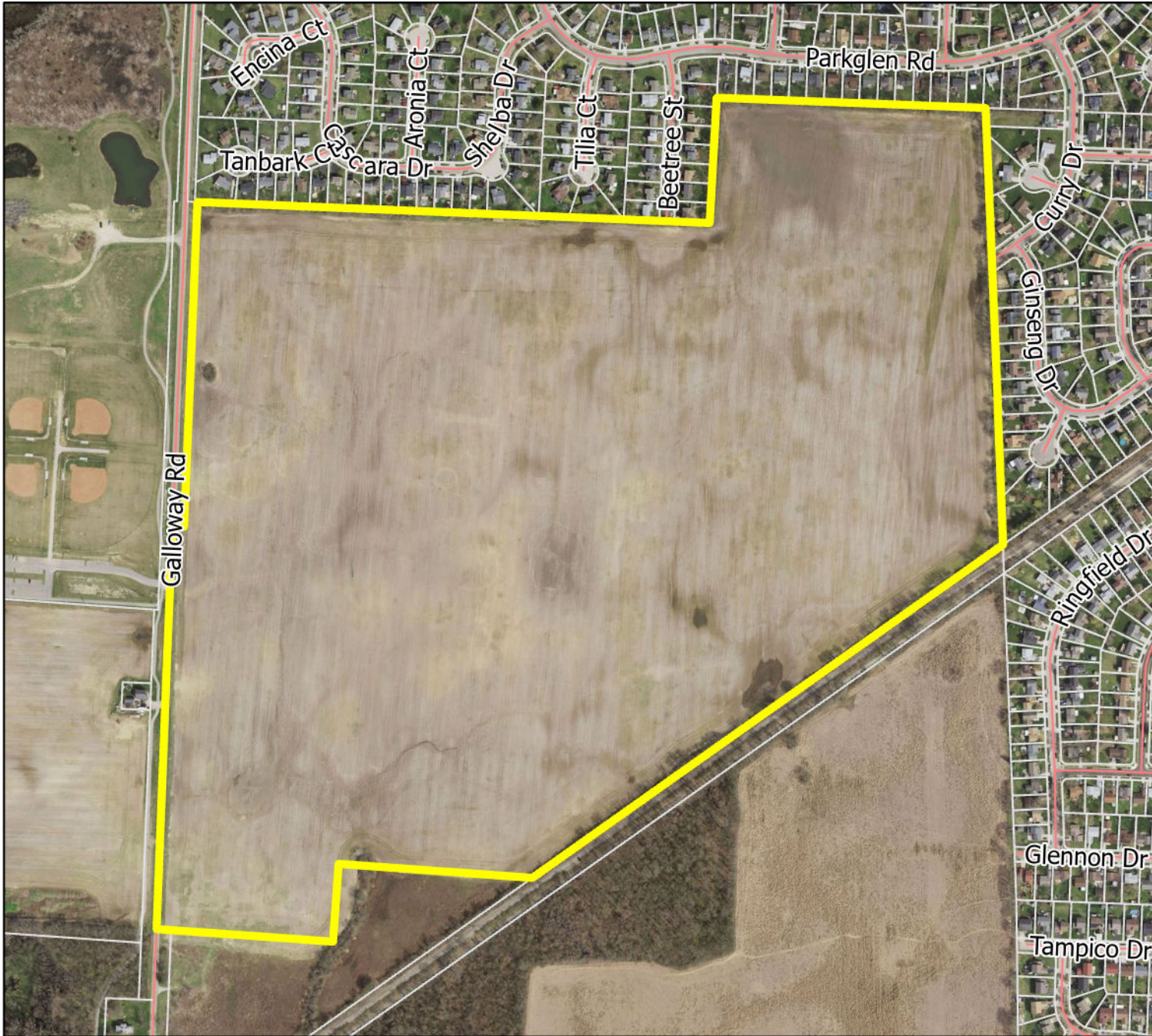
772-PP

Requesting preliminary plan approval of the Galloway East subdivision to create 395 single-family lots and 7 reserves.

Acres: 102.4-acres
Township: Prairie Township

- Streets
- PID 240-000146



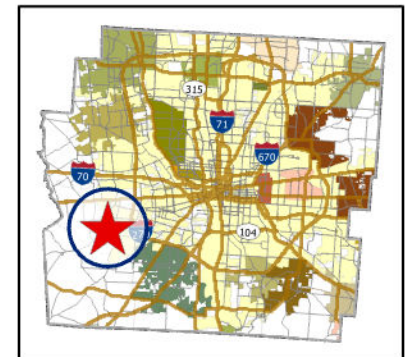


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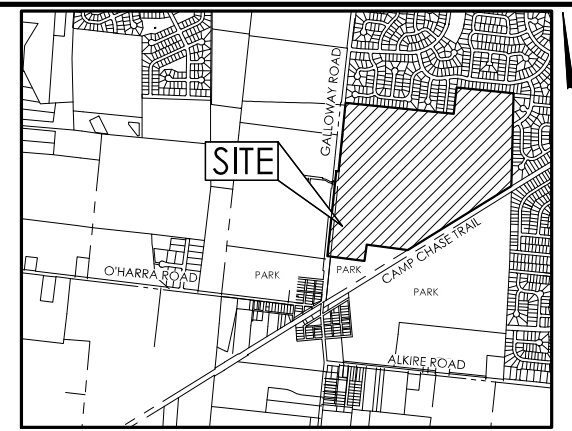
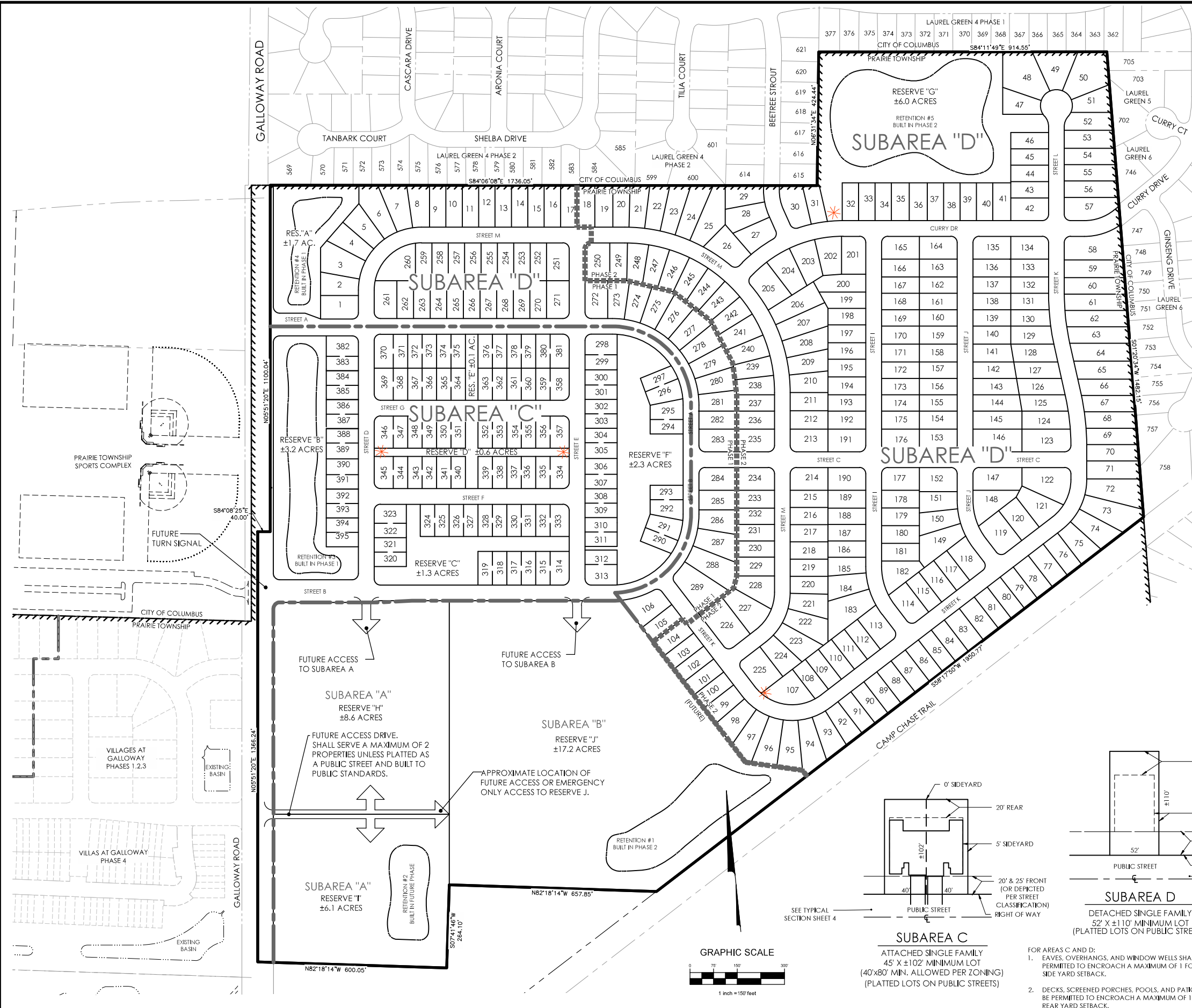
Requesting preliminary plan approval of the Galloway East subdivision to create 395 single-family lots and 7 reserves.

Acres: 102.4-acres
Township: Prairie Township

-  Streets
-  Parcels
-  PID 240-000146



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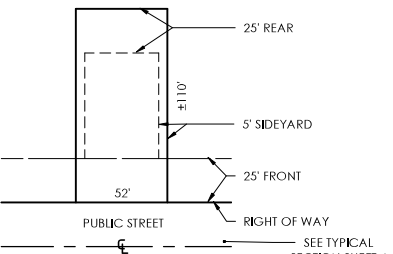
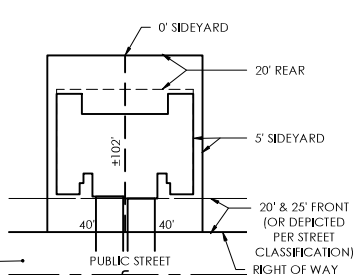
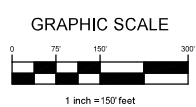
SITE STATISTICS:

EXISTING ZONING:	PRAIRIE TOWNSHIP PUD	GROSS DENSITY:	±3.85 UNITS/ACRE
TOTAL ACREAGE:	±133.79 ACRES (A,B,C,D)	OPEN SPACE PROVIDED:	±15.2 ACRES (11.4%) (AREAS C AND D ONLY)
GALLOWAY RD FUTURE R/W:	±1.82 ACRES	RESERVE "A":	±1.7 ACRES
TOTAL ACREAGE MINUS GALLOWAY RD FUTURE R/W:	±131.97 ACRES	RESERVE "B":	±3.2 ACRES
SUBAREA C:	±27.64 ACRES	RESERVE "C":	±1.3 ACRES
SUBAREA D:	±75.54 ACRES	RESERVE "D":	±0.6 ACRES
TOTAL PROJECT AREA (C + D)	±103.18 ACRES	RESERVE "E":	±0.1 ACRES
		RESERVE "F":	±2.3 ACRES
		RESERVE "G":	±6.0 ACRES
FUTURE GALLOWAY R/W ACROSS SUBAREA C AND D	±0.78 ACRES	FUTURE DEVELOPMENT:	
ADJUSTED PROJECT AREA (MINUS R/W)	±102.40 ACRES	RESERVE "H":	±8.6 ACRES
		RESERVE "I":	±6.1 ACRES
		RESERVE "J":	±17.2 ACRES
TOTAL NUMBER OF UNITS:	395 (C AND D ONLY)	PHASES	
SUBAREA "C" (PATIO HOMES):	106 UNITS	PHASE 1: SUBAREA C	106 LOTS
SUBAREA "D" (SINGLE FAMILY):	289 LOTS	PHASE 1: SUBAREA D	58 LOTS
		PHASE 2: SUBAREA D	231 LOTS
		FUTURE PHASES:	SUBAREAS A&B

DESIGN STANDARDS:

SUBAREA "A" - FUTURE COMMERCIAL	SUBAREA "C" - ATTACHED SINGLE FAMILY
GALLOWAY RD ROW: 30 FEET	DENSITY: 4.5 DU/AC MAX ALLOWED PER ZONING
MIN LOT WIDTH: 100 FEET	3.8 DU/AC PROVIDED (106/27.64)
MIN LOT AREA: 0.75 ACRES	MIN. LOT WIDTH: 40' MIN. PER ZONING
BUILDING HEIGHT: 50 FEET	45' PROVIDED
MIN. ROW PVMT SETBACK: 10 FEET	MIN. LOT AREA: 3,200 SQ. FT. MIN. REQUIRED PER ZONING
MIN. ROW BLDG SETBACK: 0 FEET	4,590 SQ. FT. PROVIDED
MIN. INTERNAL PVMT SETBACK: 10 FEET	MIN. COVERAGE: 44% MAX. REQUIRED PER ZONING
MIN. INTERNAL BLDG SETBACK: 10 FEET	MIN. FRONT SETBACK: 20' FROM LOCAL OR 25' FROM PRIMARY OR SECONDARY ROADS (BUILDING LINE)
MIN. BOUNDARY PVMT SETBACK: 50 FEET	MIN. REAR SETBACK: 20 FEET
MIN. BOUNDARY BLDG SETBACK: 30 FEET	MIN. SIDE YARD SETBACK: 0 FEET AND 5 FEET (10 FEET B/W BUILDINGS)
	BOUNDARY SETBACK: 25 FEET
	GALLOWAY ROAD R/W: 30 FEET
SUBAREA "B" - FUTURE MULTI-FAMILY	SUBAREA "D" - DETACHED SINGLE FAMILY
DENSITY: 15 DU/ACRE (MAX)	DENSITY: 5.0 DU/AC MAX ALLOWED PER ZONING
MIN PAVEMENT SETBACK: 10 FEET	3.8 DU/AC PROVIDED (289/75.54)
MIN ROW SETBACK: 20 FEET	MIN. LOT WIDTH: 52'
MIN BOUNDARY BLDG SETBACK: 30 FEET	110' (REQ. PER ZONING)
	MIN. LOT AREA: 5,720 SQ. FT.
	MIN. FRONT SETBACK: 25' (BUILDING LINE)
	MIN. REAR SETBACK: 25 FEET
	MIN. SIDE YARD SETBACK: 5 FEET (10 TOTAL)
	BOUNDARY SETBACK: 25 FEET
	GALLOWAY ROAD R/W: 30 FEET

- NOTES:**
- NOTE "A": ALL OF GALLOWAY EAST IS IN FLOOD HAZARD ZONE X AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NUMBER 39049C0291 K EFFECTIVE DATE JUNE 17, 2008 AND 39049C0292K EFFECTIVE DATE JUNE 17, 2008.
 - NOTE "B": RESERVE "A" THROUGH "G" TO BE OWNED AND MAINTAINED BY THE GALLOWAY EAST HOMEOWNERS ASSOCIATION.
 - NOTE "C": ALL CONTOURS SHOWN HEREON ARE TWO FOOT INTERVALS.
 - NOTE "D": THE ENTIRE DEVELOPMENT IS LOCATED IN THE SOUTH-WESTERN CITY SCHOOL DISTRICT.
 - NOTE "E": PAVEMENT WIDTHS AS SHOWN HEREON ARE FROM FACE OF CURB UNLESS LABELED OTHERWISE.
 - NOTE "F": THE DEVELOPER SHALL OBTAIN ALL REQUIRED ENVIRONMENTAL PERMITS.
 - NOTE "G": THE GROUNDWATER POLLUTION POTENTIAL RATING IS 100-119.
 - NOTE "H": ON-STREET PARKING SHALL BE PERMITTED ON BOTH SIDES OF PROPOSED STREETS.
 - NOTE "I": GALLOWAY ROAD TURN LANES SHALL BE INSTALLED BY SAME DEVELOPER AS PART OF OTHER PROJECT(S).
 - NOTE "J": CUL-DE-SACS, CURBED, SHALL BE DESIGNED PER FRANKLIN COUNTY'S STANDARD DRAWING # 1102.
 - NOTE "K": ALL PROPOSED STREETS WITHIN THE PRELIMINARY PLAN ADJUSTED PROJECT AREA SHALL BE PUBLIC, DESIGNED TO PUBLIC STANDARDS PER STANDARD DRAWING # 1050. WITH THE EXCEPTION OF THE FIRST FEW HUNDRED FEET OF THE ENTRY DRIVES OFF GALLOWAY ROAD THAT SHALL BE DESIGNED PER STANDARD DRAWING # 1052.
 - NOTE "L": RESERVES "H", "I", AND "J" SHALL BE PLATTED WITH PHASE 1 FOR THE PURPOSE OF DEVELOPING IN FUTURE PHASES PER THE APPROVED PUD ZONING / DEVELOPMENT PLAN. ANY FUTURE SUBDIVISIONS OF RESERVES "H", "I" OR "J" WILL REQUIRE A REPLAT. A PORTION OF RESERVES "I" AND "J" WILL BE USED FOR STORMWATER MANAGEMENT. THE RESERVES SHALL BE MAINTAINED BY THE DEVELOPER UNTIL DEVELOPED, THEN THE RESERVES SHALL BE MAINTAINED BY THE LOT OWNERS. THE STORM WATER MANAGEMENT AREAS WILL EITHER BE MAINTAINED BY THE OWNER OF THE LOT, OR BY THE NEIGHBORHOOD ASSOCIATION.



REVISIONS

DATE	DESCRIPTION
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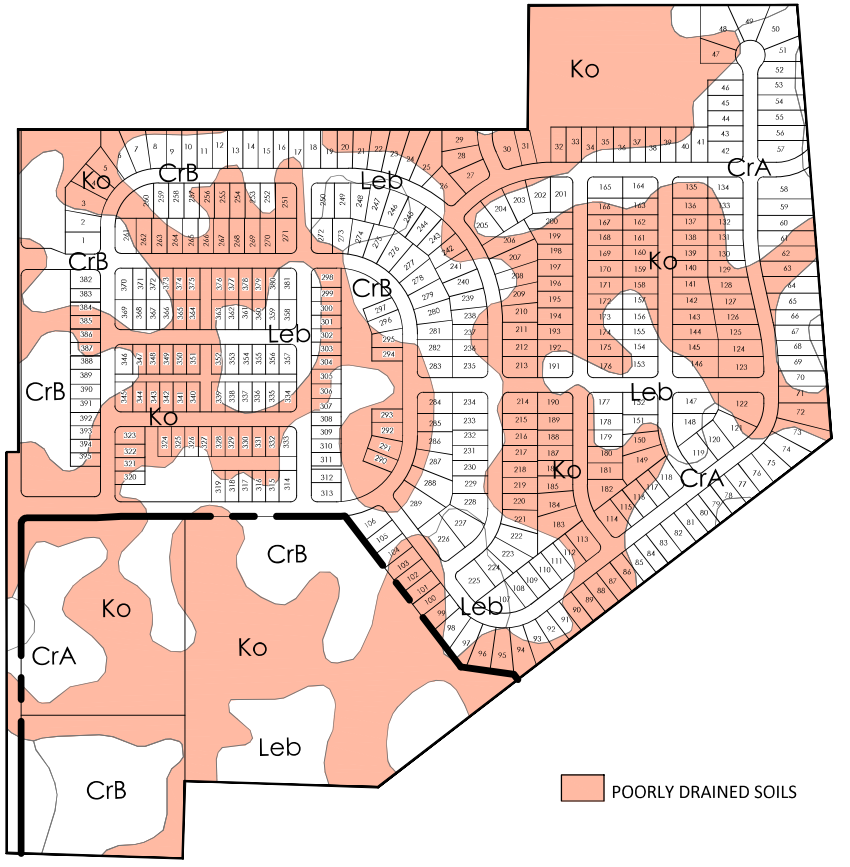
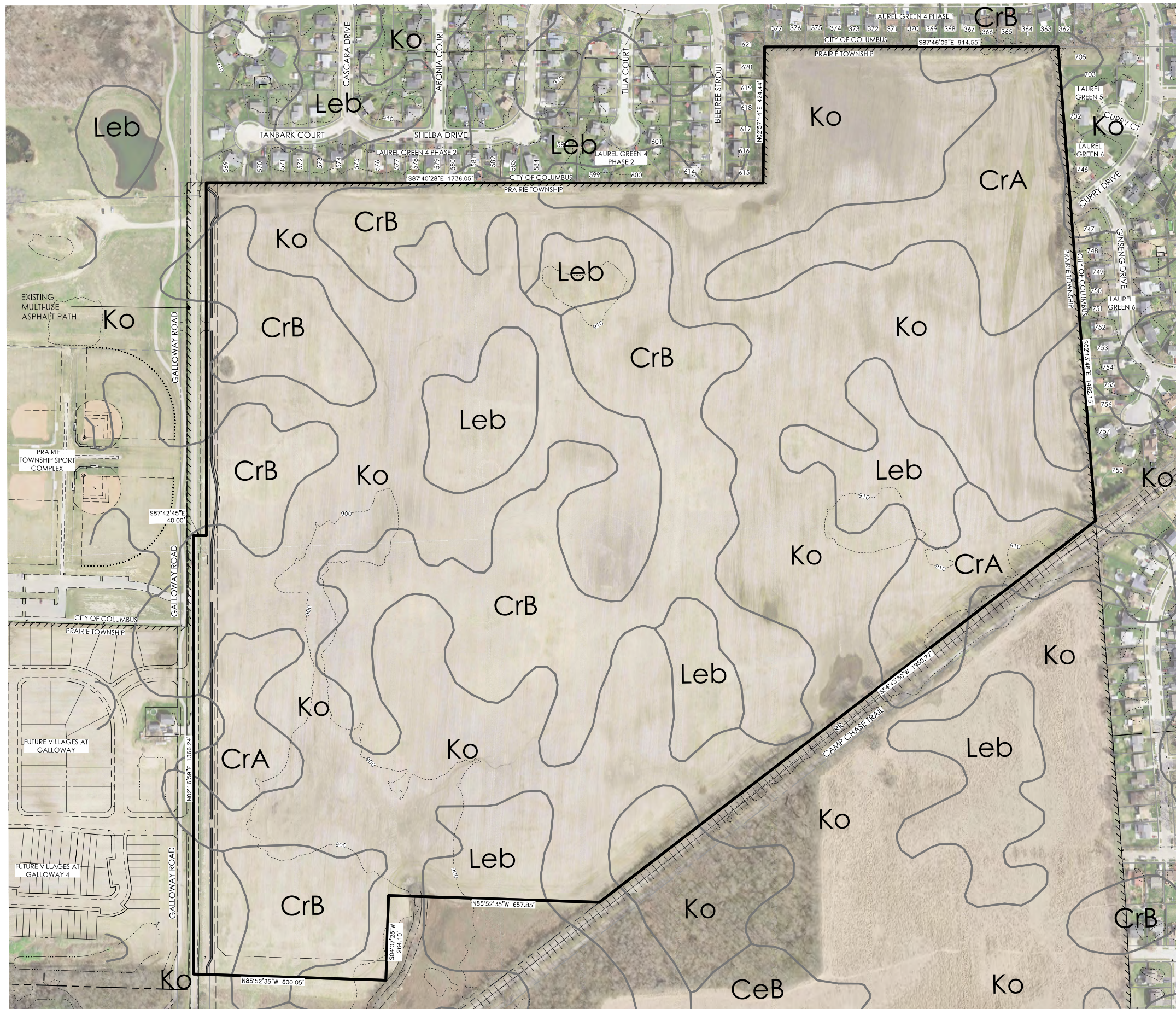
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800 New Albany Road, Columbus, OH 43054
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T & R PROPERTIES
3895 STONERIDGE LANE
DUBLIN, OHIO 43017

PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
PRELIMINARY PLAN
FOR
GALLOWAY EAST
COVER SHEET & LOCATION MAP
772-PP
Received 5/30/23

LOCATED IN:
VIRGINIA MILITARY SURVEY NO. 1473
TOWNSHIP OF PRAIRIE, COUNTY OF FRANKLIN, STATE OF OHIO

Date	MAY 30, 2023	Job No.	20220993
Scale	1"=150'	Sheet	1/9



POORLY DRAINED SOILS:

1. THE DEVELOPER HAS REQUESTED A VARIANCE FROM SECTION 402.01.B WITH THIS PRELIMINARY PLAN TO ALLOW BASEMENTS ON POORLY DRAINED.
2. THE FOLLOWING NOTE SHALL APPEAR ON THE FINAL PLAT TO ALERT LOT OWNERS OF DEVELOPMENT ISSUES OR RESTRICTIONS:

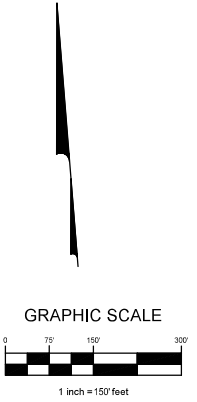
"Prior to the construction of the footing/foundation for the residential building to be constructed on lots 3-6, 19-40, 47, 48, 61-74, 86-90, 94-96, 99-104, 112-117, 122-146, 149-151, 156-163, 166-176, 180-190, 192-200, 206-221, 242, 251-257, 260-273, 284-289, 290-295, 298-307, 320-335, 339-352, 360-366, 373-380, 384-387, 392-395, all inclusive, the builder of such building shall confer with the Franklin County Development Department for the purpose of determining if special foundation and/or basement construction techniques and/or materials are to be employed on such lot. As a part of the basement construction for the homes within the above mentioned lots, the developer will install inside and outside drain tiles as well as a backup sump pump."
3. SOILS RECOGNIZED AS HAVING WETNESS OR HIGH WATER TABLE (HWT) LIMITATIONS INCLUDE: KOKOMO SILTY CLAY LOAM, PEWAMO SILTY CLAY LOAM, WESTLAND SILTY CLAY LOAM, SLOAN SILT LOAM, CONDIT SILT LOAM, MONTGOMERY SILTY CLAY LOAM, MITAWANGA SILT LOAM, ALGIERS SILT LOAM, CARLISLE MUCK.
4. THERE MAY BE OTHER UNFAVORABLE SOILS OR SITE CONDITIONS NOT ON THE ABOVE LIST WHICH MAY ALSO IMPACT OR LIMIT DEVELOPMENT POTENTIAL.

NOTES:

1. THE PROPOSED FEATURES DEPICTED ON THIS PLAN ARE FOR REFERENCE ONLY.
2. THE EXISTING FEATURES INFORMATION, SUCH AS PARCELS, TOPOGRAPHY AND AERIAL PHOTOGRAPH, WERE DERIVED FROM FRANKLIN COUNTY GIS DATA.
3. THE SOIL DATA DEPICTED ON THIS SHEET WAS DERIVED FROM ON-LINE SOURCES.

SOIL LEGEND

- CrA: Crosby silt loam, 0 to 2 percent slopes
- CrB: Crosby silt loam, 2 to 6 percent slopes
- Ko: Kokomo silty clay loam
- LeB: Lewisburg-Crosby complex, 2 to 6 percent slopes



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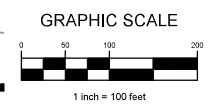
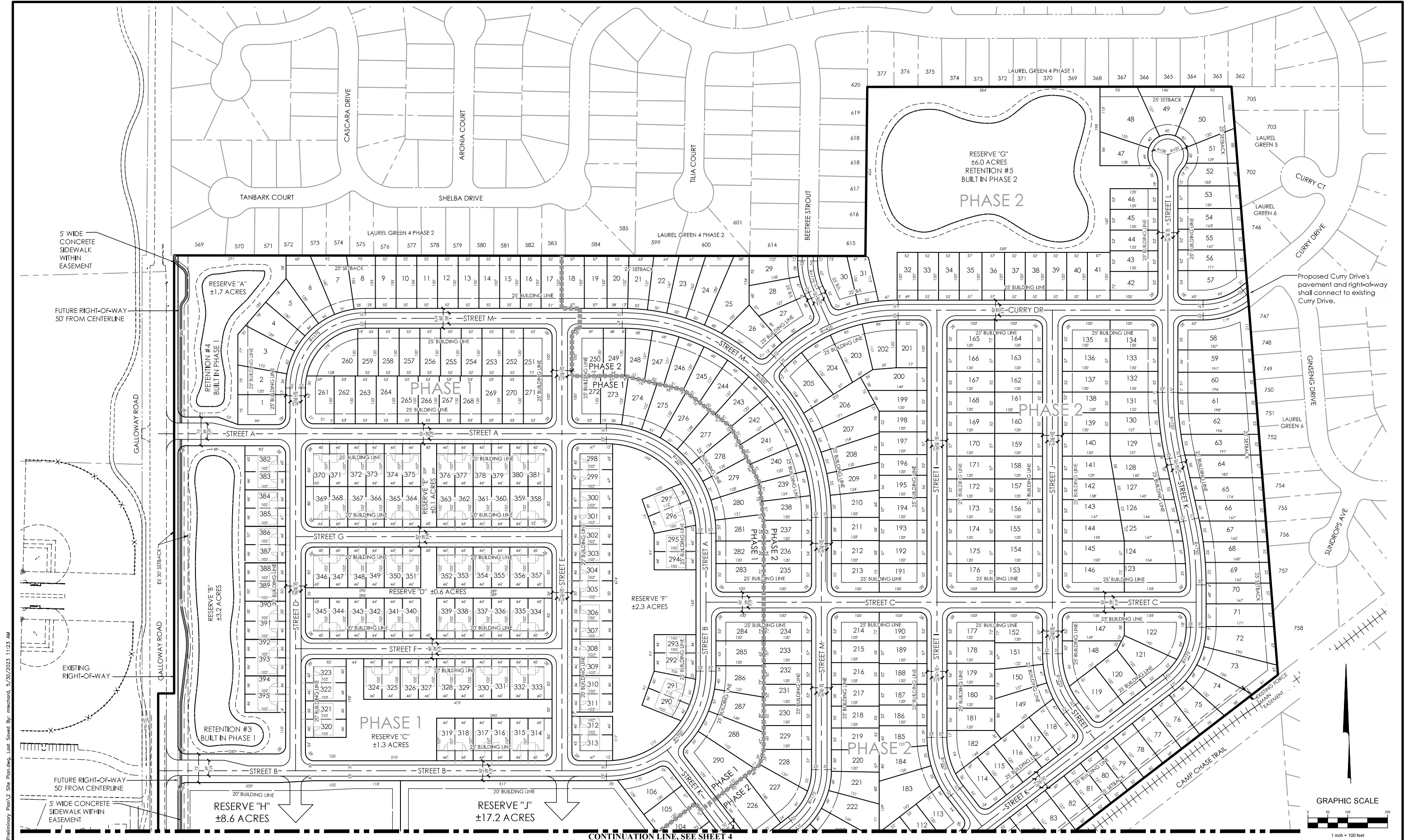
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PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
 PRELIMINARY PLAN
 FOR
GALLOWAY EAST
 NATURAL AND EXISTING FEATURES PLAN **Received 5/30/23**

LOCATED IN:
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 TOWNSHIP OF PRAIRIE, COUNTY OF FRANKLIN, STATE OF OHIO

Date	Job No.
MAY 30, 2023	20220993
Scale	Sheet
1"=150'	2/9



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CONTINUATION LINE, SEE SHEET 4

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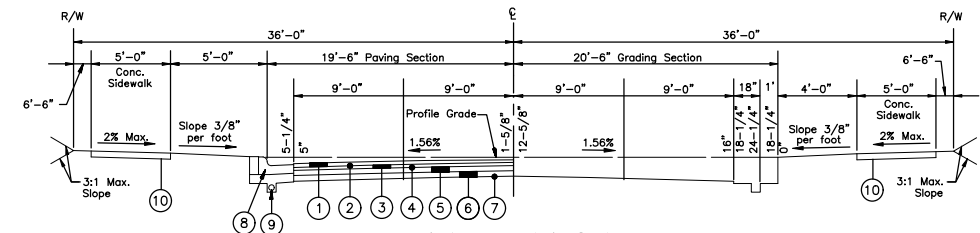
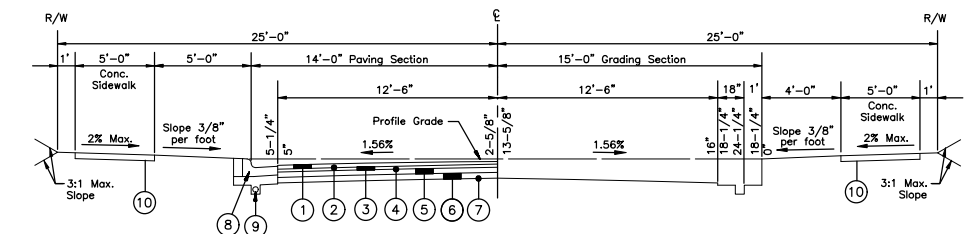
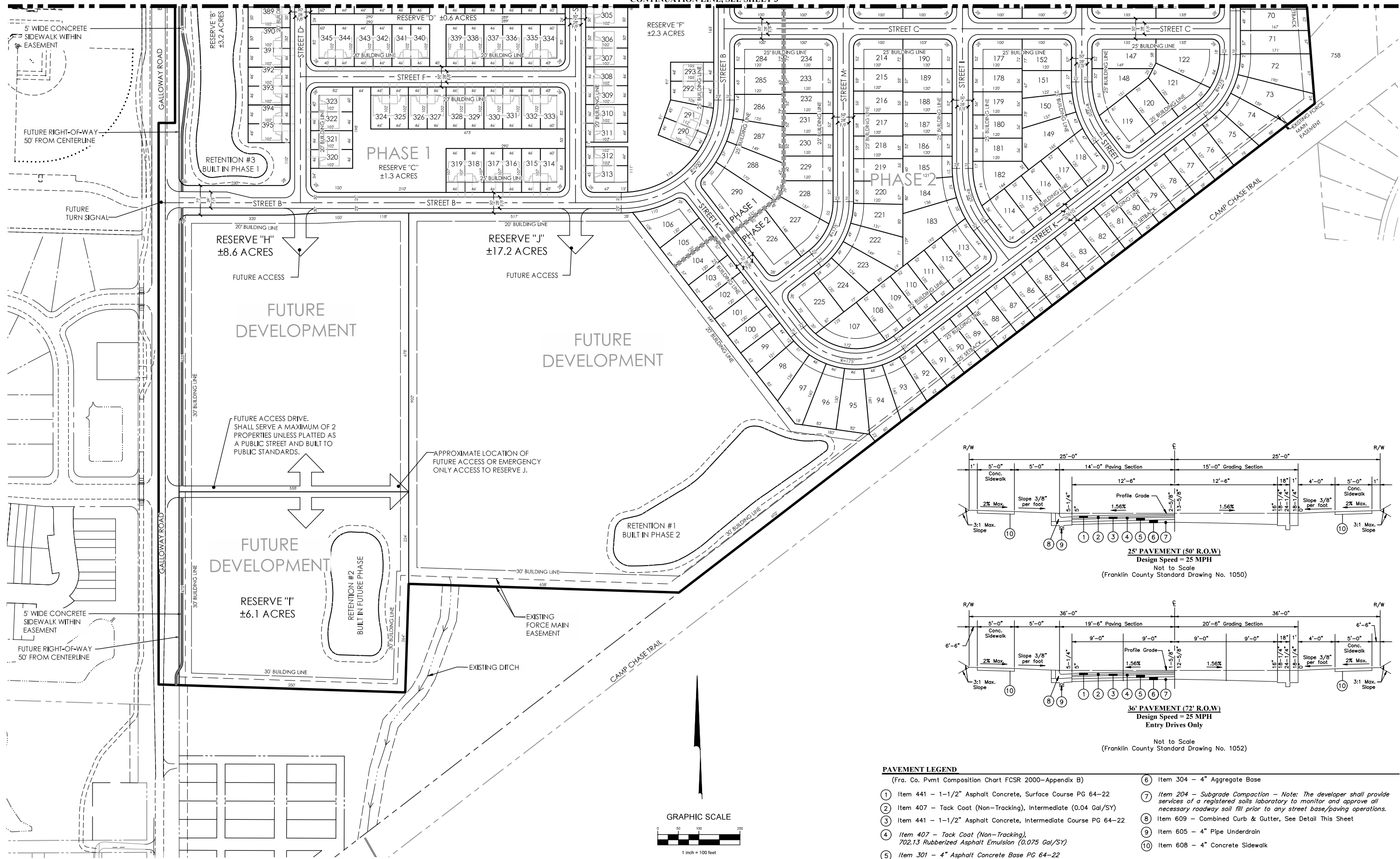
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PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
 PRELIMINARY PLAN
 FOR
GALLOWAY EAST
 SITE PLAN

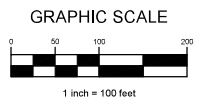
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 TOWNSHIP OF PRAIRIE, COUNTY OF FRANKLIN, STATE OF OHIO

Date	MAY 30, 2023	Job No.	20220993
Scale	1"=100'	Sheet	3/9



- PAVEMENT LEGEND**
(Fra. Co. Pmnt Composition Chart FCSR 2000-Appendix B)
- ① Item 441 - 1-1/2" Asphalt Concrete, Surface Course PG 64-22
 - ② Item 407 - Tack Coat (Non-Tracking), Intermediate (0.04 Gal/SY)
 - ③ Item 441 - 1-1/2" Asphalt Concrete, Intermediate Course PG 64-22
 - ④ Item 407 - Tack Coat (Non-Tracking), 702.13 Rubberized Asphalt Emulsion (0.075 Gal/SY)
 - ⑤ Item 301 - 4" Asphalt Concrete Base PG 64-22
 - ⑥ Item 304 - 4" Aggregate Base
 - ⑦ Item 204 - Subgrade Compaction - Note: The developer shall provide services of a registered soils laboratory to monitor and approve all necessary roadway soil fill prior to any street base/paving operations.
 - ⑧ Item 609 - Combined Curb & Gutter, See Detail This Sheet
 - ⑨ Item 605 - 4" Pipe Underdrain
 - ⑩ Item 608 - 4" Concrete Sidewalk



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PRELIMINARY PLAN
FOR
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SITE PLAN

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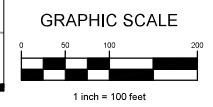
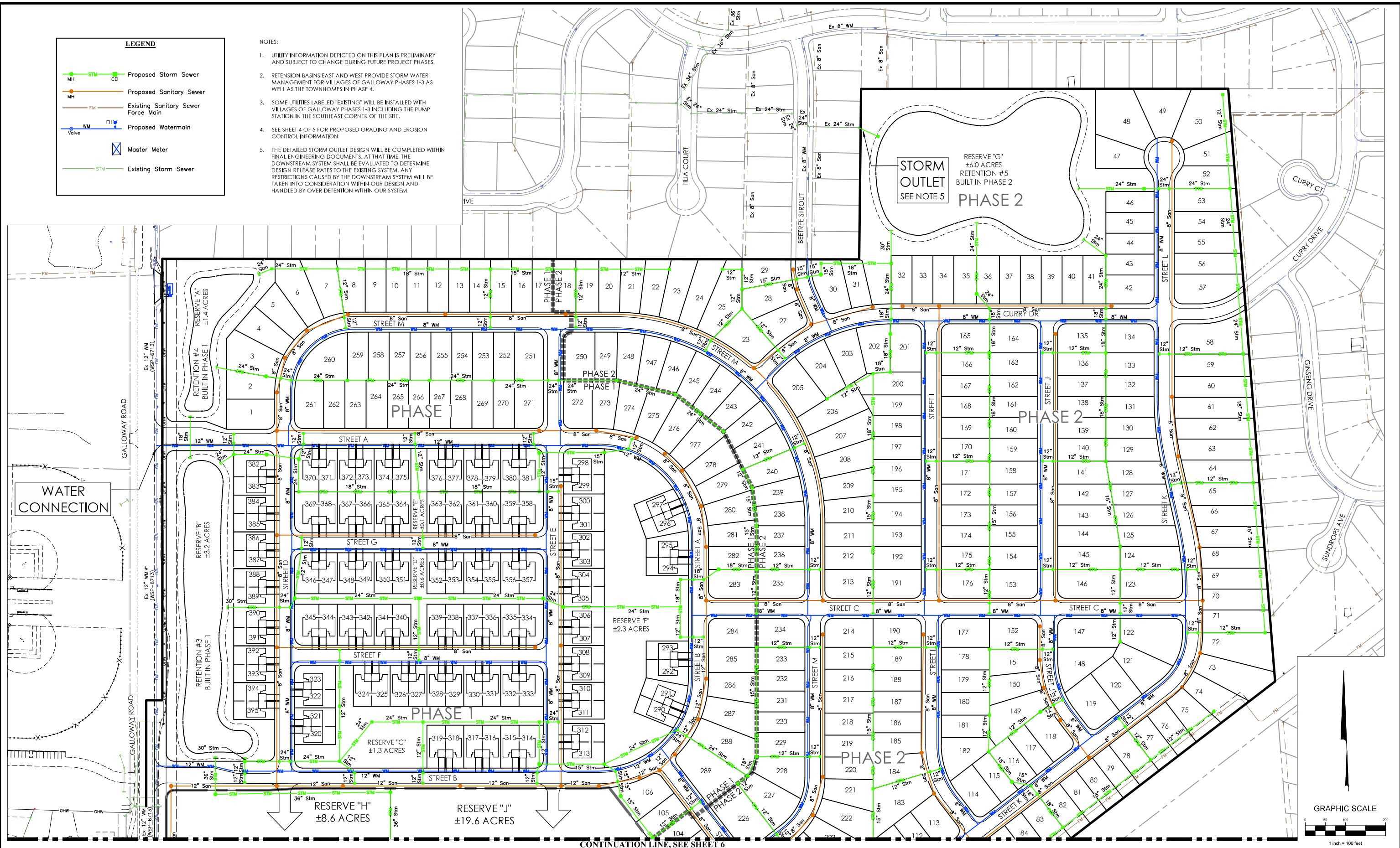
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Date	MAY 30, 2023	Job No.	20220993
Scale	1"=100'	Sheet	4/9

LEGEND

- Proposed Storm Sewer
- Proposed Sanitary Sewer
- Existing Sanitary Sewer Force Main
- Proposed Watermain
- Valve
- Master Meter
- Existing Storm Sewer

- NOTES:**
- UTILITY INFORMATION DEPICTED ON THIS PLAN IS PRELIMINARY AND SUBJECT TO CHANGE DURING FUTURE PROJECT PHASES.
 - RETENTION BASINS EAST AND WEST PROVIDE STORM WATER MANAGEMENT FOR VILLAGES OF GALLOWAY PHASES 1-3 AS WELL AS THE TOWNHOMES IN PHASE 4.
 - SOME UTILITIES LABELED "EXISTING" WILL BE INSTALLED WITH VILLAGES OF GALLOWAY PHASES 1-3 INCLUDING THE PUMP STATION IN THE SOUTHEAST CORNER OF THE SITE.
 - SEE SHEET 4 OF 5 FOR PROPOSED GRADING AND EROSION CONTROL INFORMATION.
 - THE DETAILED STORM OUTLET DESIGN WILL BE COMPLETED WITHIN FINAL ENGINEERING DOCUMENTS. AT THAT TIME, THE DOWNSTREAM SYSTEM SHALL BE EVALUATED TO DETERMINE DESIGN RELEASE RATES TO THE EXISTING SYSTEM. ANY RESTRICTIONS CAUSED BY THE DOWNSTREAM SYSTEM WILL BE TAKEN INTO CONSIDERATION WITHIN OUR DESIGN AND HANDLED BY OVER DETENTION WITHIN OUR SYSTEM.



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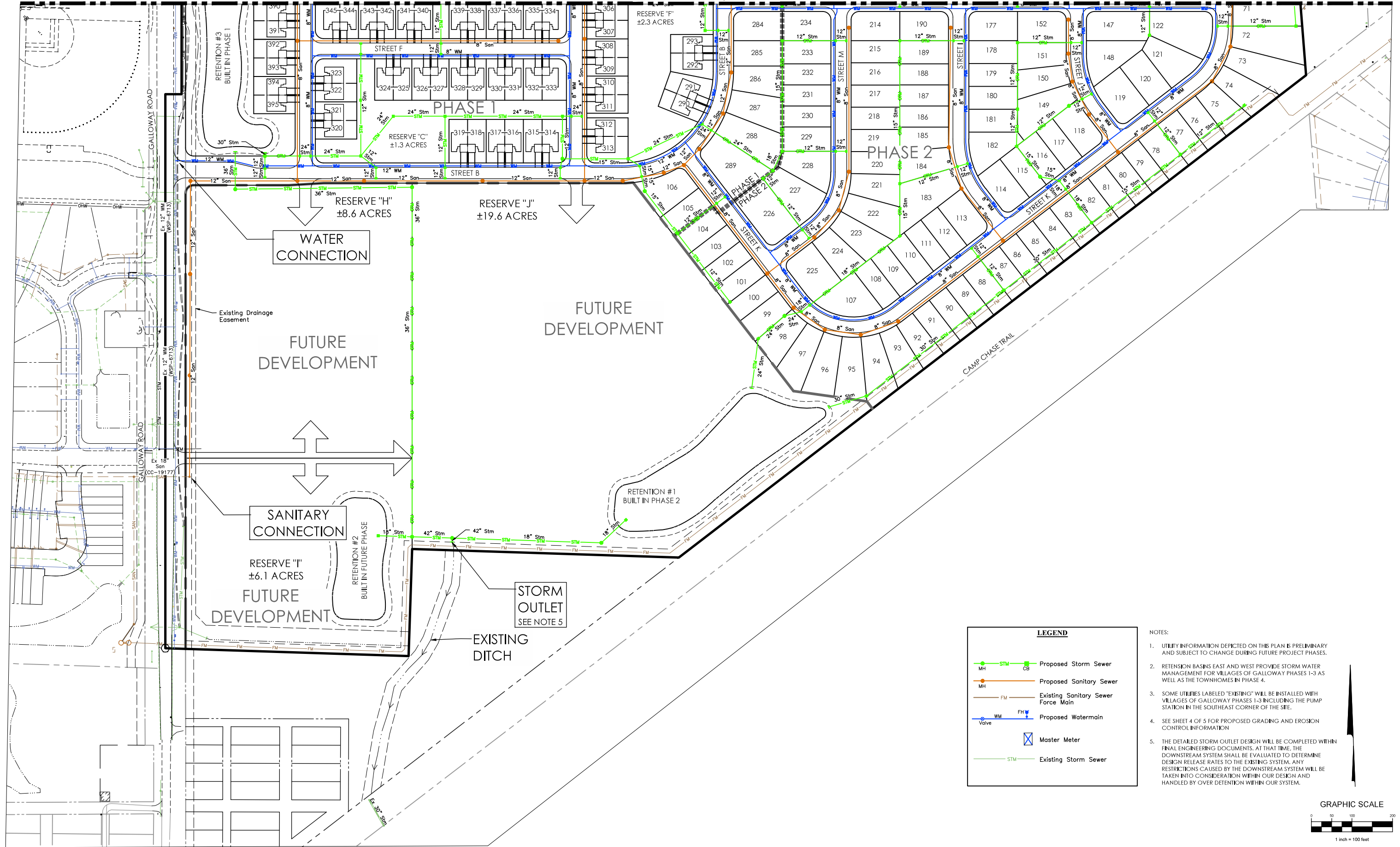
PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
PRELIMINARY PLAN
FOR
GALLOWAY EAST
COMPOSITE UTILITY PLAN

772-PP
Received 5/30/23

LOCATED IN:
VIRGINIA MILITARY SURVEY NO. 1473
TOWNSHIP OF PRAIRIE, COUNTY OF FRANKLIN, STATE OF OHIO

Date	MAY 30, 2023	Job No.	20220993
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CONTINUATION LINE, SEE SHEET 5



WATER CONNECTION

FUTURE DEVELOPMENT

SANITARY CONNECTION

FUTURE DEVELOPMENT

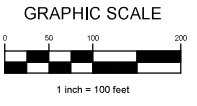
STORM OUTLET
SEE NOTE 5

EXISTING DITCH

LEGEND

- Proposed Storm Sewer
- Proposed Sanitary Sewer
- Existing Sanitary Sewer Force Main
- Proposed Watermain
- Master Meter
- Existing Storm Sewer

- NOTES:**
- UTILITY INFORMATION DEPICTED ON THIS PLAN IS PRELIMINARY AND SUBJECT TO CHANGE DURING FUTURE PROJECT PHASES.
 - RETENTION BASINS EAST AND WEST PROVIDE STORM WATER MANAGEMENT FOR VILLAGES OF GALLOWAY PHASES 1-3 AS WELL AS THE TOWNHOMES IN PHASE 4.
 - SOME UTILITIES LABELED "EXISTING" WILL BE INSTALLED WITH VILLAGES OF GALLOWAY PHASES 1-3 INCLUDING THE PUMP STATION IN THE SOUTHEAST CORNER OF THE SITE.
 - SEE SHEET 4 OF 5 FOR PROPOSED GRADING AND EROSION CONTROL INFORMATION
 - THE DETAILED STORM OUTLET DESIGN WILL BE COMPLETED WITHIN FINAL ENGINEERING DOCUMENTS. AT THAT TIME, THE DOWNSTREAM SYSTEM SHALL BE EVALUATED TO DETERMINE DESIGN RELEASE RATES TO THE EXISTING SYSTEM. ANY RESTRICTIONS CAUSED BY THE DOWNSTREAM SYSTEM WILL BE TAKEN INTO CONSIDERATION WITHIN OUR DESIGN AND HANDLED BY OVER DETENTION WITHIN OUR SYSTEM.



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REVISIONS	
DATE	DESCRIPTION
5/15/2023	REVISED PER STAFF COMMENTS

EMHT
Evans, Mechwart, Hamilton & Tibon, Inc.
Engineers • Surveyors • Planners • Scientists
800 New Albany Road, Columbus, OH 43054
Phone: 614.276.4800 Toll Free: 800.778.3446
emht.com

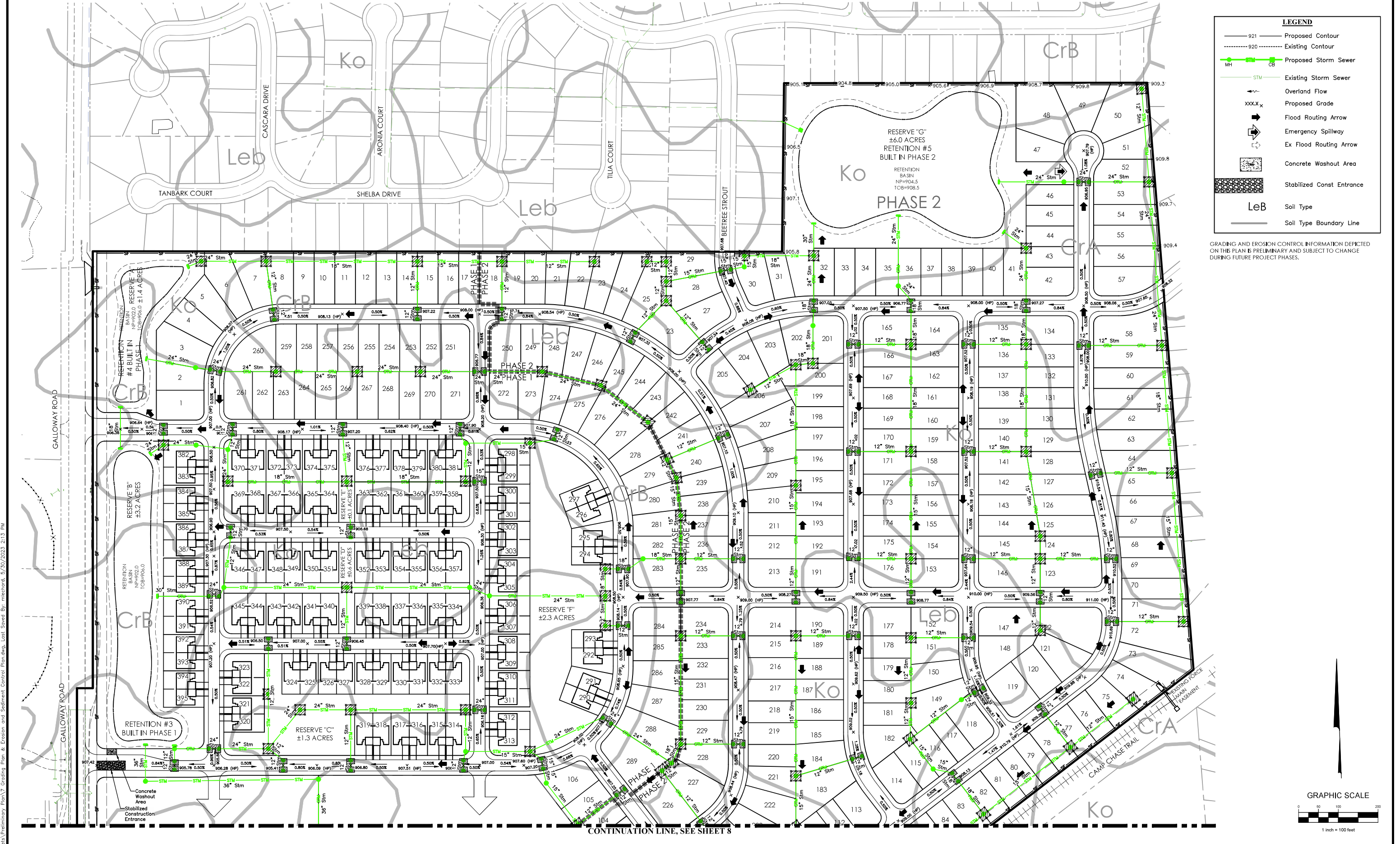
T & R PROPERTIES
3895 STONERIDGE LANE
DUBLIN, OHIO 43017

PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
PRELIMINARY PLAN
FOR
GALLOWAY EAST
COMPOSITE UTILITY PLAN

772-PP
Received 5/30/23

LOCATED IN:
VIRGINIA MILITARY SURVEY NO. 1473
TOWNSHIP OF PRAIRIE, COUNTY OF FRANKLIN, STATE OF OHIO

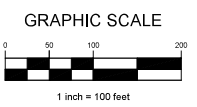
Date	MAY 30, 2023	Job No.	20220993
Scale	1"=100'	Sheet	6/9



LEGEND

- 921 — Proposed Contour
- 920 --- Existing Contour
- MH — CB — Proposed Storm Sewer
- STM — Existing Storm Sewer
- Overland Flow
- XXX.X Proposed Grade
- Flood Routing Arrow
- ⇨ Emergency Spillway
- ⇨ Ex Flood Routing Arrow
- Concrete Washout Area
- Stabilized Const Entrance
- LeB Soil Type
- Soil Type Boundary Line

GRADING AND EROSION CONTROL INFORMATION DEPICTED ON THIS PLAN IS PRELIMINARY AND SUBJECT TO CHANGE DURING FUTURE PROJECT PHASES.



CONTINUATION LINE, SEE SHEET 8

A:\2022\993\Draw\04Sheets\01Prelim\Plan\7 Grading Plan & Erosion and Sediment Control Plan.dwg, Last Saved By: michard, 5/30/2023 2:13 PM

REVISIONS	
DATE	DESCRIPTION
5/15/2023	REVISED PER STAFF COMMENTS

EMHT
 Evans, Mechwart, Hamilton & Tilton, Inc.
 Engineers • Surveyors • Planners • Scientists
 800 New Albany Road, Columbus, OH 43264
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 emht.com

T & R PROPERTIES
 3895 STONERIDGE LANE
 DUBLIN, OHIO 43017

PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
 PRELIMINARY PLAN
 FOR
GALLOWAY EAST
 GRADING PLAN & EROSION AND SEDIMENT CONTROL PLAN

772-PP
 Received 5/30/23

LOCATED IN:
 VIRGINIA MILITARY SURVEY NO. 1473
 TOWNSHIP OF PRAIRIE, COUNTY OF FRANKLIN, STATE OF OHIO

Date	MAY 30, 2023	Job No.	20220993
Scale	1"=100'	Sheet	7/9

CONTINUATION LINE, SEE SHEET 7



LEGEND

- 921 — Proposed Contour
- - - 920 - - - Existing Contour
- Proposed Storm Sewer
- - - Existing Storm Sewer
- Overland Flow
- X— Proposed Grade
- Flood Routing Arrow
- ↗ Emergency Spillway
- ↖ Ex Flood Routing Arrow
- Concrete Washout Area
- Stabilized Const Entrance
- LeB Soil Type
- Soil Type Boundary Line

GRADING AND EROSION CONTROL INFORMATION DEPICTED ON THIS PLAN IS PRELIMINARY AND SUBJECT TO CHANGE DURING FUTURE PROJECT PHASES.

A:\20220993\09\04\Sheets\Pre\Plan\7 Grading Plan & Erosion and Sediment Control Planning - Last Saved By: michard, 5/30/2023 2:13 PM

REVISIONS	
DATE	DESCRIPTION
5/15/2023	REVISED PER STAFF COMMENTS

EMHT
 Evans, Mechwart, Hamilton & Tilton, Inc.
 Engineers • Surveyors • Planners • Scientists
 8001 New Albany Road, Columbus, OH 43244
 Phone: 614.776.4800 Toll Free: 800.776.3446
 emht.com

T & R PROPERTIES
 3895 STONERIDGE LANE
 DUBLIN, OHIO 43017

PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
 PRELIMINARY PLAN
 FOR
GALLOWAY EAST
 GRADING PLAN & EROSION AND SEDIMENT CONTROL PLAN

772-PP
 Received 5/30/23

LOCATED IN:
 VIRGINIA MILITARY SURVEY NO. 1473
 TOWNSHIP OF PRAIRIE, COUNTY OF FRANKLIN, STATE OF OHIO

Date	MAY 30, 2023	Job No.	20220993
Scale	1"=100'	Sheet	8/9

SITE DATA

OWNER/DEVELOPER
T&R Properties
3895 Stoneridge Lane
Dublin, Ohio 43017
Phone: (614) 923-4000

PLAN DESIGNER:
EMH&T, Inc.
5500 New Albany Road
Columbus, Ohio 43054
Phone: 614-775-4500
Fax: 614-775-4800

DEVELOPMENT TYPE:
Mixed-Use Development

PROJECT DESCRIPTION:
The site consists of approximately +/-133.8 acres of existing farm land. Activities will include the construction of mixed-use lands including single family development, patio homes, multi-family developments, and future commercial out lots. The proposed construction includes infrastructure improvements to develop each of these land uses. These infrastructure improvements will consist of street, storm sewer, sanitary sewer, and water lines, along with other private utilities to service this area.

EXISTING SITE CONDITIONS:
The site primarily consists of agricultural fields east of Galloway Road, the majority of the site falls within the Big Darby Watershed, however the northeastern area is not within the Big Darby Watershed and tributaries to the Scioto Watershed through City of Columbus infrastructure.

RECEIVING STREAM:
Hellbroach Run - Scioto River

ADJACENT AREAS:
The site is bordered by Laurel Green Residential Development to the north, Galloway Road to the west, Camp Chase Trail Railroad to the south, and Laurel Green Residential Development to the east.

SOILS:
The soil on the site consists of:
CrA: Crosby Silt Loam, 0 to 2 Percent Slopes
CrB: Crosby Silt Loam, 2 to 6 Percent Slopes
Ko: Kokomo Silty Clay Loam, 0 to 2 Percent Slopes
Leb: Lewisburg-Crosby Complex, 2 to 6 percent Slopes

GRADING REQUIREMENTS
The site will be stripped of unsuitable material and will require fill over the site to bring grade up to sub-base. Most of the site will be graded to drain back onto the site. All offsite areas will be conducted through the site and storm system with excess above ponding storm system with excess above ponding volume being discharged through emergency overflow.

EROSION AND SEDIMENT MEASURES
Erosion and sediment will be controlled by the use of inlet protection at proposed inlets, temporary sediment basins with control structures, and filter fabric fence will be constructed as per plan.

PERMANENT STABILIZATION
The site will be stabilized by the use of seeding or sodding in overlot areas.

MAINTENANCE
All erosion control devices are to be inspected by the construction superintendent daily and after significant rainfalls. Any damaged facilities are to be replaced/repared immediately as may be necessary.

SEQUENCE OF CONSTRUCTION
1. Install stabilized construction entrances & concrete washout area.
2. Install perimeter sediment fence.
3. Ensure skimmer is still installed.
4. Begin proposed earthwork activities.
5. Install storm sewer inlet protection on all proposed inlets.
6. Disturbed areas that will remain idle for more than 14 days shall be temporarily stabilized throughout construction activities.
7. Upon permanent stabilization of the site, remove temporary erosion & sediment controls including skimmer & riser from basins.

TEMPORARY AND PERMANENT SEEDING
The limits of seeding and mulching are as shown within the plan as indicated by the limits of disturbance. All areas not designated to be seeded shall remain under natural ground cover. Those areas disturbed outside the seeding limits shall be seeded and mulched at the Contractor's expense.

TEMPORARY SEEDING
Any area which will be left dormant (undisturbed) for more than 14 days shall be seeded within 7 days of terminated work. Disturbed areas within 50 feet of a stream, first order or larger, shall be stabilized within 2 days of inactivity. Temporary seeding consists of seedbed preparation and application of seed, fertilizer, and water. Soil test is recommended to determine proper application rate of fertilizer and if lime is necessary.

Fertilizer 12-12-12	25 lb/1000 sq. ft.
Straw Mulch	2 tons/acre
Water	300 G/1000 sq. ft.

TEMPORARY SEEDING			
SEEDING DATES	SPECIES	lb./1000 sq. ft.	Per acre
March 1 to August 15	Oats	3	4 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
August 16 to November 1	Perennial Ryegrass	1	40 lb.
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
November 1 to Spring Seeding	Rye	3	2 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
Nov. 1 to Spring Seeding	Wheat	3	2 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
Nov. 1 to Spring Seeding	Perennial Ryegrass	1	40 lb.
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.

PERMANENT SEEDING
Any area that is at final grade shall be seeded within 7 days of terminated work. Permanent seeding consists of seedbed preparation and application of seed, fertilizer, and water. Soil test is recommended to determine proper application rate of fertilizer and if lime is necessary. Ideal conditions for permanent seeding are from March 1-May 31 and August 1-October 15.

PERMANENT SEEDING		
SEED MIX	SEEDING RATE lb./1000 sq.ft.	NOTES
Creeping Red Fescue	1.6	
Kentucky Bluegrass	1.6	
Annual Ryegrass	0.8	

EROSION & SEDIMENT CONTROL NOTES

MAINTENANCE:
It is the Contractor's responsibility to maintain the sedimentation and erosion control features on this project. Any sediment or debris which has reduced the efficiency of a control shall be removed immediately. Should a structure or feature become damaged, the contractor shall repair or replace at no additional cost to the owner.

INSPECTIONS:
The NPDES permit holder shall provide qualified personnel to conduct site inspections ensuring proper functionality of the erosion and sedimentation controls. All erosion and sedimentation controls are to be inspected once per every seven calendar days or within 24 hours of a .5" storm event or greater. Records of the site inspections shall be kept and made available to jurisdictional agencies if requested.

CONTRACTORS RESPONSIBILITIES:
Details have been provided on the plans in an effort to help the Contractor provide erosion and sedimentation control. The details shown on the plan shall be considered a minimum. Additional or alternate details may be found in the O.D.N.R. Manual "Rainwater and Land Development." The Contractor shall be solely responsible for providing necessary and adequate measures for proper control of erosion and sediment runoff from the site along with proper maintenance and inspection in compliance with the NPDES General Permit for Storm Discharges Associated with Construction Activity.

The Contractor shall provide a schedule of operations to the owner. The schedule should include a sequence of the placement of the sedimentation and erosion control measures that provides for continual protection of the site throughout the earth moving activities.

Prior to Construction Operations in a particular area, all sedimentation and erosion control features shall be in place. Field adjustments with respect to locations and dimensions may be made by the Engineer and the Ohio EPA.

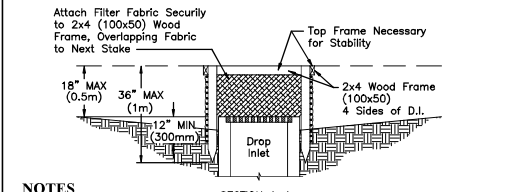
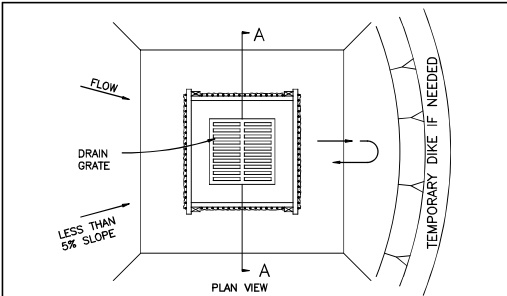
The Contractor shall place inlet protection for the sedimentation control immediately after construction of the catch basins or inlets which are not tributary to a sediment basin or dam.

It may become necessary to remove portions of sedimentation controls during construction to facilitate the grading operations in certain areas. However, the controls shall be replaced upon grading or during any inclement weather.

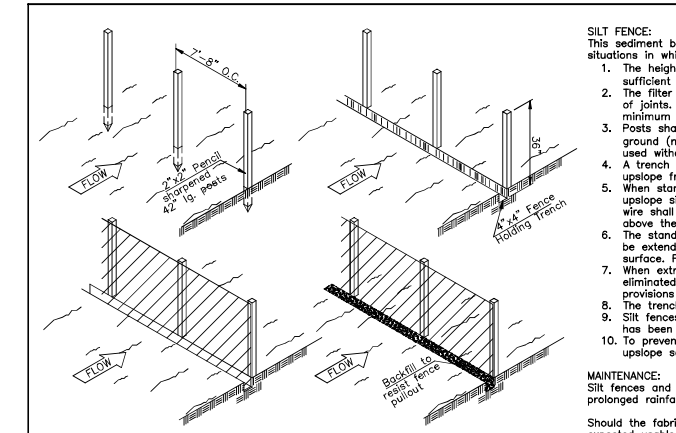
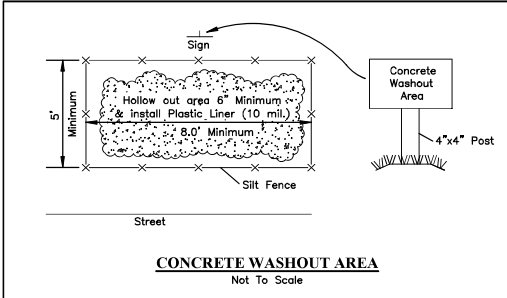
The Contractor shall be responsible to have the current Storm Water Pollution Prevention Plan immediately available or posted on site.

The Contractor shall be responsible to ensure that off-site tracking of sediments by vehicles and equipment is minimized. All such off-site sediment shall be cleaned up daily.

The Contractor shall be responsible to ensure that no solid or liquid waste is discharged into storm water runoff. Untreated sediment-laden runoff shall not flow off of site without being directed through a control practice. Concrete trucks will not be allowed to wash out or discharge surplus concrete into or along-side rivers, streams, or creeks or into natural or man-made channels or swales leading thereto. Concrete wash water and surplus concrete shall be confined to approved areas; after solidifying, these waste materials shall be removed from the site.



- NOTES**
1. Drop Inlet Sediment Barriers are to be used for Small, Nearly Level Drainage Areas. (Less than 5%)
 2. Use 2"x4" (100x50mm) Wood or Equivalent Metal Stakes, 3' (1m) Minimum Length.
 3. Install 2"x4" (100x50mm) Wood Top Frame to Insure Stability.
 4. The Top of the Frame (Ponding Height) must be well Below the Ground Elevation Downslope to Prevent Runoff from by-passing the Inlet. A Temporary Dike may be Necessary on the Downslope Side of the Structure.
- FILTER FABRIC INLET PROTECTION**
Not To Scale



Silt fence fabric shall be ODOT, Type C Geotextile fabric or the equivalent to the following properties:

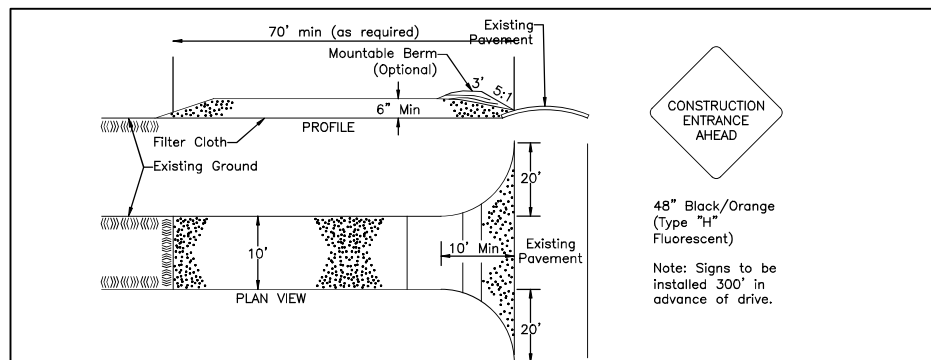
MATERIAL PROPERTIES

Maximum Tensile Strength	120 lbs
Maximum Elongation at 60 Lbs.	50%
Minimum Puncture Strength	50 lbs
Minimum Tear Strength	40 lbs
Minimum Burst Strength	200 psi
Apparent Opening Size	0.84 mm
Minimum Permittivity	1 x 10 ⁻² sec. ⁻¹
Ultraviolet Exposure Strength Retention	70%

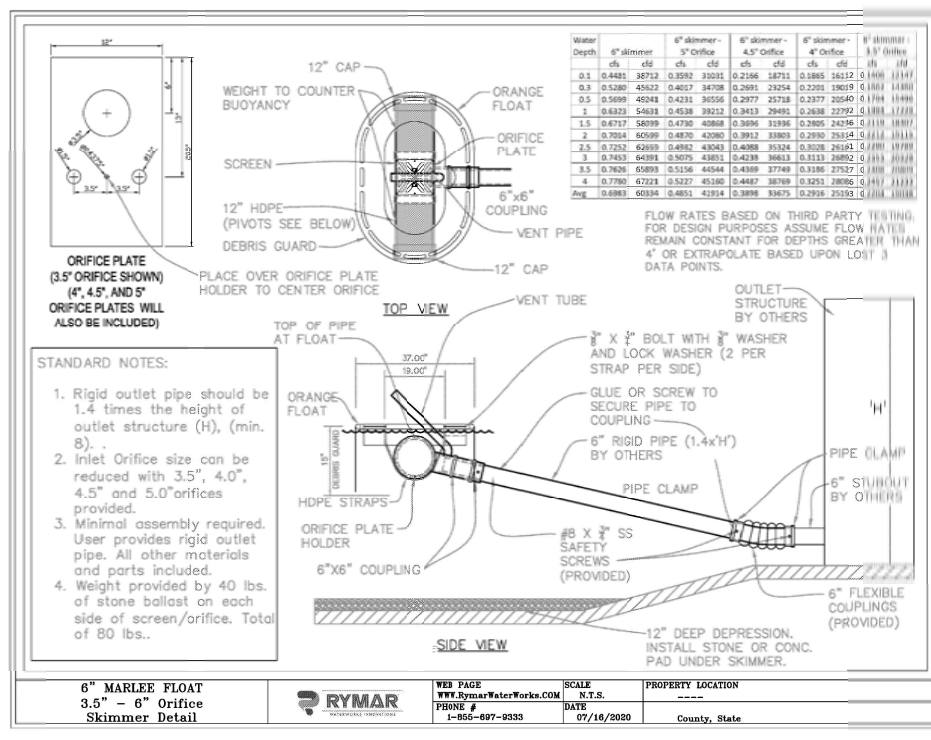
SILT FENCE DETAIL
Not To Scale

The use of straw wattles has proven to be versatile and effective Erosion and Sediment Control BMP, especially in residential settings. Straw wattles may be substituted for silt fence in linear installations.

The use of compost filter socks and compost blankets are gaining wider acceptance nationwide. They are now approved for use on all Columbus SWP3 plans and construction sites.



- CONSTRUCTION SPECIFICATIONS:**
1. Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
 2. Length - 70' minimum
 3. Thickness - Not less than six (6) inches.
 4. Width - Fifteen (15) foot minimum, but not less than the full width at points where ingress or egress occurs.
 5. Filter Cloth - will be placed over the entire area prior to placing of stone.
 6. Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
 7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public right-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measure used to trap all sediment spilled, dropped, washed or tracked onto public rights of way must be removed immediately.
 8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public right-of-ways. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
 9. Periodic inspection and needed maintenance shall be provided after each rain.
- STABILIZED CONSTRUCTION ENTRANCE**
Not To Scale



6" MARLEE FLOAT 3.5" - 6" Orifice Skimmer Detail

RYMAR
www.RymarWaterWorks.com
1-855-897-2535

WEB PAGE
www.RymarWaterWorks.com

SCALE
N.T.S.

PROPERTY LOCATION
County, State

DATE
07/16/2020

DATE
MAY 30, 2023

JOB NO.
20220993

Scale
Sheet

9/9

A:\2022\0993\0993.dwg (6-Sheets) Preliminary Plan V7 - Grading Plan and Erosion and Sediment Control Plan.dwg, Last Saved By: michard, 5/30/2023 2:13 PM

PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
PRELIMINARY PLAN
FOR
GALLOWAY EAST
EROSION AND SEDIMENT CONTROL PLAN DETAILS

772-PP
Received 5/30/23

EMH&T
Evans, Mechwart, Hamilton & Tibon, Inc.
Engineers + Surveyors + Planners + Scientists
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Phone: 614-776-4800 Fax: 614-776-4806
emht.com

T & R PROPERTIES
3895 STONERIDGE LANE
DUBLIN, OHIO 43017

LOCATED IN:
VIRGINIA MILITARY SURVEY NO. 1473
TOWNSHIP OF PRAIRIE, COUNTY OF FRANKLIN, STATE OF OHIO



STAFF REPORT

Planning Commission
June 14, 2023

Case: 776-V

Prepared by: Matt Brown

Owner:	Victory Stables LLC
Applicant:	Hugh Showe
Township:	Brown Township
Site:	7380 Scioto Darby Creek Road (PID #120-001093)
Acreage:	45.9-acres
Utilities:	Private water and wastewater
Request:	Requesting a Variance from Section 501.05 of the Franklin County Subdivision Regulations to allow the creation of a lot with a side lot line more than five (5) degrees of perpendicular to the street centerline.

Summary:

The applicant is requesting a Variance to allow a lot line adjustment that will result in a side lot line more than five (5) degrees of perpendicular to the street centerline. The application meets the criteria to grant a variance. Staff recommends **approval with conditions**.

Request:

The site is located on the north side of Scioto Darby Creek Road, approximately 0.22 miles east of Langton Road in Brown Township. The applicant is proposing to adjust 1.502-acres from a 45.9-acre property to an adjacent 2.581-acre property. The area to be adjusted includes two agricultural barns and a grain silo. The adjustment will result in a shared side lot line that is more than 5 degrees of perpendicular to the street centerline.

Surrounding Zoning and Land Use:

The subject site is completely surrounded by the incorporated area of Hilliard. Land to the east is under development as a medium density residential subdivision. The remainder of the area is large lot residential and agricultural in use.

Comprehensive Plan:

The Brown Township Comprehensive Plan, adopted in 2005, recommends the site for Residential Transitional Density with a maximum density of 1 dwelling unit per acre while protecting environmentally sensitive areas.

The Big Darby Accord Watershed Master Plan, adopted in 2006, includes a Proposed General Land Use Map and a Conservation Strategy Map to help guide development. The General Land Use map recommends the site for conservation development with 50 percent open space and 1 dwelling unit per acre. The Conservation Strategy map identifies no environmentally sensitive areas on the site.

The proposal is a lot line adjustment that does not create an additional development site or change land use.

Technical Review Agencies

No Technical Review Committee Agencies have expressed concerns with the requested variance however the variance application was filed prior to the completion of a formal review of a lot line adjustment application. Franklin County Public Health has indicated that the 45+ acre property has a small-scale commercial wastewater treatment system that utilizes soil absorption applied by spray irrigation. The spray irrigation system has a property line isolation radius from the soil absorption area of 50 feet and the spray head has a radius of 30 feet, the total property line isolation radius from the existing spray irrigation head is 80 feet. The proposed eastern property line of the area to be adjusted is located 81 feet from the spray irrigation head.

Staff Analysis

Variance Criteria – Section 701.01:

The following criteria govern the granting of a variance:

1. *It shall not be detrimental to public health or safety or be injurious to other property.*

The applicant stated that the request will have no effect on the surrounding agricultural area.

- The location of the eastern lot line for the proposed adjustment has been set to satisfy public health requirements for setback to a wastewater treatment system. As proposed, the lot line adjustment protects public health by assuring appropriate setback of the proposed lot line from the treatment system. The proposal will not be detrimental to public safety or be injurious to other property.

2. *Circumstances of the request are unique to the property and not generally applicable to others.*

The applicant indicated that the property is unique in that the area to be adjusted is improved with existing barns and a grain silo and that the buildings are landlocked. The area to be adjusted cannot be subdivided as a standalone property without access. The adjacent property that will be obtaining the area to be adjusted has use for the existing agricultural buildings and transferring the land will preserve the those agricultural buildings.

- Staff does not believe that the agricultural structures on the area to be adjusted are a unique circumstance, however the location and type of wastewater treatment system on the property proposing to sell the acreage is unique. The systems location prevents the proposed lot line from being configured in a manner to comply with the lot geometry standard.

3. *Due to physical surroundings, shape or characteristics of the property, a hardship would result, as distinguished from an inconvenience, if the strict letter of these Regulations were enforced.*

The applicant indicated that the wastewater treatment system using spray irrigation for final treatment with a minimum 80 feet isolation radius from property lines is a characteristic that creates a hardship with respect to adjusting the proposed 1.502-acres to the adjoining property.

- Staff agrees that the wastewater treatment system using spray irrigation is a characteristic of the property that creates a hardship with respect to adjusting the area proposed in strict compliance with the Subdivision Regulations.

Staff Recommendation

Based on Staff's Analysis, staff recommends ***approval with conditions*** of the Variance request from Section 501.05 of the Franklin County Subdivision Regulations to allow the creation of a lot with a side lot line that is more than five (5) degrees of perpendicular to the street. The recommended condition of approval is that the applicant must apply for and receive approval of a lot line adjustment application.

Resolution

For your convenience, the following is a proposed resolution:

Proposed Resolution for Request:

_____ moves to approve a Variance from Section 501.05 of the Franklin County Subdivision Regulations as outlined in the request identified in Case No. 776-V.

Seconded by: _____

Findings of Fact

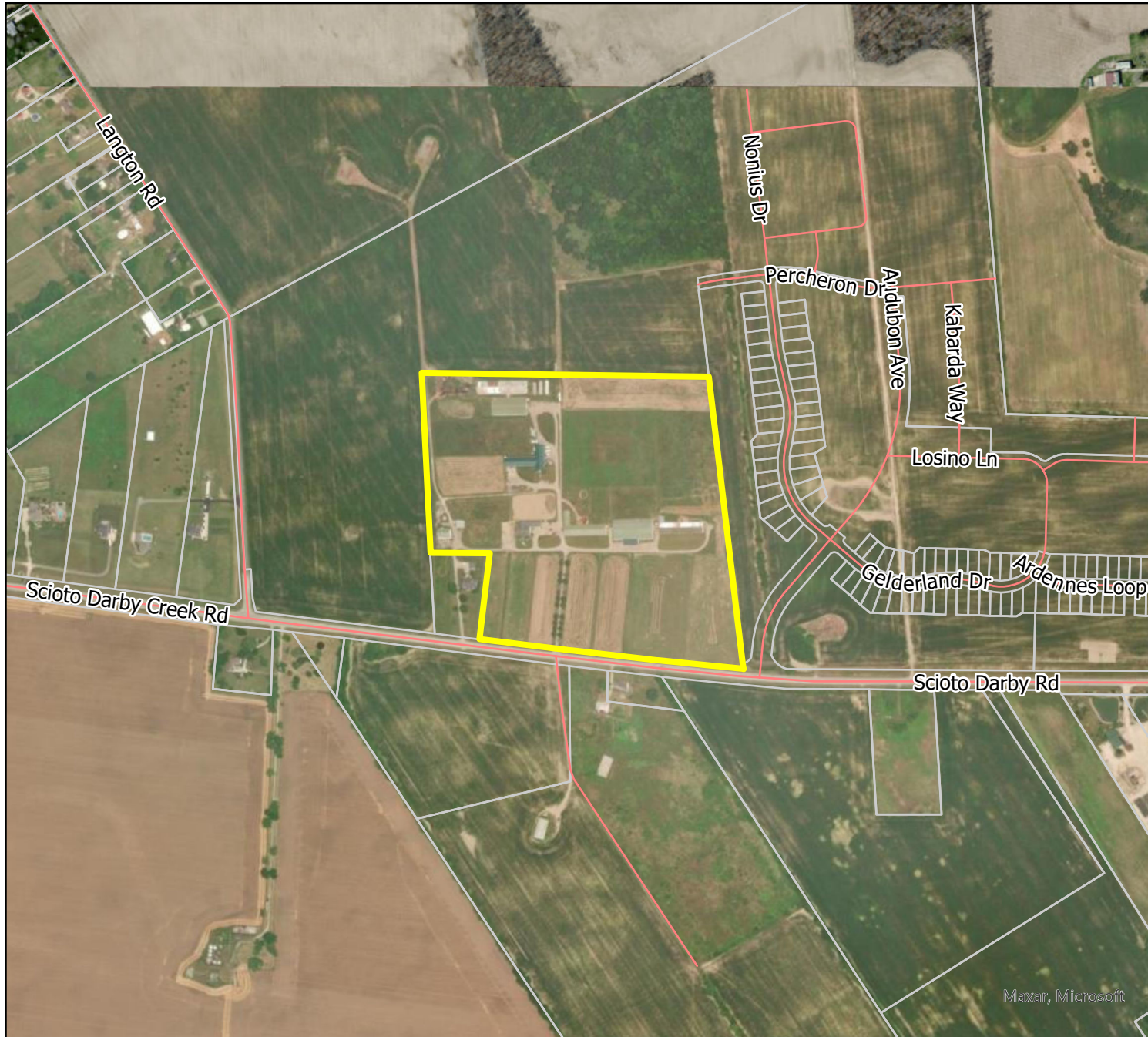
For your convenience, the following are proposed findings of fact:

_____ moves that the basis for approving/denying the applicant’s request for a Variance from Section 501.05 of the Franklin County Subdivision Regulations as outlined in the request for the applicant identified in Case No. 776-V results from the applicant satisfying/failing to satisfy the standards for granting a Variance under Section 701.07.

Seconded by: _____

701.07 General Standards for Variances. The FCPC shall not grant variations to these Regulations unless it shall make written findings of fact based upon the evidence presented by each specific case that:

- A. The particular physical surroundings, environmental constraints, shape, topographical or other exceptional condition of the specific property involved would cause extraordinary hardship or exceptional practical difficulty to the applicant, as distinguished from a mere inconvenience, if the provisions of these Subdivision Regulations were strictly enforced; and
- B. The conditions upon which the request for a variance is based are unusual to the property for which the variation is sought and are not applicable generally to other property; and
- C. The purpose of the variance is not based exclusively upon a desire to obtain additional income from the property; and
- D. The granting of the variance will not be detrimental to the public health, safety or general welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
- E. The special circumstances or conditions are created by the provisions or requirements of these regulations and have not resulted from any act of the applicant or applicant's predecessor in interest; and
- F. The variance requested is the minimum adjustment necessary for the reasonable use of the land.

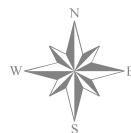
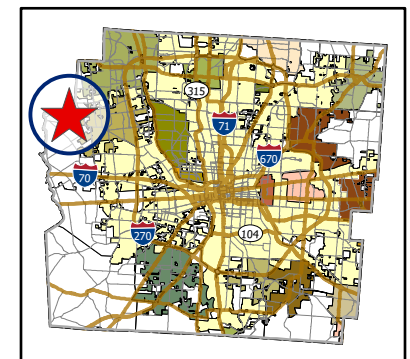


776-V

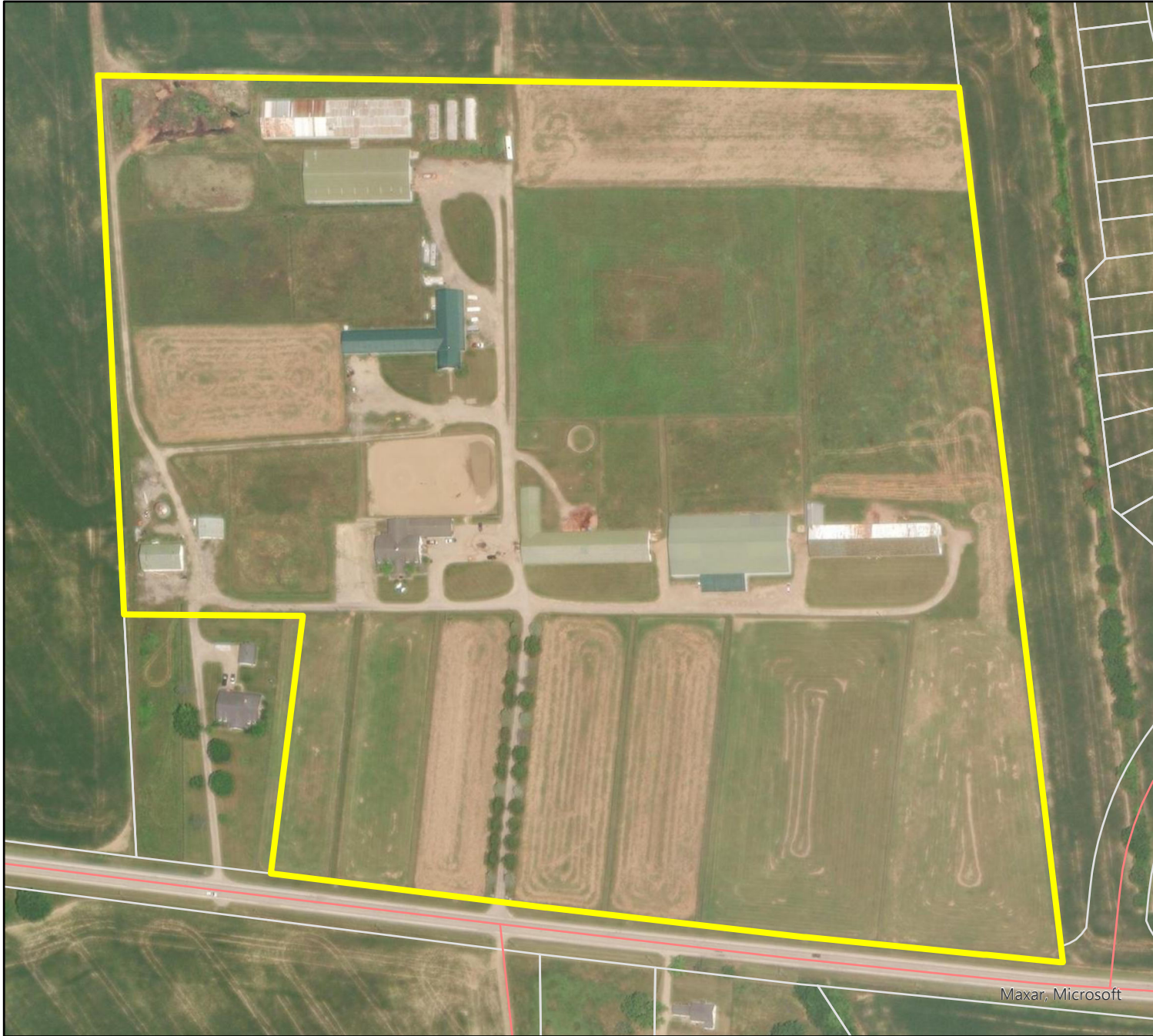
Requesting a Variance from Section 501.05 of the Franklin County Subdivision Regulations to allow the creation of lots that would have a side lot line beyond 5 degrees of perpendicular to the street centerline

Acres: 45.900-acres
Township: Brown Township

- Streets
- Parcels
- 2380 Scioto Darby Creek






Maxar, Microsoft

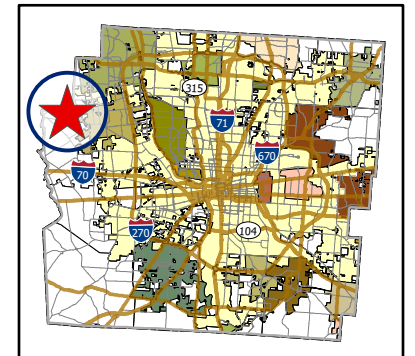


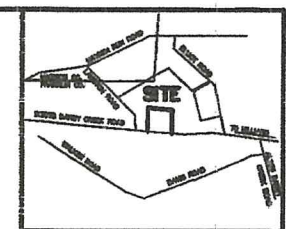
776-V

Requesting a Variance from Section 501.05 of the Franklin County Subdivision Regulations to allow the creation of lots that would have a side lot line beyond 5 degrees of perpendicular to the street centerline

Acres: 45.900-acres
Township: Brown Township

-  Streets
-  Parcels
-  2380 Scioto Darby Creek





LOCATION MAP
(NOT TO SCALE)

DESCRIPTION OF A 1.502 ACRE TRACT
NORTH OF SCIOTO DARBY CREEK ROAD,
EAST OF LANGTON ROAD

Situated in the State of Ohio, County of Franklin, Township of Brown, Virginia Military Survey No. 6640, being 1.502 acres of the tract of land conveyed to Victory Stables, LLC in Instrument Number 202207120101572 (all references refer to records in the Franklin County Recorder's Office) and being more fully described as follows:

Beginning for reference at a Franklin County Survey Monument FCSM No. 6654 at the centerline intersection of Scioto Darby Creek Road and Langton Road;

Thence South 82°58'27" East a distance of 497.15 feet, along the centerline of said Scioto Darby Creek Road, to an existing Franklin County Survey Monument FCSM No. 1857;

Thence South 62°58'28" East a distance of 457.53 feet, along the centerline of said Scioto Darby Creek Road, to an existing railroad spike (Franklin County Conveyances III 200503020035221, Parcel(s): 33 WD, FRA-CR-27-0-27);

Thence North 2°46'28" West a distance of 451.87 feet, along a westerly property line of Sidney D. and Leigh Ann Griffith (IN 199809010222471) 2.789 acre tract and bounded on the west by Hill Distributing Company (CONV 26507 D06) 594.123 acres (see), to an existing 3/4" ID pipe being the Point of Beginning;

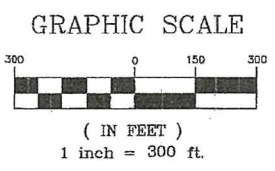
Thence North 2°46'28" West a distance of 205.43 feet bounded on the west by said 594.123 acre tract, to a 5/8" rebar set with cap "Hockaden";

Thence North 85°02'14" East a distance of 268.20 feet to a 5/8" rebar set with cap "Hockaden";

Thence South 7°00'26" West a distance of 280.65 feet to a 5/8" rebar set with cap "Hockaden" on a northerly line of said 2.789 acre tract;

Thence North 89°30'31" West a distance of 220.62 feet, along a northerly line of said 2.789 acre tract, to the Point of Beginning containing 1.502 acres more or less according to an actual field survey made in March of 2023 by Hockaden and Associates, Inc.

The bearings shown on this plot are based on the Ohio State Plane Coordinate System, South Zone, NAD 83. Bearings established by GPS field location of totaling monuments FCSM No. 6644 (set 1988) to FCSM No. 6664 (set 2006) bearing South 3°25'00" East and all other bearings based upon this meridian.



MI Homes
IN 202203030034761

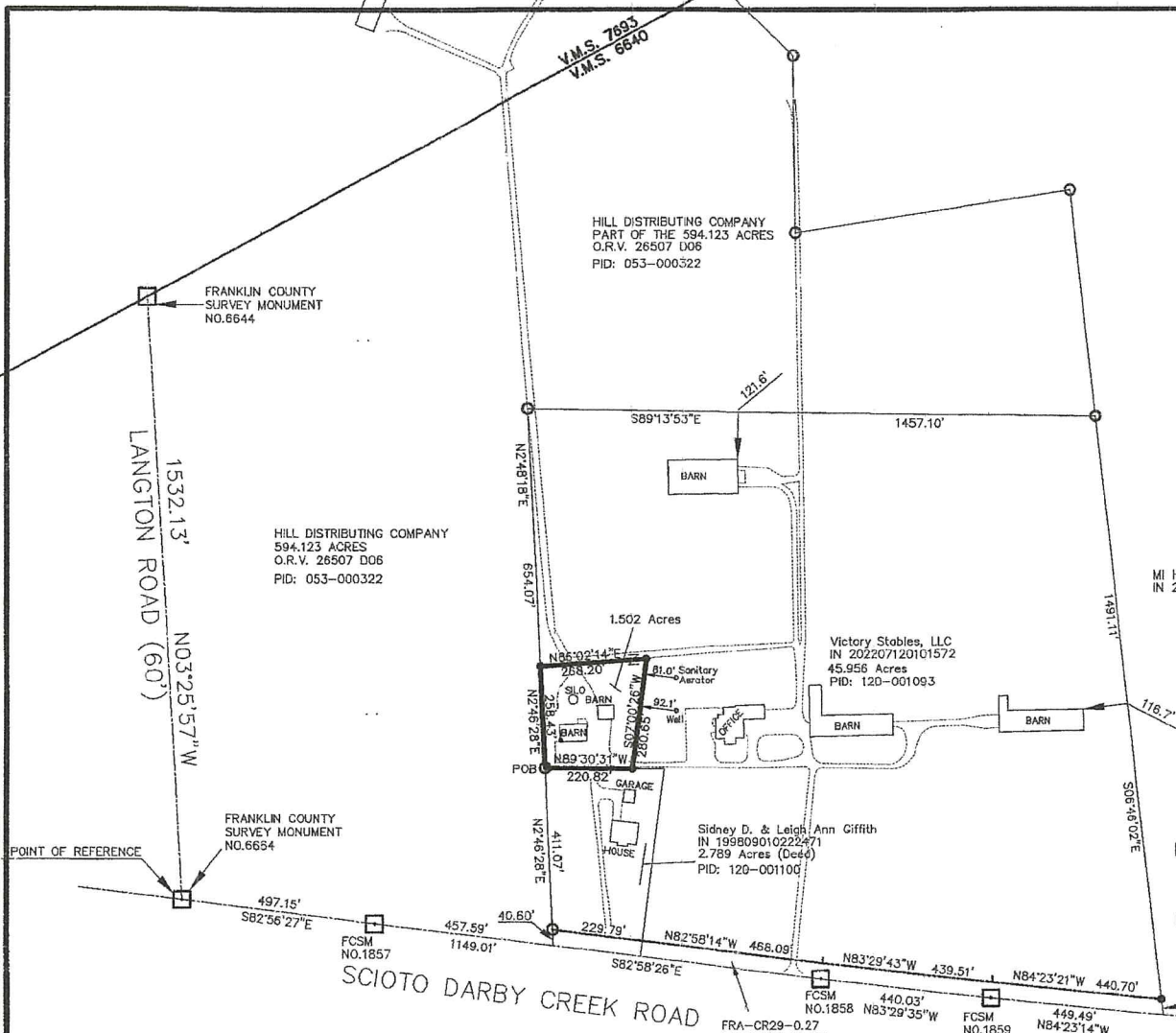
HOCKADEN AND ASSOCIATES, INC.
CONSULTING ENGINEERS & SURVEYORS

By *Frank C. Long* 10 MARCH 2023
FRANK C. LONG, P.S. No. 6615



APR 12 2023
Franklin County Planning Department
Franklin County, OH

DESCRIPTION	LOT SPLIT SURVEY
LOCATION	7380 SCIOTO DARBY CREEK ROAD N. OF SCIOTO DARBY CREEK RD. EAST OF LANGTON ROAD
CLIENT	HUGH SHOWE
CONSULTING ENGINEERS & SURVEYORS	HOCKADEN AND ASSOCIATES, INC. 255 North Chesney Avenue Columbus, Ohio 43218-2823 Telephone: 614.262.2823 Fax: (614) 262-0222
DRAWN BY FCL	CHECKED BY FCL
SCALE 300	DATE MAR. 2023
DRAWN No.	AREA No.
43148	17-1
SHEET	1 OF 1



- LEGEND**
- FRANKLIN COUNTY MONUMENT BOX
 - ▲ RAILROAD SPIKE FOUND
 - 3/4" ID PIPE FOUND
 - ▲ RAILROAD SPIKE SET
 - IRON PIN SET
 - 5/8" X 30" REBAR

HILL DISTRIBUTING COMPANY
PART OF THE 594.123 ACRES
O.R.V. 26507 D06
PID: 053-000322

HILL DISTRIBUTING COMPANY
594.123 ACRES
O.R.V. 26507 D06
PID: 053-000322

1.502 Acres
Victory Stables, LLC
IN 202207120101572
45.956 Acres
PID: 120-001093

Sidney D. & Leigh Ann Griffith
IN 199809010222471
2.789 Acres (Deed)
PID: 120-001100

FRA-CR29-0-27
PARCEL(S):33 WD
Franklin County Commissioners
IN 200503020038221

SCIOTO DARBY CREEK ROAD

LANGTON ROAD (60')

POINT OF REFERENCE

FCSM NO.1857

FCSM NO.1858

FCSM NO.1859

FCSM NO.1860

From: ascexcavating@gmail.com,

To: hburk2@aol.com,

Subject: Fwd: 7380 Scioto Darby Creek Rd

Date: Wed, Feb 8, 2023 6:44 pm

RECEIVED

APR 12 2023

Franklin County Planning Department
Franklin County, OH

Thanks
Aaron Craft
ASC Excavating LLC

Begin forwarded message:

From: "Craig, Kevin D." <KevinCraig@franklincountyohio.gov>

Date: November 28, 2022 at 1:24:00 PM EST

To: Ascexcavating@gmail.com

Subject: 7380 Scioto Darby Creek Rd

Hello Aaron,

The site-review approval for the two septic systems are approved. I will be sending you an approval letter this week. I also spoke to Hugh earlier. If you have questions, please contact me at +16145613321.

Thanks,
Kevin Craig

Get [Outlook for iOS](#)



November 28, 2022

7380 Scioto Darby Creek Rd
Hilliard, Ohio 43026
Parcel ID: 120-001093-00

Dear Hugh Showe,

The Site and Soil Review for two **Small-Flow Commercial Sewage Treatment Systems** to serve a public dwelling at the above referenced location has been completed and is hereby **APPROVED**. The first system serves an existing 2-bedroom apartment, and the second system will service a proposed RV area: servicing no more than 4 RVs.

Hawkhaven completed the soil review and LJ Environmental completed the design. Both systems consist of a HydroAction treatment plant, which utilizes UV and aeration disinfection. The treatment plants are followed by a 2,500 gallon dose tank, followed by spray irrigation for final treatment. Both systems have a 480 gallon maximum daily design flow.

As with all soil absorption systems, absolutely no traffic related to construction work or agriculture/livestock will be permitted in the area of the soil absorption system or the reserve area. These areas must be staked and labeled to prevent damage or compaction of the soil.

Permits for the sewage system must be paid in full before work begins. The contractor must contact the health department for inspection before installation begins to verify soil conditions. Please be advised that the Sewage System Installer must be a certified installer.

Pursuant to Ohio Administrative Code 3701-29-19, an operational permit will be issued for the sewage treatment system located at the above referenced property once installation has been completed and final approval has been granted. This permit must be renewed annually.

Please feel free to contact me if you have any questions or if I can be of any further assistance.

Sincerely,

A handwritten signature in black ink, appearing to read "Kevin Craig".

Kevin Craig, RS
Water Quality
614-525-4983

Well #1 - Horne Farm

FIELD USE ONLY
WELL LOG AND DRILLING REPORT
DO NOT FILE. NOT AN OFFICIAL RECORD.

DNR 7802.05e-f Page ___ of ___ for this record.

Well ID #: _____ Job Number: _____
 Notes: _____

WELL LOCATION

County Franklin Township Brown

Owner/Builder High Schow

Address of Well Location 7380 Sliota Parby creek rd

City Hilliard Zip Code +4 43026

Permit No. _____ Section: _____ and/or Lot No. _____

Use of Well DOMESTIC

Coordinates of Well (Use only one of the below coordinate systems)

Latitude, Longitude Coordinates
 Latitude: 40.051199 Longitude: 83.209438

State Plane Coordinates
 N X _____ +/- _____ ft.
 S Y _____ +/- _____ ft.

Elevation of Well in feet: _____ +/- _____ ft.

Datum Plane: NAD27 NAD83 Elevation Source _____

Source of Coordinates: _____

Well location written description: _____

CONSTRUCTION DETAILS

Drilling Method: ROTARY

BOREHOLE/CASING (Measured from ground surface)

1 { Borehole Diameter 8 3/4 inches Depth 86 ft.
 Casing Diameter 5 in. Length 89 ft. Thickness SDRA in.

2 { Borehole Diameter 4 3/4 inches Depth 54 ft.
 Casing Diameter _____ in. Length _____ ft. Thickness _____ in.

Casing Height Above Ground _____ ft.

Type { 1: PVC
 2: _____

Joints { 1: Solvent
 2: _____

SCREEN

Diameter _____ in. Slot Size _____ in. Screen Length _____ ft.

Type _____ Material PVC

Set Between _____ ft. and _____ ft.

GRAVEL PACK (Filter Pack)

Material/Size QUARTZ Vol/Wt. Used _____

Method of Installation PXOR

Depth: Placed From: _____ ft. To: _____ ft.

GROUT

Material BENSEAL SLURRY Vol/Wt. Used 500

Method of Installation TREMNIE PIPE

Depth: Placed From: 86 ft. To: 0 ft.

Comments on water quality/quantity and well construction:

Well #1

DRILLING LOG*

FORMATIONS INCLUDE DEPTH(S) AT WHICH WATER IS ENCOUNTERED.

Color	Texture	Formation	From	To
Brown Clay	Sand & Gravel		0	20
Grey Clay	Sand & Gravel		20	37
	Gravel		37	39
Grey Clay	Sand & Gravel		39	61
	Sand & Gravel		61	65
	Sand & Gravel	Red Clay	65	67
	Sand & Gravel		67	70
	Red Clay		70	73
Grey lime stone	Red Clay		73	82
	Grey limestone		82	87
	tan limestone		87	90
	Grey limestone		90	91
	tan limestone		91	97
	Grey limestone		97	106
	tan limestone		106	110
Grey limestone?	Grey shale		110	121
	tan & Grey limestone		121	125
	tan & Grey with Red Clay		125	126
	Grey lime stone	Grey clay	126	128
	Grey lime stone	& Grey shale	128	134
	Grey limestone	tan limestone	134	140

first water 100 ft

WELL TEST *

Pre-Pumping Static Level 60 ft. Date 9-2-22

Measured from Ground level

Pumping test method Air

Test Rate 25 gpm Duration of Test 1 hrs.

Feet of Drawdown 0 ft. Sustainable Yield 25 gpm

* (Attach a copy of the pumping test report, per section 1521.05, ORC)

is Copy Attached? Yes No Flowing Well? Yes No

PUMP/PITLESS

Type of pump SUBMERSIBLE Capacity 20 gpm

Pump set at 120 ft. Pitless Type Slide

Pump installed by _____

I hereby certify the information given is accurate and correct to the best of my knowledge.

Drilling Firm _____

Address _____

City, State, Zip _____

Signed _____ Date _____

ODH Registration Number _____

Aquifer Type (Formation producing the most water.) _____

Date of Well Completion 9-2-22 Total Depth of Well 140 ft.



Well #2



7380 Scioto Darby Rd
Recently viewed

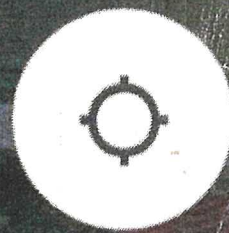
Well #1



Well #3

Scioto Darby Rd

Over



Application for
**Subdivision
 Variance**
 Page 1



Property Information	
Site Address:	7380 Scioto Darby Creek Road
Parcel ID(s):	120-001093-00
Total Acreage:	45.9 acres
Current Zoning:	agricultural
Township:	Brown
Subdivision:	

Staff Use Only
Case # 776-V
Date Filed: 4/12/2023
Fee Paid: \$350.00
Receipt # 23-01431
Hearing Date: 5/10/2023
Received By: Matt

Requested Variances/Decision or Interpretation Appealed

Section Number(s) of the county subdivision regulations and a brief description of variance(s) requested:

Section	Description
501.05	Request to allow a side lot line to be more than 5 degrees perpendicular to street center line - allow a jog in side lot line.
Section	Description
Section	Description

The following shall govern the granting of the variance: (Provide explanation, use separate sheet if needed)

Is the variance detrimental to the public health or safety or is it injurious to other property?

Yes
 No

THE VARIANCE WOULD HAVE NO EFFECT ON THE THE SURROUNDING AGRICULTURAL AREA. The proposed transfer is ground that is landlocked by farms (see aerial photo.) Denial of a side lot line jog would deny me the same property line adjustment that many of my neighbors and area property owners have been granted and enjoyed. My 45.969 acre farm is located in unincorporated Brown Township. Brown Township encourages large rural lots and the preservation of old barn structures. My request will allow for a lot split and transfer of 1.502 acres of landlocked ground to my neighbor. The property is fully developed with 2 barns and a silo. My neighbor's property would increase in size from 2.581 acres to 4.08 acres and preserve the rural character of the area.

Are the circumstances of the request unique to the property and not generally applicable to others?

Yes
 No

The property is improved with existing barns and silo. **The ground is landlocked and cannot be sold without access.** However, it is usable by the neighbor to whom it will be transferred, thereby preserving the agricultural usage that is desired by the Township.

Due to physical surroundings, shape or characteristics of the property, would a hardship result, as distinguished from an inconvenience, if the strict letter of the Subdivision Regulations were enforced?

Yes
 No

The property is surrounded by agricultural land. There is an existing hydro action treatment plant on my property with a spray irrigation system which requires a minimum of 81 feet of clearance from neighboring property lines. There is also an existing water well. Both serve my 45-acre parcel. We do not have county services of water and sewer. **My sewer and water systems cannot be relocated without great expense and severe economic hardship.**

Application for
**Subdivision
 Variance**
 Page 2



Property Owner Information

Name: Victory Stables LLC

Address: 45 N. 4th Street, Suite 200
Columbus, OH 43215

Phone # 614-296-6572 Fax # 614-481-3416

Email: hburk2@aol.com

Water & Wastewater

Water Supply

Public (Central)

Private (On-site)

Other:

Wastewater Treatment

Public (Central)

Private (On-site)

Other:

Engineer/Surveyor Information

Name: Hockaden + Associates, Inc. Attn: Frank Long

Address: 883 N. Cassady Ave.
Columbus, OH 43219

Phone # 614-252-0993 Fax # _____

Email: FLong@hockaden.com

Checklist

Completed Application

Fee Payment (*checks only*)

Copy of denied application, if applicable

Site plan, max. size 11"x17"

Proof of Water/Wastewater

Applicant Information Same as property owner Same as engineer/surveyor

Name: Hugh Showe

Address: 45 N. 4th Street, Suite 200
Columbus, OH 43215

Phone # 614-296-6572 Fax # 614-481-3416

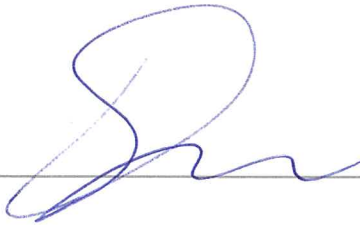
Email: _____

Application for
**Subdivision
 Variance**
 Page 3



Applicant Signature

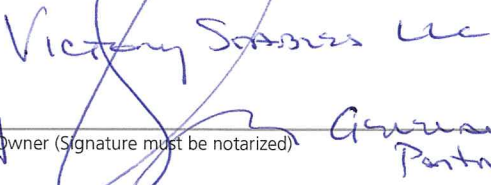
To the best of my/our knowledge and belief, information and materials submitted as a part of this Variance application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes.


 Applicant

4/4/2023
 Date

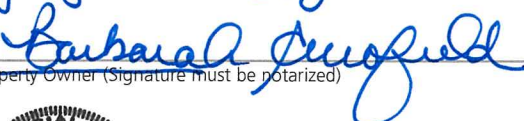

 Engineer

6 APRIL 2023
 Date


 Property Owner (Signature must be notarized) *General Managing Partner*

4/4/2023
 Date

*acknowledged this 4th day of April 2023
 by Hugh B. Showe, general managing partner*


 Property Owner (Signature must be notarized)

Date



Barbara A Schofield
 Notary Public, State of Ohio
 My Commission Expires 10-01-2026



STAFF REPORT

Planning Commission
June 14, 2023

Case: 777-V&PP

Prepared by: Matt Brown

Owners:	Harrison L. Drake, Donna C. Baker, and David W. Ferguson
Applicant:	Brandon Belli - Bob Webb Woodland Preserve LLC
Engineer:	Matt Poindexter, P.E. – E.P. Ferris & Associates
Township:	Jefferson Township
Site:	3115 Reynoldsburg-New Albany Rd (PID#170-000495), Reynoldsburg-New Albany Rd (PID#170-000502), 3201 Reynoldsburg-New Albany Rd (PID#170-000503), 3145 Reynoldsburg-New Albany Rd (PID#170-000504), and Reynoldsburg-New Albany Rd (PID#170-000696)
Subdivision:	Woodland Preserve
Acreage:	32.38-acres
Utilities:	Public water and sewer
Request:	Requesting variances from Section 502.13 to allow a dead-end street system that exceeds 1,000 linear feet and will not be terminated with a cul-de-sac or other appropriate turnaround. Requesting preliminary plan approval of the Woodland Preserve subdivision to create 58 single-family lots on a private street contained in a reserve and 12.83 acres of open space contained in three reserves.

Request

The applicant is requesting a variance to allow a dead-end street longer than 1,000 linear feet and to not terminate a dead-end street with a cul-de-sac or other appropriate turnaround. The applicant is also seeking approval of a Preliminary Plan for the Woodland Preserve subdivision to allow the creation of a 58-lot single-family subdivision on a private street system and 12.83-acres of open space in 3 reserves. The subdivision will be developed in one phase.

Stormwater Management

The site will use storm sewers to convey stormwater to two stormwater retention basins located in a reserve. The proposed stormwater system will be publicly maintained under the County’s Ditch Maintenance Petition program and required to be built in accordance with the Franklin County Stormwater Drainage Manual.

Traffic and Access Management

The proposed subdivision will include one access point to Reynoldsburg-New Albany Road. The roadway will be built to County standards but will be held in a reserve that will be privately owned and maintained by a Home Owners Association. The roadway is proposed to be a curb and gutter roadway with 25-feet of pavement contained in a 50-foot wide reserve. Sidewalks 5-feet in width are proposed on both sides of the roadway. A shared use path 10-feet in width is proposed along Reynoldsburg-New Albany Road.

Additional right-of-way will be dedicated along Reynoldsburg-New Albany Road to meet 60 feet half right-of-way as recommended by the Franklin County Thoroughfare Plan.

The applicant is requesting a variance from section 502.13 of the Franklin County Subdivision Regulation's to allow a dead-end street to exceed 1,000 linear feet and to allow a private dead-end street section to not be terminated with a cul-de-sac or other appropriate turn-around facility. The maximum length of the proposed dead-end street is 1,600 feet.

Open Space & Conservation Efforts

The proposed subdivision will include 12.83-acres of open space contained in three reserves. These reserves will be owned by Jefferson Township and maintained by the Home Owners Association. This open space represents 40 percent of the total development site area. The development site is mostly wooded and includes seven wetlands. Five wetlands will be located in reserves and two wetlands will be impacted by the street system. The proposal will preserve 42% of trees on the site. The site is impacted by Pewamo soils which are identified as poorly drained soils by the Franklin County Subdivision Regulations and the preliminary plan includes a note identifying the lots impacted by these soils with a statement that no basement construction will be permitted on those lots.

Zoning

The subject site was rezoned by Jefferson Township to the Planned Suburban Residential District (PSRD) however staff has not received confirmation from the Township that the proposed preliminary plan complies with the approved zoning.

Technical Review Agency Comments

Jefferson Township Fire Department

The Township Fire Department has not provided comments.

Jefferson Water and Sewer District

The Water and Sewer District has not confirmed the availability of water and sewer service to the site.

Franklin Soil and Water Conservation District

Provided no comments.

Franklin County Engineer's Office

- A traffic access study for the development is not yet final. The study needs to be reviewed and approved by FCEO prior to final plat consideration by the Planning Commission.
- In addition to any roadway improvements warranted by the traffic study, the developer shall bring their frontage of Reynoldsburg-New Albany Road up to current County standards. Franklin County holds the right to require these improvements as a contribution towards regional improvements.

Franklin County Drainage Engineer's Office

The Franklin County Drainage Engineer's Office has numerous concerns with the proposed development and does not believe that the proposed site layout can feasibly meet the requirements of the Franklin County Stormwater Drainage Manual.

- The outlet of the proposed stormwater basin is on an existing utility easement on a different parcel. A work agreement and drainage easement will be required in order to construct and maintain stormwater infrastructure on a different parcel.
- The proposed stormwater basin outlets to an existing 18" storm sewer servicing the Park at Harrison Pond subdivision. The condition of this tile is unknown as is the service capacity to add in this new development. A downstream analysis is needed to ensure that this will be an appropriate outlet and adequately handle the stormwater. This is something that should be addressed sooner rather than later because the capacity of their outlet can impact the size of their basin if it will require more stringent release rates.
- There is not adequate space for maintenance access to the proposed stormwater basins, especially for the northern basin with property lines and wetlands surrounding the basin. With the building setback lines within the proposed easement, that is giving us less than 10 feet as the only access point to the south basin. We require a dedicated 20 feet access easement extending from the

basins to the public right-of way. In addition, we also require a perimeter easement with a minimum width of 20 feet around the basins at a 10:1 slope for maintenance access.

- These requirements are in Section 4.1 of the Franklin County Stormwater Drainage Manual. This will unquestionably affect site layout.
- Wetlands cannot be excluded from the stormwater calculations. Wetlands, due to the soil being constantly saturated, do not have high infiltration rates and require an outlet, just like any other land use. For example, the contours show the wetland delineated behind lots 30-36 outletting to the basins. The stormwater report should highlight the land currently draining to the wetlands, with acreages and runoff volumes currently contributing to the wetland areas. Then, proposed post-development acreage and runoff volumes contributing to the wetlands to keep those areas in the same condition.
- There are some concerns regarding the placement of the proposed storm sewers, but this can be addressed later on during engineering plan review.
- The grading plan received is in poor condition with insufficient detail. Errors in the current grading plan include different elevations intersecting, elevation lines cutting off, disturbance to neighboring properties, and many not labeled with an assigned elevation. In addition, the wetland delineations should at least partially match the contours shown. Typically, the grading plan is something we focus more on during engineering plan development, but this could affect the feasibility of the subdivision as a whole. Therefore, a reasonable and detailed grading plan is necessary at this stage.

Franklin County Economic Development and Planning Department

- Note “3” on the title sheet references a Reserve “E” however no Reserve “E” is identified on the preliminary plan.
- Based on comments from the Franklin County Drainage Engineer’s office, insufficient information has been provided to ensure that the proposed subdivision will comply with the Franklin County Stormwater Drainage Manual. The concerns raised indicate that in order to comply with the Drainage Manual the subdivision layout is likely to change.

Staff Analysis

Variance Criteria:

All of the following must be met in order to grant a variance:

1. *It shall not be detrimental to public health or safety or be injurious to other property.*

The applicant has indicated that the Jefferson Township Fire Department reviewed the proposed layout during the rezoning process and approved.

Staff is aware that the Township Fire Department reviewed the rezoning proposal but staff has not received confirmation from the Jefferson Township Fire Department that the proposed preliminary plan complies with the Ohio Fire Code and staff has not received confirmation that the proposed preliminary plan complies with the adopted zoning.

2. *Circumstances of the request are unique to the property and not generally applicable to others.*

The applicant indicated that Jefferson Township has a strict policy on tree preservation and the proposed site layout without a cul-de-sac or other appropriate turn around on the eastern most street running north to south helps preserve trees. The property also has a large area of wetlands that limits the options for a viable site layout. The applicant believes the proposed layout maximizes the amount of wetlands to remain while still providing a quality development.

Staff agrees that wooded nature of the site and the number of wetlands are unique circumstances applying to the site that are not generally applicable to others. Additionally, the proposal includes a stub street to the property to the south. If the property to the south develops in the future, a street connection can be provided thereby eliminating the dead-end street exceeding 1,000 feet in length.

3. *Due to physical surroundings, shape or characteristics of the property, a hardship would result, as distinguished from an inconvenience, if the strict letter of these Regulations were enforced.*
Strict compliance with the Subdivision Regulations would present a hardship to the owner as the site does not have sufficient width to provide two roads to reach the back of the site and therefore a dead-end street exceeding 1,000 feet is necessary to create a viable development. Additionally, not providing a cul-de-sac or other appropriate turnaround helps to preserve mature trees which is a priority for the Township.

Staff Recommendation

Variance Recommendation:

Based on Staff's Analysis, staff recommends approval with conditions of a Variance from Sections 502.13 of the Franklin County Subdivision Regulations to allow the creation of a major subdivision with a dead-end street that exceeds 1,000 linear feet and to allow a dead-end street to be terminated without a cul-de-sac or other appropriate turnaround. The conditions of approval are as follows:

1. Confirmation from Jefferson Township that the preliminary plan complies with the adopted zoning must be received prior to Construction Plan approval.
2. Confirmation from the Jefferson Township Fire Department that the proposal complies with the Ohio Fire Code and that the Township is acceptable of the dead-end street exceeding 1,000 linear feet, and is acceptable of a dead-end street that will not include an appropriate turn around facility, is required prior to Construction Plan approval.

Findings of Fact

For your convenience, the following are proposed findings of fact if the variance is granted:

_____ moves that the basis for approving the applicant's request for the Variance from Sections 502.13 of the Franklin County Subdivision Regulations as outlined in the request for the applicant identified in Case No. 777-V&PP results from the applicant satisfying the standards for granting a Variance under Section 701.07.

701.07 General Standards for Variances. The FCPC shall not grant variations to these Regulations unless it shall make written findings of fact based upon the evidence presented by each specific case that:

- A. The particular physical surroundings, environmental constraints, shape, topographical or other exceptional condition of the specific property involved would cause extraordinary hardship or exceptional practical difficulty to the applicant, as distinguished from a mere inconvenience, if the provisions of these Subdivision Regulations were strictly enforced; and
- B. The conditions upon which the request for a variance is based are unusual to the property for which the variation is sought and are not applicable generally to other property; and
- C. The purpose of the variance is not based exclusively upon a desire to obtain additional income from the property; and
- D. The granting of the variance will not be detrimental to the public health, safety or general welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
- E. The special circumstances or conditions are created by the provisions or requirements of these regulations and have not resulted from any act of the applicant or applicant's predecessor in interest; and
- F. The variance requested is the minimum adjustment necessary for the reasonable use of the land.

Preliminary Plan Recommendation:

Staff recommends denial of the Preliminary Plan to allow the construction of a 58-lot single-family subdivision on a private street system with 12.83 acres of open space. The basis for the recommendation of denial is that Section 110.09 of the Franklin County Subdivision Regulations states that subdivision proposals shall meet all applicable federal, state, Franklin County Planning Commission, county, township and district laws, regulations, policies, established practices or

procedures involving subdivision, health, floodplain, stormwater management, wetland, erosion, zoning, and, as applicable, other health, safety or welfare issues. As submitted, the applicant has not demonstrated that the preliminary plan can satisfy the requirements of the Franklin County Stormwater Drainage Manual.

Planning Commission Action

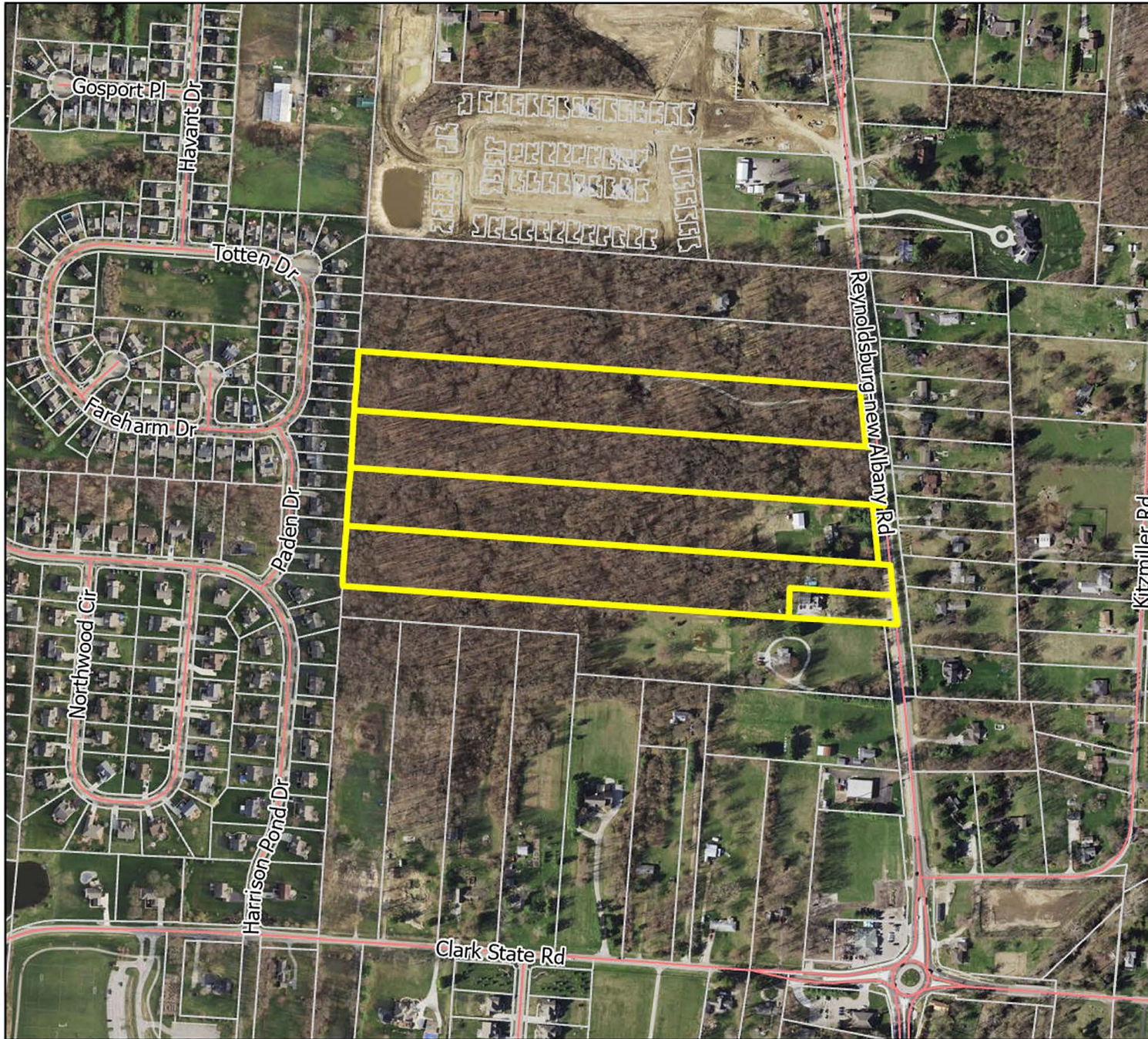
A motion on a preliminary plan must carry for an action to take effect. For your convenience, the following is a proposed motion:

_____ moves to approve/deny the preliminary plan request for the Woodland Preserve subdivision to allow the construction of a 58-lot single-family subdivision on a private street system with 12.83 acres of open space as outlined in the request for the applicant identified in Case No. 777-V&PP.

Findings of Fact

For your convenience, the following are proposed findings of fact if the preliminary plan is denied:

_____ moves that the basis for denying the applicant's request for preliminary plan approval as outlined in the request for the applicant identified in Case No. 777-V&PP results from the applicant failing to demonstrate that the preliminary plan can satisfy the requirements of the Franklin County Stormwater Drainage Manual.






777-V&PP

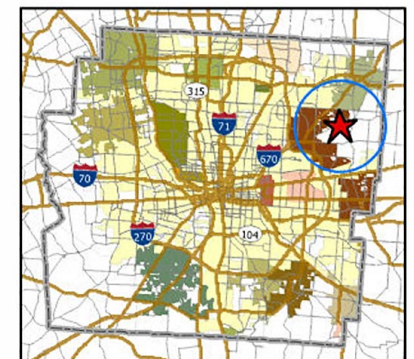
Requesting a variance from Sections 502.13 to allow a dead-end street system that exceeds 1,000 linear feet and will not be terminated with a cul-de-sac or other appropriate turnaround.

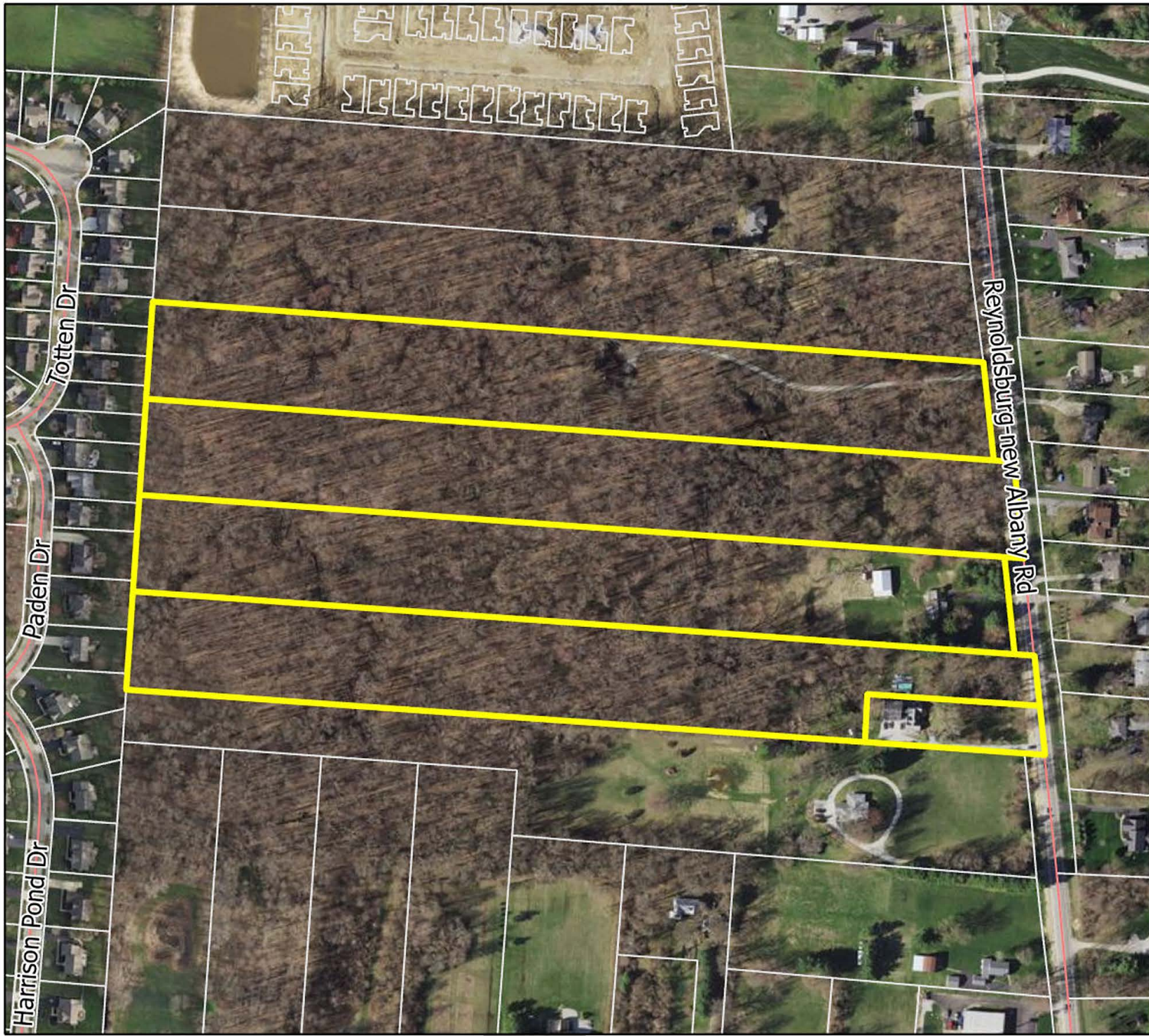
Requesting preliminary plan approval of the Woodland Preserve subdivision to create 58 single-family lots.

Acres: 32.379-acres

Township: Jefferson Township

-  Streets
-  Parcels
-  Parcels 170-000696,
170-000495, 170-000502,
170-000503, 170-000504





777-V&PP

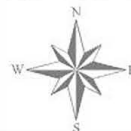
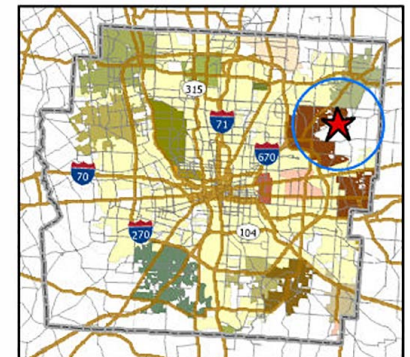
Requesting a variance from Sections 502.13 to allow a dead-end street system that exceeds 1,000 linear feet and will not be terminated with a cul-de-sac or other appropriate turnaround.

Requesting preliminary plan approval of the Woodland Preserve subdivision to create 58 single-family lots.

Acres: 32.379-acres

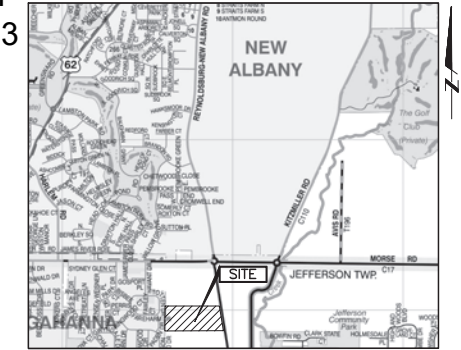
Township: Jefferson Township

- Streets
- Parcels
- Parcels 170-000696, 170-000495, 170-000502, 170-000503, 170-000504



PRELIMINARY PLAN FOR WOODLAND PRESERVE JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO 2023

777-PP
Receive 5/30/23



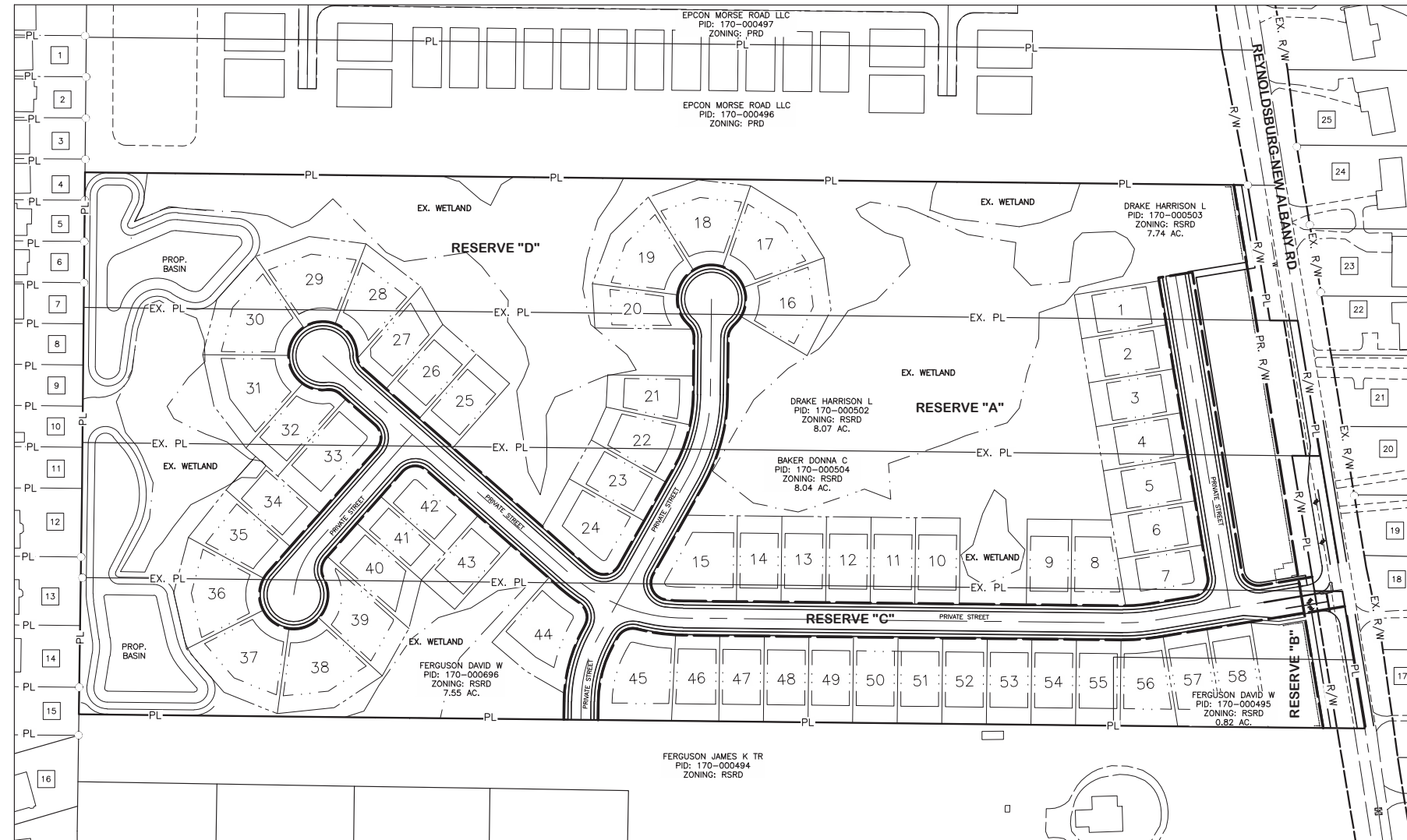
LOCATION MAP
NOT TO SCALE

**OWNER/DEVELOPER
INFORMATION**
BOB WEBB WOODLAND PRESERVE LLC
7662 NORTH CENTRAL DRIVE
LEWIS CENTER, 43035
CONTACT: BRANDON BELL
PHONE: (614) 207-1574
EMAIL: brandon.bell@bobwebb.com

**CIVIL ENGINEER
INFORMATION**
E.P. FERRIS & ASSOCIATES, INC.
2130 QUARRY TRAILS DRIVE, 2ND FLOOR
COLUMBUS, OHIO 43228
CONTACT: MATT POINDEXTER, P.E.
PHONE: (614) 299-2999
EMAIL: mpoindexter@epferris.com

NOTES:

1. PER FEMA FLOOD INSURANCE MAPS 39049C0212K, DATED 06/17/08 & 39049C0216K, DATED 06/17/2008; THE SITE IS ZONED X, OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
2. WETLAND & STREAM DELINEATION COMPLETED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. IN SEPTEMBER 2019.
3. RESERVES "A", "B", "D", AND "E" TO BE OWNED BY JEFFERSON TOWNSHIP AND MAINTAINED BY THE WOODLAND PRESERVE HOME OWNERS ASSOCIATION. RESERVE "C" SHALL BE OWNED AND MAINTAINED BY THE WOODLAND PRESERVE HOME OWNERS ASSOCIATION INCLUDING PRIVATE STREETS AND STORMWATER FACILITIES.
4. PER THE GROUND WATER POLLUTION POTENTIAL REPORT NO. 40, THE SITE IS LOCATED WITHIN AREA 7aG3 WHICH HAS A POLLUTION POTENTIAL INDEX RANGE OF 110-119.
5. ROAD TYPICAL PAVEMENT WIDTH 28'. PARKING SHALL BE ALLOWED ON THE SIDE OF THE ROAD OPPOSITE OF THE FIRE HYDRANTS.
6. TOPOGRAPHIC INFORMATION SHOWN OUTSIDE OF PROPOSED PROJECT AREA FROM FRANKLIN COUNTY AUDITOR'S GIS.
7. A MINIMUM 30' EASEMENT WILL BE PROVIDED TO AND AROUND THE PROPOSED STORMWATER MANAGEMENT BASINS FOR FRANKLIN COUNTY ACCESS AND MAINTENANCE PURPOSES ONLY.
8. PROPOSED STORMWATER MANAGEMENT BASINS SHALL BE ON FRANKLIN COUNTY DITCH MAINTENANCE PETITION.
9. MAIL KIOSK LOCATIONS ARE SUBJECT TO THE US POSTAL SERVICE REVIEW AND APPROVAL.
10. LOTS 10-15, 18, 19, 24, 38-40, 43, 44, 47, 48, 50-53 ARE LOCATED WITHIN PEWAMO (Pm) POORLY DRAINED SOILS AREA. NO BASEMENTS ARE PERMITTED ON THESE LOTS.
11. JEFFERSON TOWNSHIP REQUIRES 4'-RAIL BLACK FENCE ALONG THE ENTIRE FRONTAGE OF THE DEVELOPMENT.



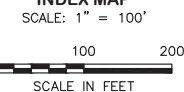
SHEET INDEX

TITLE	1
EXISTING CONDITIONS PLAN	2-3
SITE LAYOUT	4-5
UTILITY PLAN	6-7
GRADING PLAN	8-9

GENERAL ZONING INFORMATION

EXISTING ADDRESS	3201 REYNOLDSBURG-NEW ALBANY ROAD, JEFFERSON TOWNSHIP, OH 43054
PARCEL NUMBERS	170-000502; 170-000503; 170-000504; 170-000696; 170-000495
TAX DISTRICT	170 - JEFFERSON TOWNSHIP
SCHOOL DISTRICT	GAHANNA-JEFFERSON CSD
EXISTING ZONING CLASSIFICATION/DISTRICT	PLANNED RESIDENTIAL DISTRICT (PRD)
TOTAL PROPOSED SINGLE FAMILY RESIDENTIAL LOTS	58 (65' WIDTH AT FRONT BUILDING LINE x 125' DEPTH FROM BACK OF CURB TYP.)
GROSS SITE AREA (FT OR ACRES)	32.38 AC.
EXISTING RIGHT-OF-WAY ACREAGE	0.277 AC.
PROPOSED RIGHT-OF-WAY ACREAGE	0.277 AC.
LOT ACREAGE	12.75 AC.
RESERVE ACREAGE	16.63 AC.
RESERVE "A"	7.64 AC.
RESERVE "B"	0.53 AC.
RESERVE "C"	3.80 AC.
RESERVE "D"	4.66 AC.
OPEN SPACE	12.73 AC.
PRIVATE STREET	3.80 AC.

INDEX MAP



PARCEL INDEX

1 MCCATHERN ERIC D PCL. NO. 025-012137 ZONING: SF-2	2 AGUADO HUMERTO PCL. NO. 025-012138 ZONING: SF-2	3 WU LARRY PCL. NO. 025-012139 ZONING: SF-2	4 UMAROV ELYOR PCL. NO. 025-012140 ZONING: SF-2	5 SNOWDEN JOSEPH C PCL. NO. 025-012141 ZONING: SF-2
6 TILSON KELLY RAE PCL. NO. 025-012142 ZONING: SF-2	7 COCCIA LAURA L TR PCL. NO. 025-012143 ZONING: SF-2	8 ORIS THOMAS L JR PCL. NO. 025-012144 ZONING: SF-2	9 PAUL AMY PCL. NO. 025-012145 ZONING: SF-2	10 HAUTSTUECK NICHOLAS K PCL. NO. 025-012146 ZONING: SF-2
11 CHAFFINS TODD N PCL. NO. 025-012147 ZONING: SF-2	12 MAIR DEREK M PCL. NO. 025-012079 ZONING: SF-2	13 WAGNER JILL E PCL. NO. 025-012080 ZONING: SF-2	14 WEIDEN ELLEN T TR PCL. NO. 025-012081 ZONING: SF-2	15 KESTERSON KEVIN D PCL. NO. 025-012082 ZONING: SF-2
16 WHITE MARK E PCL. NO. 025-012083 ZONING: SF-2	17 EVANS IRENE M PCL. NO. 170-001289 ZONING: RSRD	18 JERNIGAN RICHARD G PCL. NO. 170-000798 ZONING: RSRD	19 HRIC MICHAEL A PCL. NO. 170-000498 ZONING: RSRD	20 KENIMER CHARLES JOSEPH PCL. NO. 170-001207 ZONING: RSRD
21 HIRNING CAROLYN M PCL. NO. 170-001290 ZONING: RSRD	22 3146 REYN NEW ALBANY LLC PCL. NO. 170-001273 ZONING: RSRD	23 PLATTE SARAH C PCL. NO. 170-001101 ZONING: RSRD	24 FEHER KATIE PCL. NO. 170-002198 ZONING: RSRD	25 BANKS GLORIA PCL. NO. 170-000277 ZONING: RSRD

REVISIONS

NO.	DATE	DESCRIPTION	BY

SHEET NO.	OF
1	9

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LEGEND

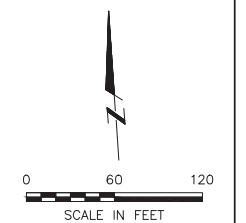
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- ROADWAY CENTERLINE
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- EDGE OF DRIVEWAYS
- MISC. EASEMENTS
- ⊙ EX. FIRE HYDRANT
- ⊕ EX. WATER SERVICE VALVE
- EX. TREELINE
- ⊙ EX. SANITARY MANHOLE
- ⊠ EX. CATCH BASIN
- ⊕ EX. STORM MANHOLE
- ⊠ EX. STORM CURB INLET
- ⊕ EX. UTILITY POLE
- ⊕ EX. LIGHT POLE
- ⊠ EX. TELEPHONE PULL BOX
- ⊠ EX. AIR CONDITIONER
- ⊕ EX. MAILBOX
- EX. SIGN
- EX. FENCE
- W — EX. WATER LINE
- UGT — EX. UNDERGROUND TELEPHONE
- G — EX. GAS
- ST — EX. STORM
- SA — EX. SANITARY
- UGE — EX. UNDERGROUND ELECTRIC
- OHE — EX. OVERHEAD ELECTRIC
- OHC — EX. OVERHEAD STREET LIGHTING
- TBR TO BE REMOVED
- TBA TO BE ABANDONED
- TBRL TO BE RELOCATED
- DND DO NOT DISTURB
- AB ABANDONED
- EX. SOIL TYPE BOUNDARY
- Add2** EX. SOIL TYPE
- ▨ TREES TO REMAIN
- ▨ WETLANDS TO REMAIN
- ▨ WETLANDS TO BE MITIGATED

TREE PRESERVATION / REMOVAL CALCULATIONS:

EXISTING TREES:	±28.08 ACRES
EXISTING TREES TO BE REMOVED:	±16.26 ACRES (57.9%)
EXISTING TREES TO REMAIN IN PRESERVES:	± 11.82 ACRES (42.1%)
EXISTING TREES TO REMAIN ON LOTS:	± 0.00 ACRES (0.00%)
TOTAL TREES TO REMAIN ON SITE:	± 11.82 ACRES (42.1%)

SOILS

- Cn Condil silt loam
0-1 PERCENT SLOPES
- Add2 ALEXANDRIA SILT LOAM,
12-18 PERCENT SLOPES,
ERODED
- BeB BENNINGTON SILT LOAM,
2-6 PERCENT SLOPES
- Pm PEWAMO SILT CLAY LOAM,
LOW CARBONATE TILL,
0-2 PERCENT SLOPES
- Cent1B1 CENTERBURG SILT LOAM,
0-2 PERCENT SLOPES
- BeA BENNINGTON SILT LOAM,
0-2 PERCENT SLOPES



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REVISIONS	DATE	BY	CHK.

E. P. FERRIS AND ASSOCIATES INC
Consulting Civil Engineers and Surveyors

2130 QUARRY TRAILS DR,
2ND FLOOR
COLUMBUS, OHIO 43228
(614) 299-2999
(614) 299-2992 (Fax)
www.EPFERRIS.com

JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
WOODLAND PRESERVE
BOB WEBB HOMES

JOB NO.	1150.003
DESIGNED BY:	ERM
DRAWN BY:	ERM
CHECKED BY:	MMP
APPROVED BY:	MMP
DATE:	05/30/23

EXISTING CONDITIONS PLAN	
SCALE:	1" = 60'
SHEET NO.	OF
2	9

LEGEND

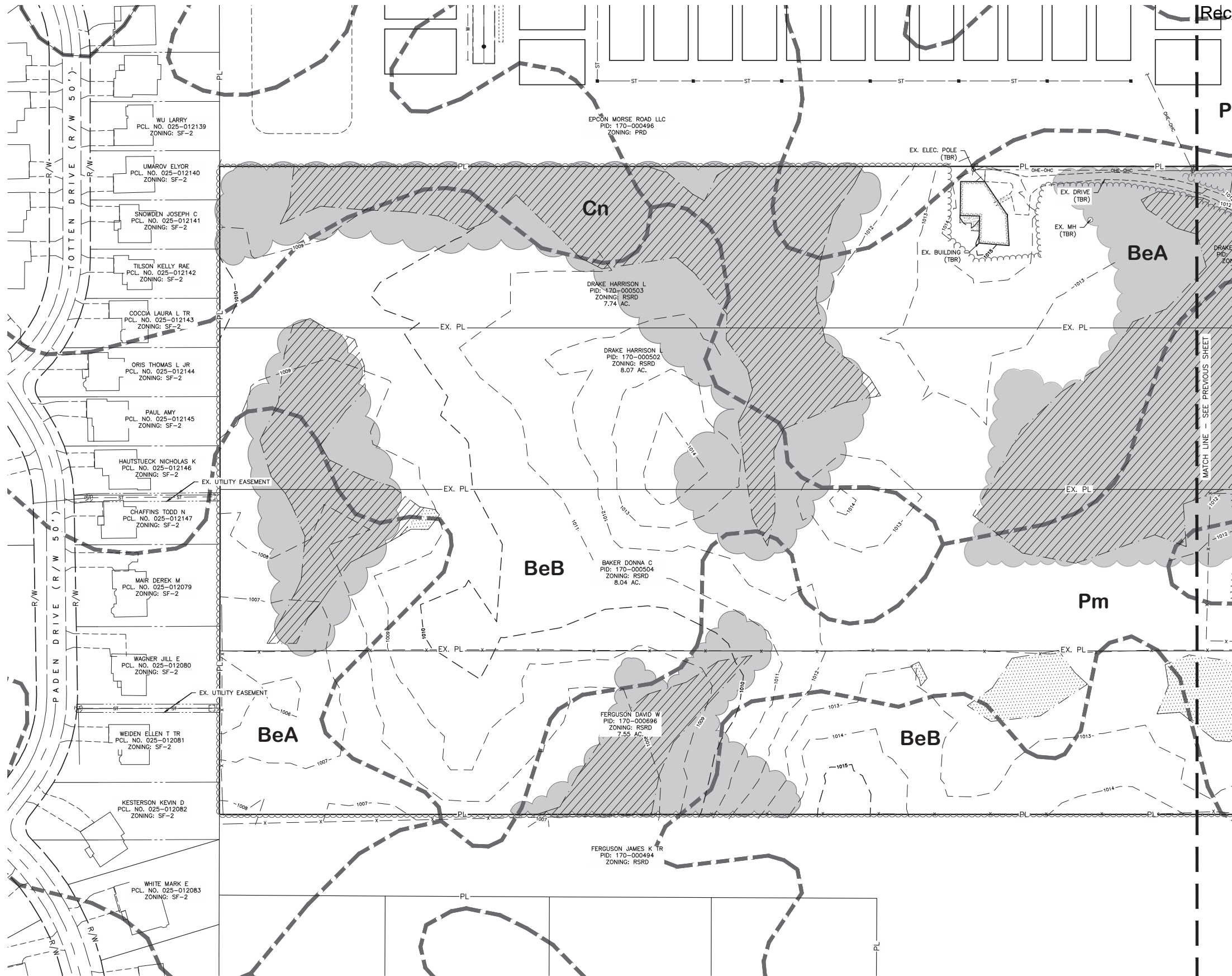
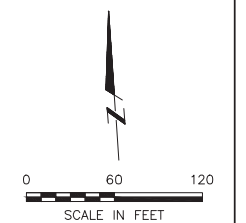
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0-2 PERCENT SLOPES
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0-2 PERCENT SLOPES



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 Consulting Civil Engineers and Surveyors
 2130 QUARRY TRAILS DR., 2ND FLOOR
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 www.EPFERRIS.com

JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
WOODLAND PRESERVE
 BOB WEBB HOMES

JOB NO.	1150.003
DESIGNED BY:	ERM
DRAWN BY:	ERM
CHECKED BY:	MMP
APPROVED BY:	MMP
DATE:	05/30/23

EXISTING CONDITIONS PLAN		SCALE:	1" = 60'
SHEET NO.	OF		
3	9		

777-PP
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CURVE TABLE					
NO.	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C3	99.40'	250.00'	022°46'49"	98.74'	S74°43'50"E
C4	78.68'	250.00'	018°01'56"	78.36'	S54°19'27"E
C8	7.85'	5.00'	090°00'28"	7.07'	N38°54'07"E
C9	35.40'	205.00'	009°53'35"	35.35'	N88°51'04"E
C10	22.88'	205.00'	006°23'40"	22.87'	S82°55'25"E
C11	9.81'	5.00'	112°25'09"	8.31'	S23°31'01"E
C12	62.01'	70.00'	050°45'14"	60.00'	N08°23'44"E
C13	62.01'	70.00'	050°45'14"	60.00'	N42°21'30"W
C14	62.01'	70.00'	050°45'14"	60.00'	S86°53'16"W
C15	62.01'	70.00'	050°45'14"	60.00'	S36°08'02"W
C16	55.81'	70.00'	045°40'42"	54.34'	S12°04'56"E
C17	40.58'	205.00'	011°20'29"	40.51'	N09°33'00"E
C18	62.51'	205.00'	017°28'19"	62.27'	N23°57'24"E
C19	8.45'	5.00'	096°48'45"	7.48'	N81°05'56"E
C20	18.56'	205.00'	005°11'12"	18.55'	S47°54'05"E
C21	4.21'	5.00'	048°11'23"	4.08'	S21°12'48"E
C22	16.12'	70.00'	013°11'53"	16.09'	N03°43'03"W
C23	67.60'	70.00'	055°19'41"	65.00'	N37°58'50"W
C24	67.60'	70.00'	055°19'41"	65.00'	S86°41'29"W
C25	67.60'	70.00'	055°19'41"	65.00'	S31°21'48"W
C26	64.70'	70.00'	052°57'27"	62.42'	S22°46'45"E
C27	54.05'	70.00'	044°14'24"	52.72'	S71°22'40"E
C28	4.21'	5.00'	048°11'23"	4.08'	N69°24'11"W
C29	7.85'	5.00'	090°00'00"	7.07'	N00°18'29"W
C30	15.75'	70.00'	012°53'16"	15.71'	S38°14'53"W
C31	67.60'	70.00'	055°19'41"	65.00'	S04°08'24"W
C32	67.60'	70.00'	055°19'41"	65.00'	S51°11'17"E
C33	67.60'	70.00'	055°19'41"	65.00'	N73°29'03"E
C34	87.55'	70.00'	071°39'25"	81.95'	N09°59'30"E
C35	6.15'	5.00'	070°31'44"	5.77'	S09°25'39"W
C36	7.85'	5.00'	090°00'00"	7.07'	S89°41'31"W
C37	38.43'	295.00'	007°27'48"	38.40'	S49°02'23"E
C38	7.46'	5.00'	085°27'51"	6.79'	N10°02'22"W
C39	100.74'	245.00'	023°33'31"	100.03'	S20°54'48"W
C40	77.95'	155.00'	028°48'48"	77.13'	S18°17'09"W
C41	6.57'	5.00'	075°16'15"	6.11'	S70°19'41"W
C42	61.38'	295.00'	011°55'18"	61.27'	S77°59'51"E
C43	11.13'	295.00'	002°09'45"	11.13'	S85°02'22"E
C44	53.72'	295.00'	010°26'00"	53.64'	N89°07'17"E

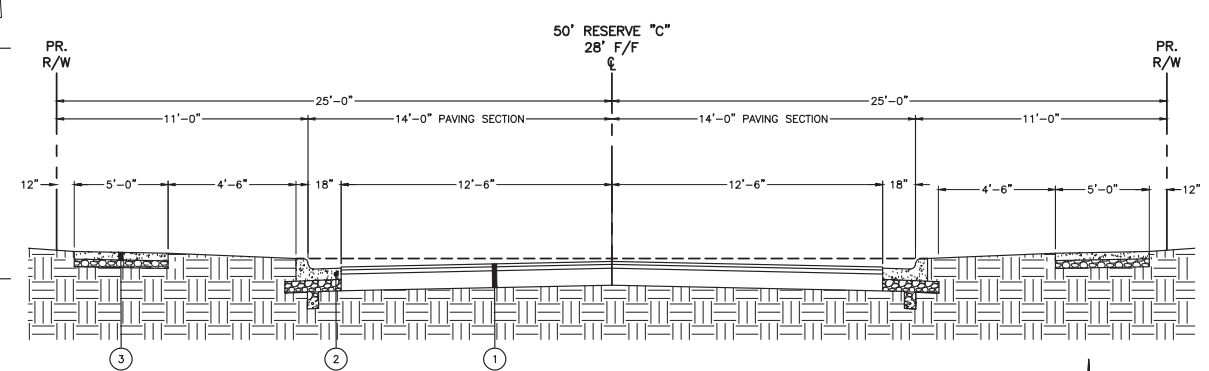
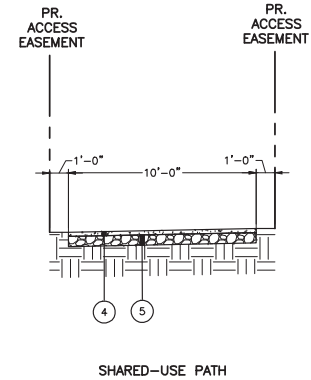
LEGEND

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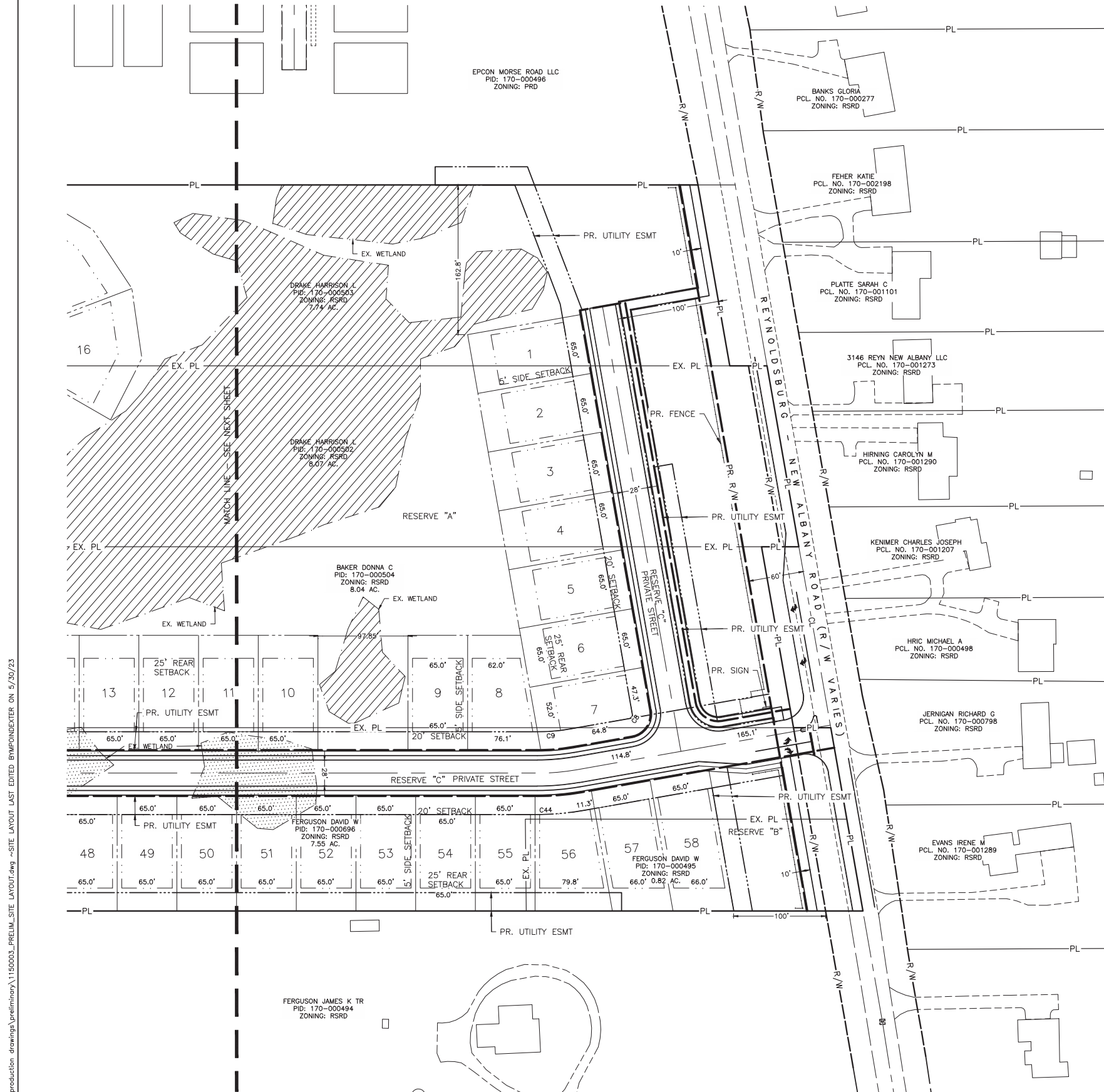
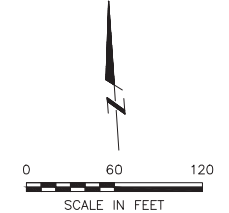
NOTES:

- * LOT DEPTH TAKEN FROM BACK OF CURB
- ** LOT WIDTH TAKEN AT FRONT BUILDING LINE

ALL TREES IN THE STREET RESERVE SHALL BE OHIO NATIVE VARIETIES PER FRANKLIN COUNTY SUBDIVISION REGULATIONS SECTION 502.05



- ① PAVEMENT COMPOSITION TO FOLLOW FRANKLIN COUNTY SUBDIVISION REGULATIONS
- ② COMBINED CURB AND GUTTER DWG NO 1250 OR MOUNTABLE CURB DWG NO 1255
- ③ CONCRETE WALK, ITEM 608
- ④ ASPHALT CONCRETE ACCEPTANCE, ITEM 448
- ⑤ ASPHALT CONCRETE BASE, ITEM 301



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REVISIONS	DATE	BY	CHK.

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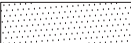
SITE LAYOUT

SCALE: 1" = 60'

SHEET NO. 4 OF 9

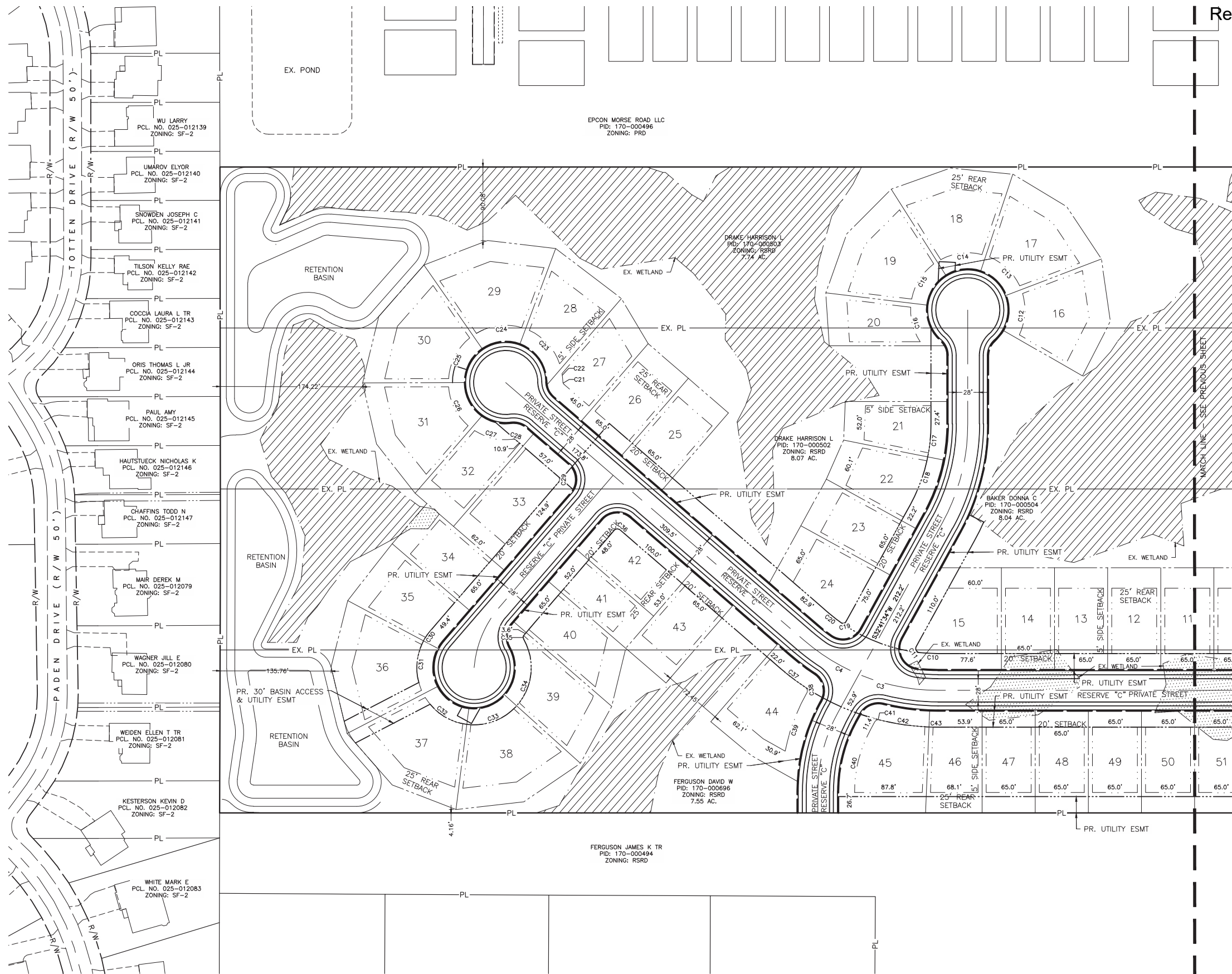
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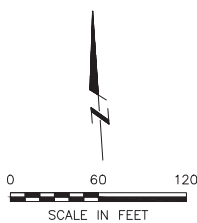
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- EDGE OF PAVEMENT/BACK OF CURB
- EDGE OF DRIVEWAYS
- MISC. EASEMENTS
-  WETLANDS TO REMAIN
-  WETLANDS TO BE MITIGATED

NOTES:

- * LOT DEPTH TAKEN FROM RESERVE
 - ** LOT WIDTH TAKEN AT FRONT BUILDING LINE
- ALL TREES IN THE STREET RESERVE SHALL BE OHIO NATIVE VARIETIES PER FRANKLIN COUNTY SUBDIVISION REGULATIONS SECTION 502.05
SEE SHEET 4 FOR CURVE TABLE.



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REVISIONS	DATE	BY	CHK.

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BOB WEBB HOMES

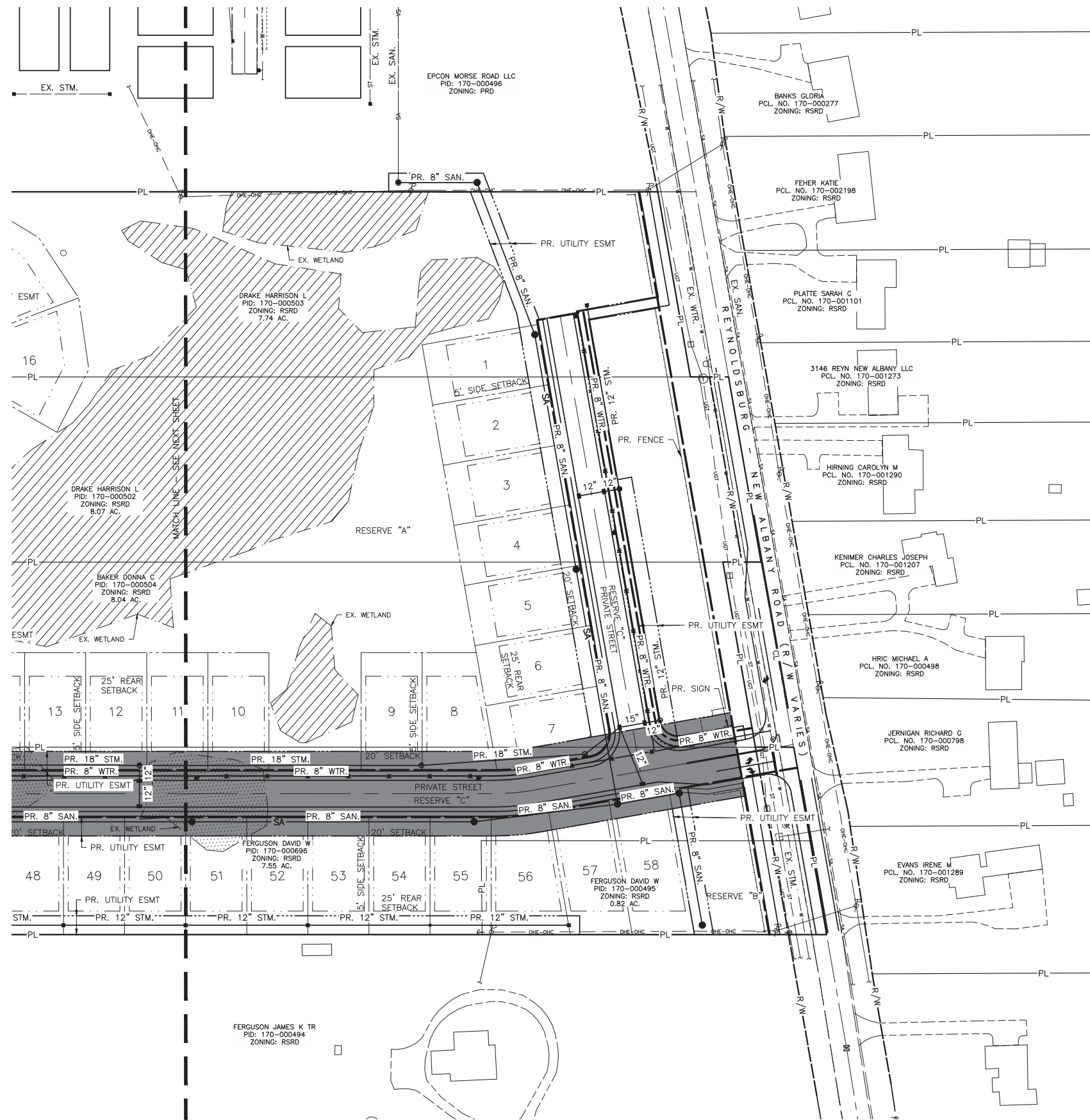
JOB NO.	1150.003
DESIGNED BY:	ERM
DRAWN BY:	ERM
CHECKED BY:	MMP
APPROVED BY:	MMP
DATE:	05/30/23

SITE LAYOUT		SCALE:	1" = 60'
		SHEET NO.	5 OF 9

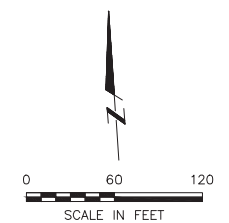
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LEGEND

- EX. RIGHT-OF-WAY
- FRONT SETBACK LINE
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- EX. EDGE OF PAVEMENT
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- EX. EDGE OF DRIVEWAYS
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REVISIONS	DATE	BY	CHK.

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AND ASSOCIATES
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Consulting Civil Engineers and Surveyors

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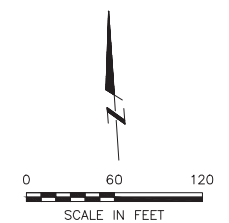
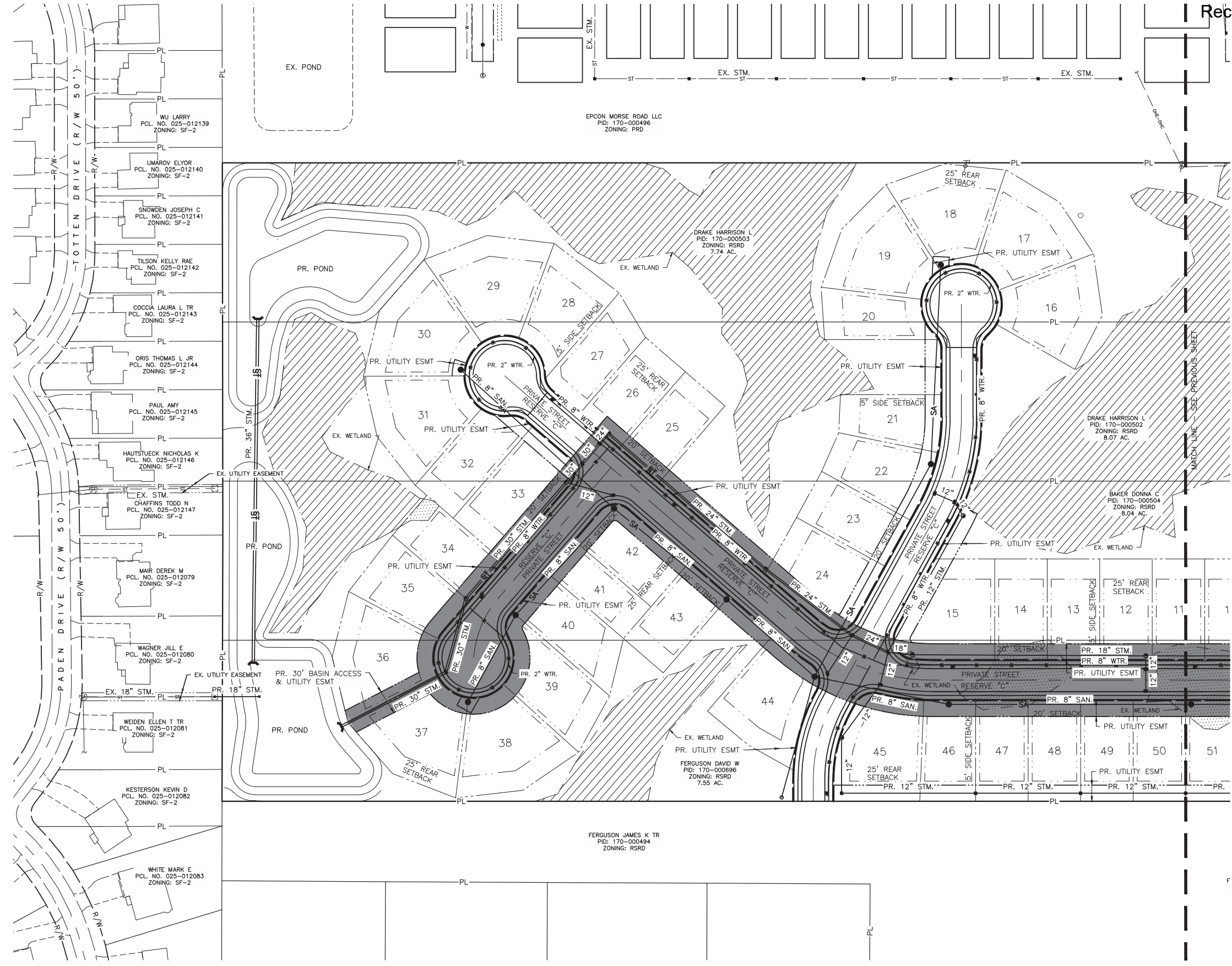
JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
WOODLAND PRESERVE
BOB WEBB HOMES

JOB NO.	1150.003
DESIGNED BY:	ERM
DRAWN BY:	ERM
CHECKED BY:	MMP
APPROVED BY:	MMP
DATE:	05/30/23

UTILITY PLAN		SCALE:	1" = 60'
		SHEET NO.	6 OF 9

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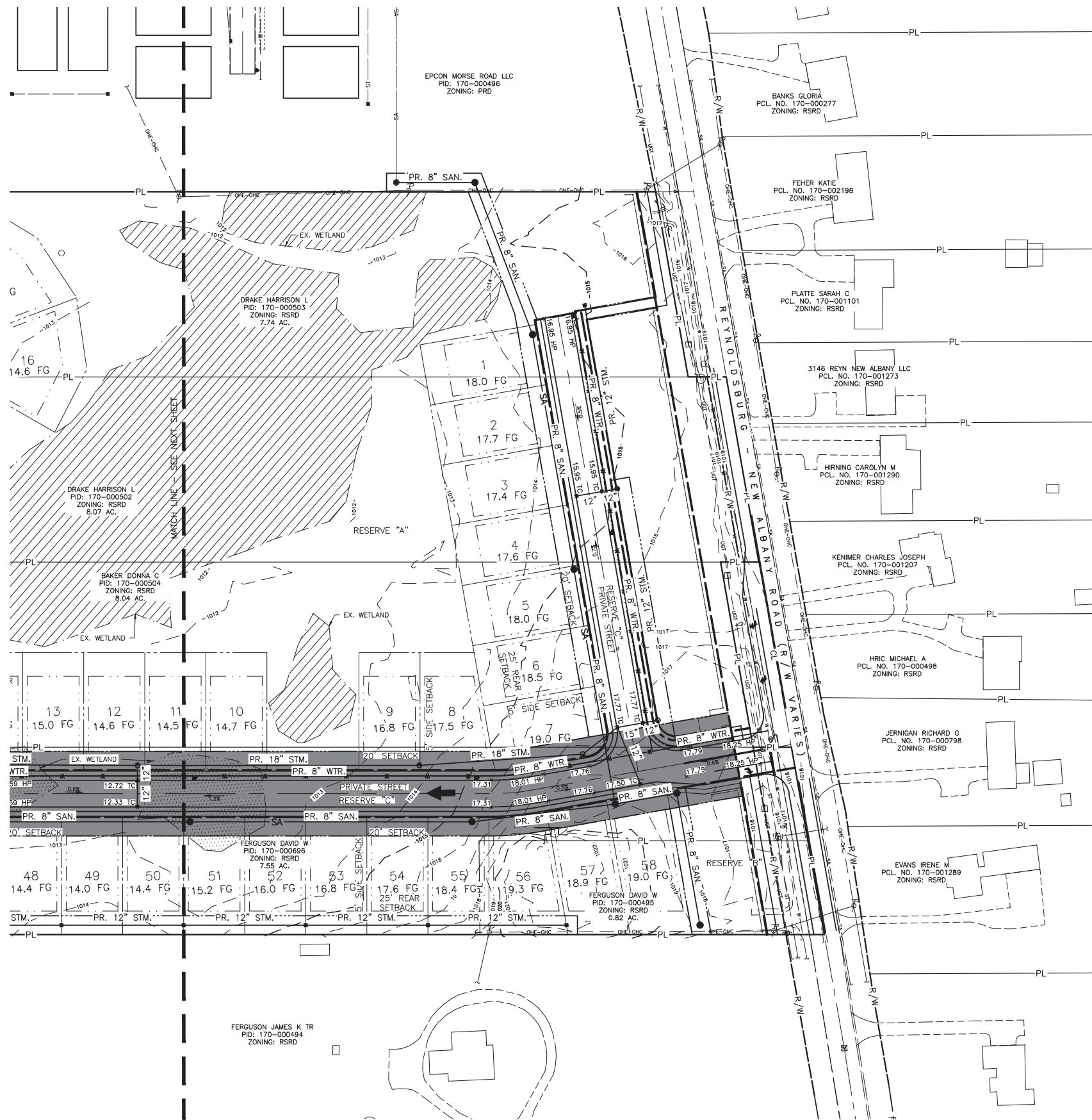
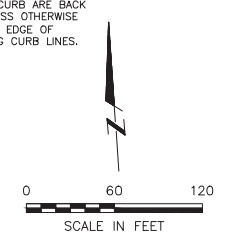
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	76.00 HP HIGH POINT ELEVATION
	76.00 BACK OF CURB ELEVATION
	WETLANDS TO REMAIN
	WETLANDS TO BE MITIGATED
	PR. BASIN ACCESS EASEMENT

NOTES

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- ALL SPOT ELEVATIONS AT CURB ARE BACK OF CURB ELEVATIONS UNLESS OTHERWISE NOTED. SUBTRACT 6" FOR EDGE OF PAVEMENT ELEVATION ALONG CURB LINES.



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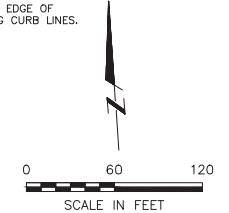
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GRADING PLAN		SCALE:	1" = 60'
SHEET NO.	8	OF	9

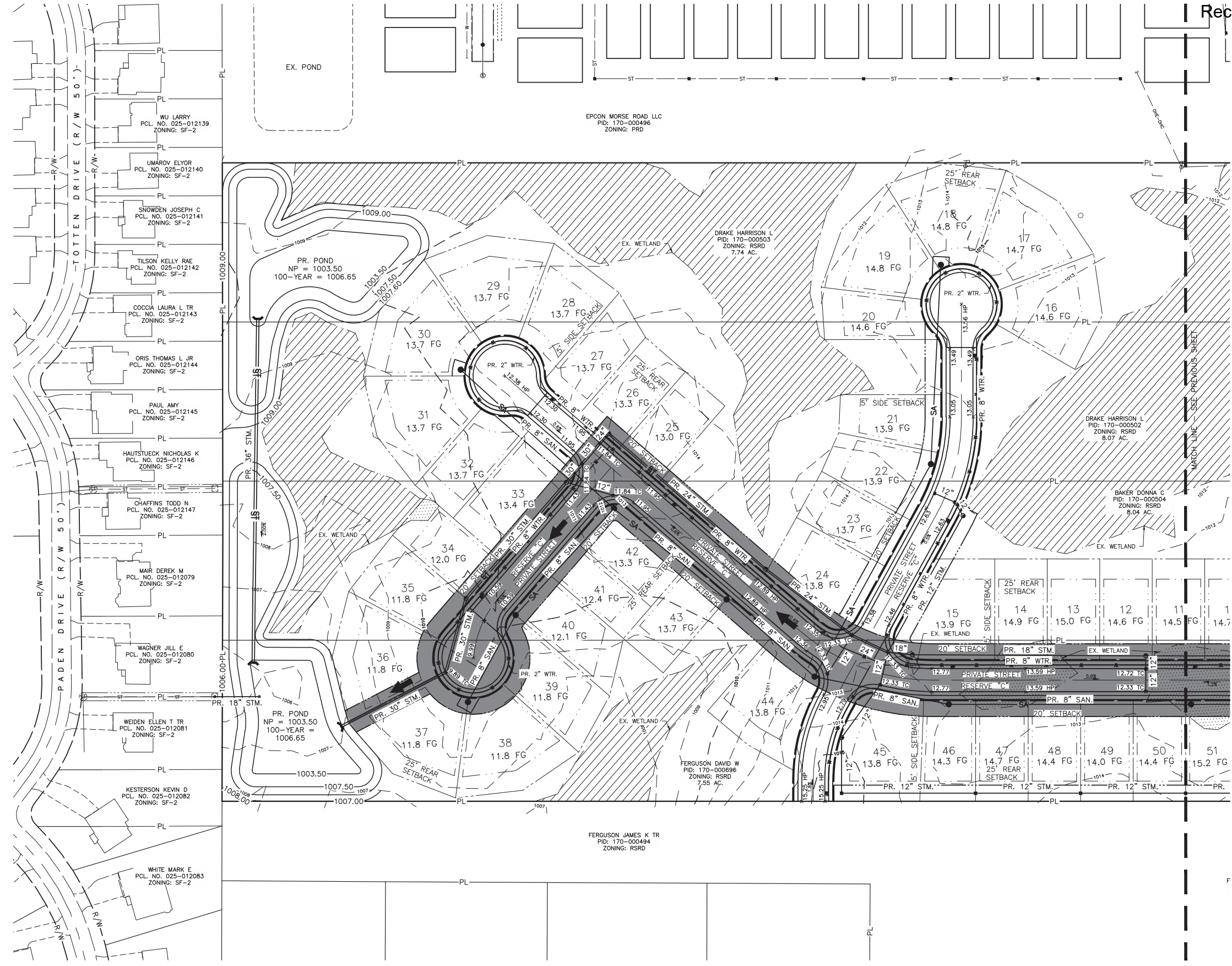
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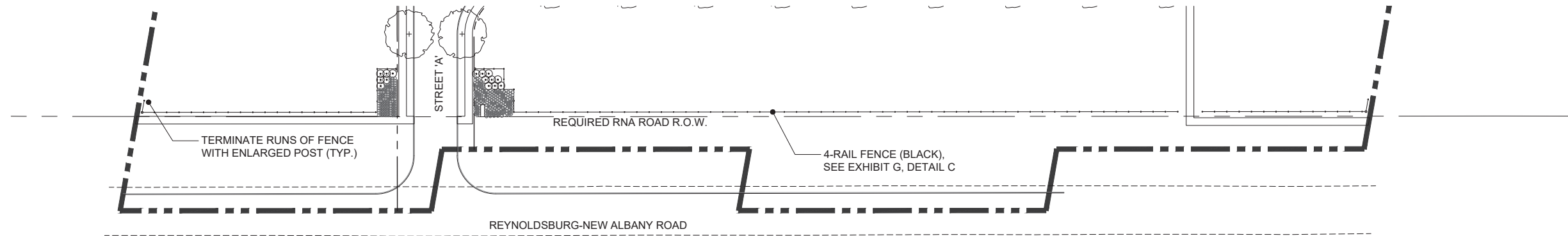
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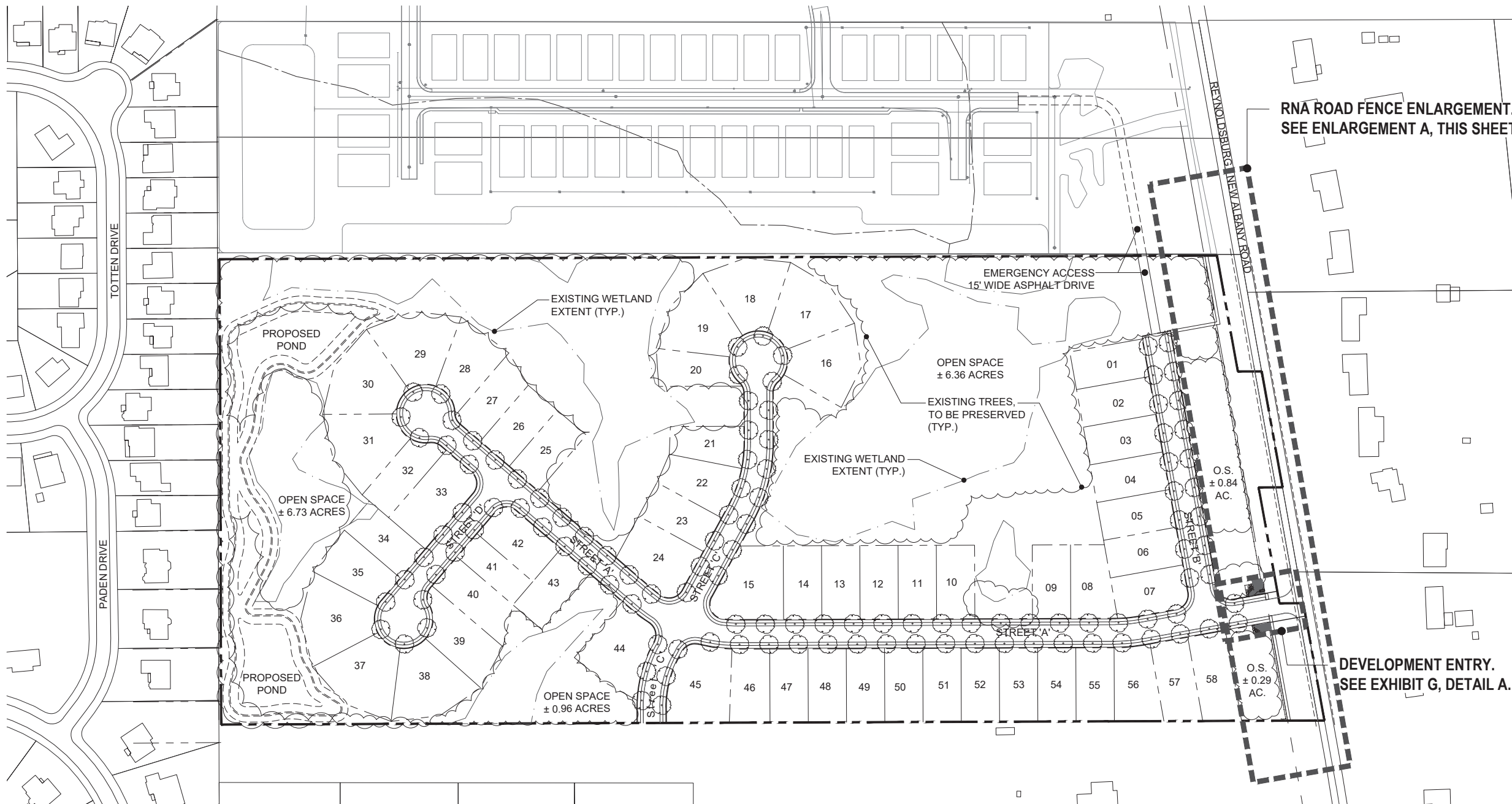
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APPROVED BY:	MMP
DATE:	05/30/23

GRADING PLAN	
SCALE:	1" = 60'
SHEET NO.	9
OF	9



A FENCE LAYOUT ENLARGEMENT ALONG REYNOLDSBURG-NEW ALBANY ROAD*

SCALE 1"=40'



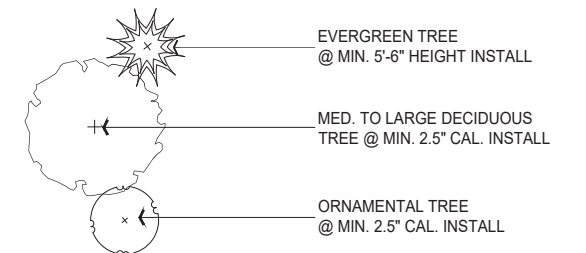
**RNA ROAD FENCE ENLARGEMENT.
SEE ENLARGEMENT A, THIS SHEET.**

**DEVELOPMENT ENTRY.
SEE EXHIBIT G, DETAIL A.**

CONCEPTUAL PLANT LIST

BOT. NAME/COMMON NAME	COND.	SPACING	NOTES
DECIDUOUS SHADE TREES / STREET TREES			
Acer rubrum 'Armstrong' Armstrong Red Maple	B&B	AS SHOWN	
Acer saccharum Sugar Maple	B&B	AS SHOWN	
Cladrastis kentuckea American Yellowwood	B&B	AS SHOWN	
Liquidambar styraciflua 'Moraine' Moraine Sweetgum	B&B	AS SHOWN	
Nyssa sylvatica 'Wildfire' Wildfire Blackgum	B&B	AS SHOWN	
Quercus rubra Red Oak	B&B	AS SHOWN	
Quercus bicolor Swamp White Oak	B&B	AS SHOWN	
Liriodendron tulipifera Tulip Tree	B&B	AS SHOWN	
Ulmus x 'Morton' Accolade Elm	B&B	AS SHOWN	
Betula nigra 'Cully' Heritage River Birch	B&B	AS SHOWN	
Gleditsia triacanthos var. inermis 'Sunburst' Sunburst Honeylocust	B&B	AS SHOWN	
Tilia americana Basswood	B&B	AS SHOWN	Match Form
SMALL / ORNAMENTAL TREES			
Ostrya virginiana Hophornbeam	B&B	AS SHOWN	
Amelanchier canadensis 'Glenform' Rainbow Pillar Serviceberry	B&B	AS SHOWN	
Amelanchier x 'Autumn Brilliance' Autumn Brilliance Serviceberry	B&B	AS SHOWN	
Carpinus caroliniana 'JFS-KW6' Native Flame® American Hornbeam	B&B	AS SHOWN	Match Form
Cercis canadensis Eastern Redbud	B&B	AS SHOWN	
Cercis canadensis 'Forest Pansy' Forest Pansy Eastern Redbud	B&B	AS SHOWN	
Crataegus viridis 'Winter King' Winter King Hawthorn	B&B	AS SHOWN	
Malus 'Snowdrift' Snowdrift crabapple	B&B	AS SHOWN	
EVERGREEN TREES			
Abies Concolor White Fir	B&B	PER PLAN	
Picea abies Norway Spruce	B&B	PER PLAN	
Picea glauca White Spruce	B&B	PER PLAN	
Picea omorika Serbian Spruce	B&B	PER PLAN	
Pinus strobus White Pine	B&B	PER PLAN	

LANDSCAPE KEY PLAN



*NOTE: ALL EXISTING TREES AND VEGETATION WITHIN THE REQUIRED R.O.W. OF REYNOLDSBURG-NEW ALBANY ROAD, LESS THAN 6" IN DIAMETER SHALL BE REMOVED. ALL EXISTING TREES 6" AND LARGER IN DIAMETER SHALL REMAIN, THOSE REMAINING TREES SHALL BE LIMBED UP TO 10' CLEAR OF THE EXISTING GRADE.

THE DEVELOPMENT PLAN AS DEPICTED IS CONCEPTUAL IN NATURE. FINAL LAYOUT MAY VARY BASED UPON DESIGN AND ENGINEERING PROVIDED THAT FINAL LAYOUT SHALL MEET ALL REQUIREMENTS SPECIFIED HEREIN.

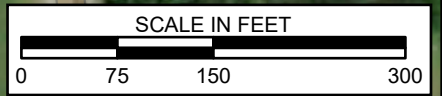
Woodland Preserve - Landscape Plan

Jefferson Township, Franklin County, Ohio April 18, 2023

0 100 200 300



REFERENCES AND NOTES
 1. ESRI WORLD IMAGERY / ARCGIS MAP SERVICE:
 HTTP://GOTO.ARCGISONLINE.COM/MAPS/WORLD_IMAGERY,
 ACCESSED 4/17/2023
 2. MAP WAS DEVELOPED FOR PLANNING PURPOSES ONLY
 AND MAY NOT BE SUITABLE FOR CERTAIN LEGAL,
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 THIS INFORMATION SHOULD REVIEW OR CONSULT THE
 PRIMARY DATA AND INFORMATION SOURCES TO
 ASCERTAIN THE USIBILITY OF THE INFORMATION.
 3. ALL LENGTHS AND AREAS ARE APPROXIMATE.



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LEGEND	
	Drake and Ferguson Properties
	Open Water
	PEM Wetland
	PFO Wetland
	Wetland Determination Sample Point
	Culvert


Civil & Environmental Consultants, Inc.
 250 Old Wilson Bridge Road, Suite 250 - Worthington, OH 43085
 614-540-6633 · 888-598-6808
 www.cecinc.com

DRAWN BY:	NJS	CHECKED BY:	HKF
DATE:	4/17/2023	SCALE:	1" = 150'

BOB WEBB GROUP
DRAKE AND FERGUSON PROPERTIES
FRANKLIN COUNTY, OHIO

PRELIMINARY JURISDICTIONAL WATERS
DETERMINATION MAP

APPROVED BY:	RBG*	FIGURE NO:	3
PROJECT NO:	320-684		

*Hand Signature on file



STAFF REPORT

Planning Commission
June 14, 2023

Case: PLAIN-23-02

Prepared by: Matt Brown

Owner:	Eastern Storage, LLC.
Applicant:	Jeff Heuerman
Township:	Plain Township
Site:	6202 E. Walnut Street (PID #220-000262), 6204 E. Walnut Street (PID #220-001955)
Acreage:	8.270-acres
Utilities:	Private water and public sewer
Request:	Requesting to rezone from the Rural district to the Select Commercial Planned District (SCPD) to allow for a personal storage facility.

Summary

The applicant is requesting to rezone from the Rural district to the Select Commercial Planned District (SCPD) to allow for a personal storage facility. Staff recommends **approval with conditions.**

Background

The properties subject to the rezoning request have past uses as a fueling station, lawn mower repair, and recreational vehicle storage. The sites are both developed with single-family homes and accessory buildings. Approximately an acre of land has been graveled for recreational vehicle storage. Three wetlands have been identified on the site totaling 1.0 acre in size.

Request

The subject site is located on the north side of Walnut Street, a short distance west of Schleppe Road in Plain Township. The applicant is requesting to rezone the properties from the Rural district to the Select Commercial Planned District (SCPD) to allow the redevelopment of the site as a self-storage facility.

Surrounding Land Use/Zoning

Immediately to the west of the subject sites are the platted Walnut Gardens and Taylor Estates medium density residential subdivisions zoned Rural and R2 in Plain Township. To the north is an approximately 92-acre property owned by the Columbus and Franklin County Metro Parks and zoned Rural. To the east is an agricultural property zoned Rural. Land to the south is low to high density residential in Plain Township and Columbus.

Comprehensive Plan

The Plain Township Land Use Master Plan, adopted in 2008, contains Defining Principles and a Final Land Use Plan. The Land Use Plan recommends the subject sites for Planned Residential Conservation Development. The defining principles to address rural growth issues include that “This plan and future development approval will guarantee the preservation of streams, creeks, wetlands... through the use of setbacks, easements or conservation design.” and that “To maintain the rural feel on existing Township roads promote the establishment of large setbacks and preservation of existing road character.”

The properties are also located in the planning area of the Rocky Fork-Blacklick Accord which was first adopted in 1997 and most recently updated in 2003. The Accord is a multi-jurisdictional plan to guide development in Plain Township, Columbus and New Albany. The Accord’s Land Use Map identifies the

subject sites as being within a Park Zone with a goal of acquiring 1,200 acres of land and establishing a Metro Park. For areas in the Park Zone not acquired as park land, the plan recommends Rural Residential development at 1 dwelling unit per acre. Walnut Street is identified as a Rural Road that should have a 250 feet setback for new construction from the roadway centerline.

The Rocky Fork-Blacklick Accord reviewed the proposed rezoning and recommended approval with two conditions. The first condition was that the barn be modified to include a small overhang on the front roof and the second was related to the orientation of the covered storage structures.

Staff Analysis

Select Commercial Planned District:

The Select Commercial Planned (SCPD) District is intended to provide a flexible approach to commercial development in unincorporated Plain Township. Nonresidential development of a specified type, character and mix may be suitable with proper controls, using the SCPD as a transitional zoning district. As part of the rezoning of an area to the SCPD district a development plan showing, and text describing, permitted uses, traffic, access, parking, stormwater, sewage disposal and water supply, architectural design, outside storage, pollution, graphics, lighting, and screening and landscaping is required.

Permitted Uses:

Land and buildings within the SCPD shall be used only for those selected uses identified by an applicant for zoning plan amendment and found within Suburban Office, Local Business, and General Business districts. Proposed uses shall be enumerated in the application as being appropriate to provide compatibility with the neighborhood and community character and for compliance with the Comprehensive Plan.

The applicant's proposed use of a self-storage facility is a permitted use in the Heavy Manufacturing (M-2) District and is not a permitted use in the Suburban Office, Local Business, or General Business districts.

Development Standards:

In addition to the specific performance standards identified in Section 303 of the Plain Township Zoning Resolution, proposals to rezone to the SCPD should comply with the General Development Standards and the development standards of the specific zoning district in which a proposed use is permitted. A compliance waiver for any Development Standard may be granted as part of the Development Plan if approved by the Township Trustees.

Traffic

An analysis of traffic conditions which can be expected to result from a proposed development is to be submitted with an application to rezone to the Select Commercial Planned District. The applicant has provided a summary of the traffic to be expected from the proposed use and the County Engineer's Office has stated that the anticipated number of trips generated by the use does not warrant a traffic study.

Access

The properties currently have a total of three access drives to Walnut street. The proposed use will have one access point to Walnut Street with internal drives to provide access to each of the proposed storage buildings and exterior storage area.

Parking

Off-street parking must be provided in accordance with Section 412 which requires 1 parking space per 10,000 square feet of gross building area plus 1 space per 2 employees. Section 412 also requires loading spaces based on a formula of 1 space per 10,000 square feet up to 50,000 square feet plus 1 space per 25,000 square feet over 50,000 square feet. The proposal indicated that parking and loading spaces were provided based on the square footage of only 1 of the proposed 9 buildings and a total of 9 parking spaces and 6 loading spaces have been provided. The total size of all 9 proposed buildings is 110,751 square

feet. Based on the formulas above, this square footage would require 12 parking spaces plus 1 per two employees and 8 loading spaces.

Stormwater

A preliminary drainage plan is required showing contours and general locations of existing and proposed improvements. Drainage and runoff shall not cause property damage.

A preliminary drainage plan has been provided indicating that a wet retention basin will be constructed to control runoff with stormwater directed to the basin by storm sewers connecting a series of catch basins located in the drive aisles between buildings. Notes on the plans indicate that the applicant is aware of and will design the site to comply with the Franklin County Stormwater Drainage Manual.

Plans submitted indicate that currently, the western approximately two-thirds of the site drains to the west/southwest and the remainder of the site drains to the south/southeast. The plans also show that there is an existing drainage swale located along the western property line. The development plan identifies landscaping mounds, 4 feet in height in the approximate location of the existing drainage swale. Final engineering is still needed to show that stormwater requirements will be satisfied.

Sewage Disposal and Water Supply

The applicant provided a letter from the Franklin County Sanitary Engineering Department indicating that the site has access to sanitary sewer service. The applicant also identified on the development plan a potential location for an onsite septic system. Water service will be provided by an onsite well.

Architectural Design

General exterior design, building elevations and potential materials must be identified. All buildings must be compatible with the surround environment. No lot shall have buildings with a ground floor density of greater than 35 percent of the lot. Building height shall not exceed 25 feet.

The applicant has provided building elevations indicating exterior design and building materials for all 9 proposed buildings. The design of the storage facility buildings mimic that of agricultural structures. The ground floor density of buildings on site is 30.7 percent and the maximum proposed building height is 24 feet 8 ½ inches.

Outside Storage

Outside storage is permitted if approved as part of the development plan. The proposed rezoning includes covered, outside storage buildings.

Pollution

The Select Commercial Planned District prohibits the emission of smoke, the emission of odors in such quantities as to be offensive, and the emission of noise greater than sixty decibels at the lot line. The submitted development plan states that no pollution is anticipated to be generated by the proposed use.

Graphics

The SCPD allows for one wall sign no greater than 10 percent of the wall area below the roof line. Based on the wall area of Building A, up to 322 square feet of wall sign is permitted. The applicant is proposing one wall sign to be placed on the front of Building A that will not exceed 200 square feet in size. No other signage has been identified.

Lighting

The Development Plan must indicate the types of lamps and lighting fixtures, and the height of lighting fixtures to be used and the relationship of lighting fixtures to overall architectural design of the development. Light sources outside the public right-of-way shall be located and arranged to provide good visibility and reflect the light away from adjacent residential properties or any streets.

The applicant has provided a lighting plan indicating the types and locations of fixtures to be installed along with a photometric plan showing the anticipated light levels around the site. The plan identifies a total of 67 exterior wall mounted lighting fixtures and 28 ceiling mounted lighting fixtures in the covered outside storage buildings.

Screening and Landscaping

Screening shall consist of earth mounding, planting, fencing, or a combination of the same. The SCPD requires the submission of a separate plan which incorporates screening and landscaping proposals.

- **Abutting Residential Areas** - Whenever a proposed SCPD abuts a residential area, screening shall be provided along the entire area of abutment in a manner that is aesthetically pleasing and effectively screens the residential areas from the proposed select commercial activities.
- **Plantings** - When mounding is utilized in conjunction with plantings, the plant materials shall be of a size and species suitable which together will produce a minimum six (6) foot high screen within a two- (2) year period. When plant material without mounding is utilized, the plant materials shall be a minimum five (5) feet in height when planted and be of such species that will produce a dense six (6) foot visual screen within a two- (2) year period.
- **Minimum Opacity** - All screens must provide a minimum opaqueness of eighty percent (80%) or more.

The applicant has submitted a landscaping plan as required and the proposal will use a combination of mounding and plantings to meet the screening requirement adjacent to the residential uses to the west.

Waiver Requests

The applicant has not requested any waivers to the performance standards of the SCPD district, the General Development Standards of the Zoning Resolution, or the development standards of the M-2 district which is the district that the proposed use is identified as a permitted use. As submitted, waivers are needed to Section 412 related to the required number of parking and loading spaces and to Section 260 related to the side and rear yard setback of 300 feet for main and accessory structures adjacent to a residential district.

Technical Agency Review:

Franklin County Drainage Engineer's Office

The site development will need to comply with the Franklin County Stormwater Drainage Manual.

Franklin Soil and Water Conservation District

No comments

Plain Township Fire Department

Provided a letter indicating support of the proposed layout and is requiring a dry hydrant to be installed in the stormwater pond.

Franklin County Engineer's Office

Walnut Street in this location does not meet current County standards of an 11 feet travel lane with a 5 feet pave shoulder. However, given the low number of anticipated trips the Engineer's Office will accept a fee-in-lieu of the improvements to be used towards intersection improvements at SR 605 and Walnut Street. Such a contribution must be made prior to approval of an access permit or construction plans, whichever occurs first. The recommended Thoroughfare Plan right-of-way for Walnut Street is 40 feet of half right-of-way and approximately 25 feet exists. The applicant will be required to dedicate right-of-way to meet the recommended 40 feet half right-of-way. Any proposed landscaping shall be located outside of the recommended Thoroughfare Plan right-of-way.

Franklin County Economic Development & Planning

The plans submitted suggest that the middle of the site will be graded down while fill will be placed along most of the western property line to bring that area up to the grade of the middle of the site. Filling of this area is a concern as residents along Alice Drive have expressed concerns with existing drainage problems.

Given the former use of the site as a fueling station that required remediation, staff has concerns with grading the site which may affect the remediation required and approved by the Bureau of Underground Storage Tank Regulation that led to BUSTR's 2002 determination that no further action was needed related to corrective action requirements.

The proposal includes significant exterior building lighting for security. Given the site's location within the recommended Park Zone, all lighting fixtures should be limited to a color temperature of 3000K or less so as to limit impacts on the night sky.

Staff Review

The proposed rezoning does not keep with the land use recommendations of the Plain Township Land Use Master Plan or of the Rocky Fork-Blacklick Accord. However, the Defining Principles section of the Township Plan includes a statement that "As parcels come in for development it may be necessary to make land use decisions that vary from those shown on the plan". The site's previous use as a fueling station is a unique circumstance and given that prior use, the site is not appropriate for residential uses as recommended in both adopted plans. As the site is not appropriate for the uses recommended in the adopted plans, consideration must be given to allowing other use of the site. The proposed use of the site as a self-storage facility does not generate significant traffic, as confirmed by the County Engineer's office, and it is less traffic intense in nature than most other non-residential uses. Additionally, the applicant's proposed architectural design and landscaping is intended to compliment the rural character of the area and mimic the design style of agricultural uses and structures which keeps with the Township Plan's recommendations to maintain a rural feel.

Based on these considerations, and provided staff's recommendations are met, staff believes that the proposal advances the general health, safety and morals of the public by encouraging appropriate use and development of the land affected and the comprehensive or overall development of the surrounding area.

Recommendation

Based on Staff's analysis and review, Staff recommends ***approval with conditions*** of the request to rezone from the Rural district to the Select Commercial Planned District. The recommended conditions of approval are as follows:

1. The site must be developed in accordance with the requirements of the Franklin County Stormwater Drainage Manual and include such additional improvements as necessary to address existing drainage concerns along the western property line.
2. The applicant must pay a fee-in-lieu of roadway improvements in an amount as determined by the County Engineer's office and to be paid to the County Engineer's prior to approval of an access permit or a certificate of zoning compliance, whichever occurs first.
3. The proposed access drive must be built to County standards and an access permit must be obtained prior to completing work in the right-of-way.
4. The applicant must dedicate right-of-way to the Franklin County Commissioners in an amount to achieve the Thoroughfare Plan's recommended half right-of-way width of 40 feet from centerline.
5. No landscaping may be located in the Thoroughfare Plan's recommended right-of-way.
6. The applicant must obtain approval from the Franklin County Sanitary Engineering Department prior to connecting to the sanitary sewer system.
7. The applicant must obtain a permit from Franklin County Public Health for the proposed onsite well.
8. A landscape architect must certify that the landscaping proposed along the western property line meets the zoning resolution's opacity requirement of at least 80 percent.
9. All lighting must be limited to a color temperature of no more than 3000K.

10. The development proposal must be submitted to the Bureau of Underground Storage Tank Regulations with a request for a written response from BUSTR that the proposed development will not negate the 2002 determination that no further action was necessary regarding corrective action requirements. The written response from BUSTR must be provided to Plain Township prior to the issuance of a certificate of zoning compliance.
11. The applicant must receive all necessary permits from the Ohio EPA related to the proposed wetland impacts and mitigate the impacts in accordance with Ohio EPA requirements. Proof of compliance with EPA requirements must be provided to Plain Township prior to approval of a certificate of zoning compliance.
12. The proposed setback from the roadway does not contribute to a rural character and any buildings must be setback a minimum of 120 feet from the roadway centerline to more closely match the setback of other buildings along the roadway.

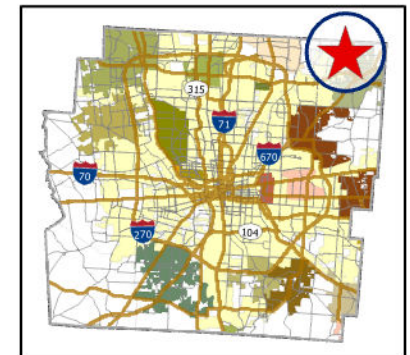


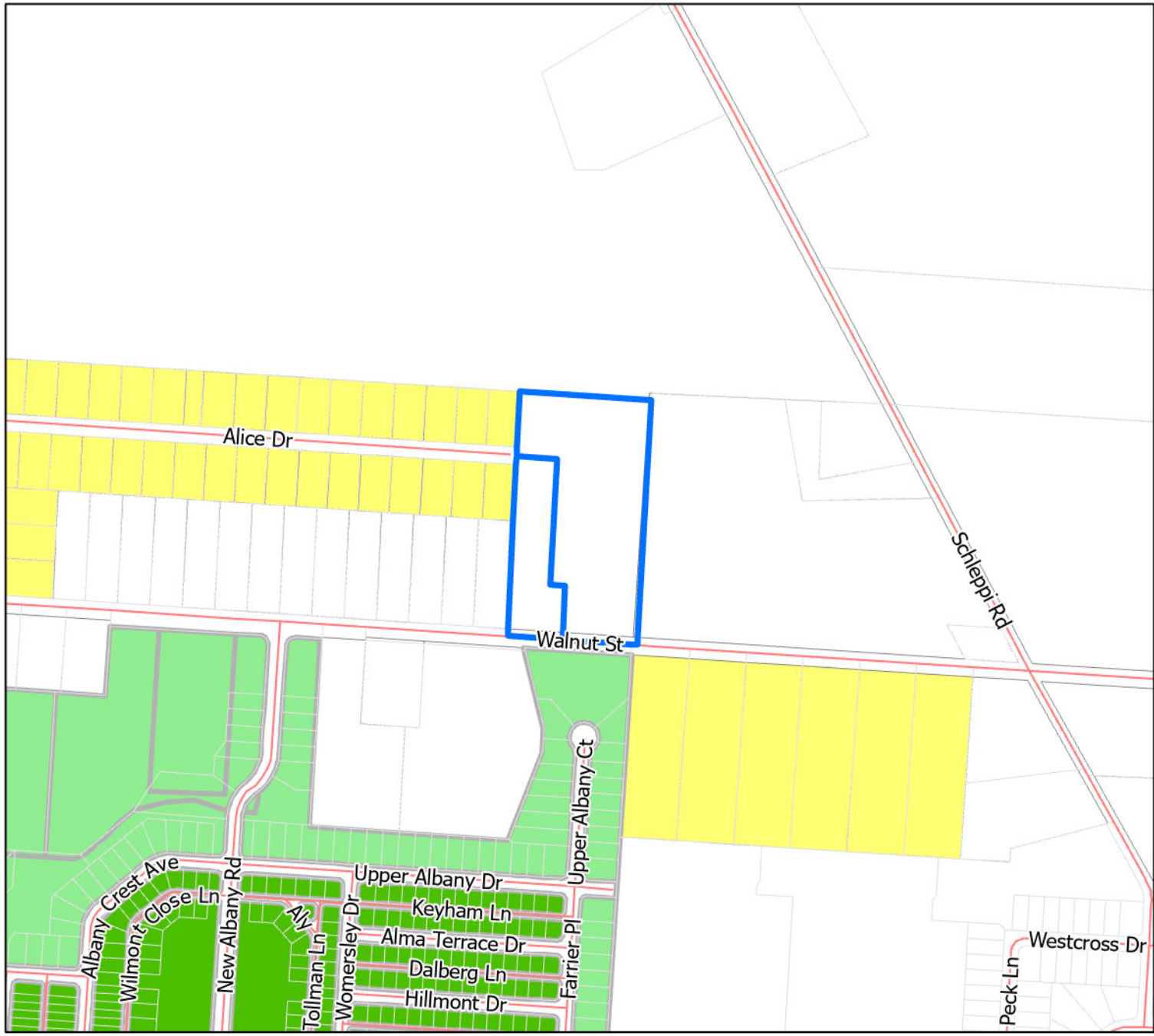
PLAIN-23-02

Requesting to rezone from the Rural District to the Select Commercial Planned District (SCPD) to allow for a personal storage facility.

Acres: 8.270-acres
Township: Plain Township

- Streets
- Parcels
- PID 220-000262, 220-001955



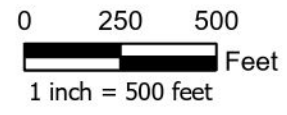
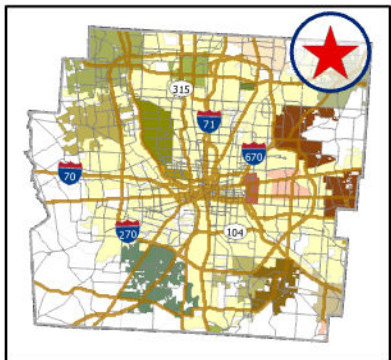


PLAIN-23-02

Requesting to rezone from the Rural District to the Select Commercial Planned District (SCPD) to allow for a personal storage facility.

Acres: 8.270-acres
Township: Plain Township

- Streets
 - PID 220-000262, 220-001955
 - Parcels
- Plain Twp Zoning**
- R2
 - RURAL
- Columbus Zoning Districts**
- Neighborhood Edge
 - Neighborhood General






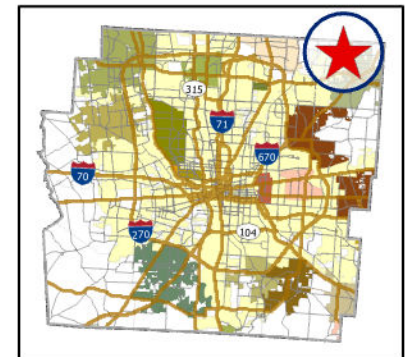


PLAIN-23-02

Requesting to rezone from the Rural District to the Select Commercial Planned District (SCPD) to allow for a personal storage facility.

Acres: 8.270-acres
Township: Plain Township

-  Streets
-  Parcels
-  PID 220-000262, 220-001955

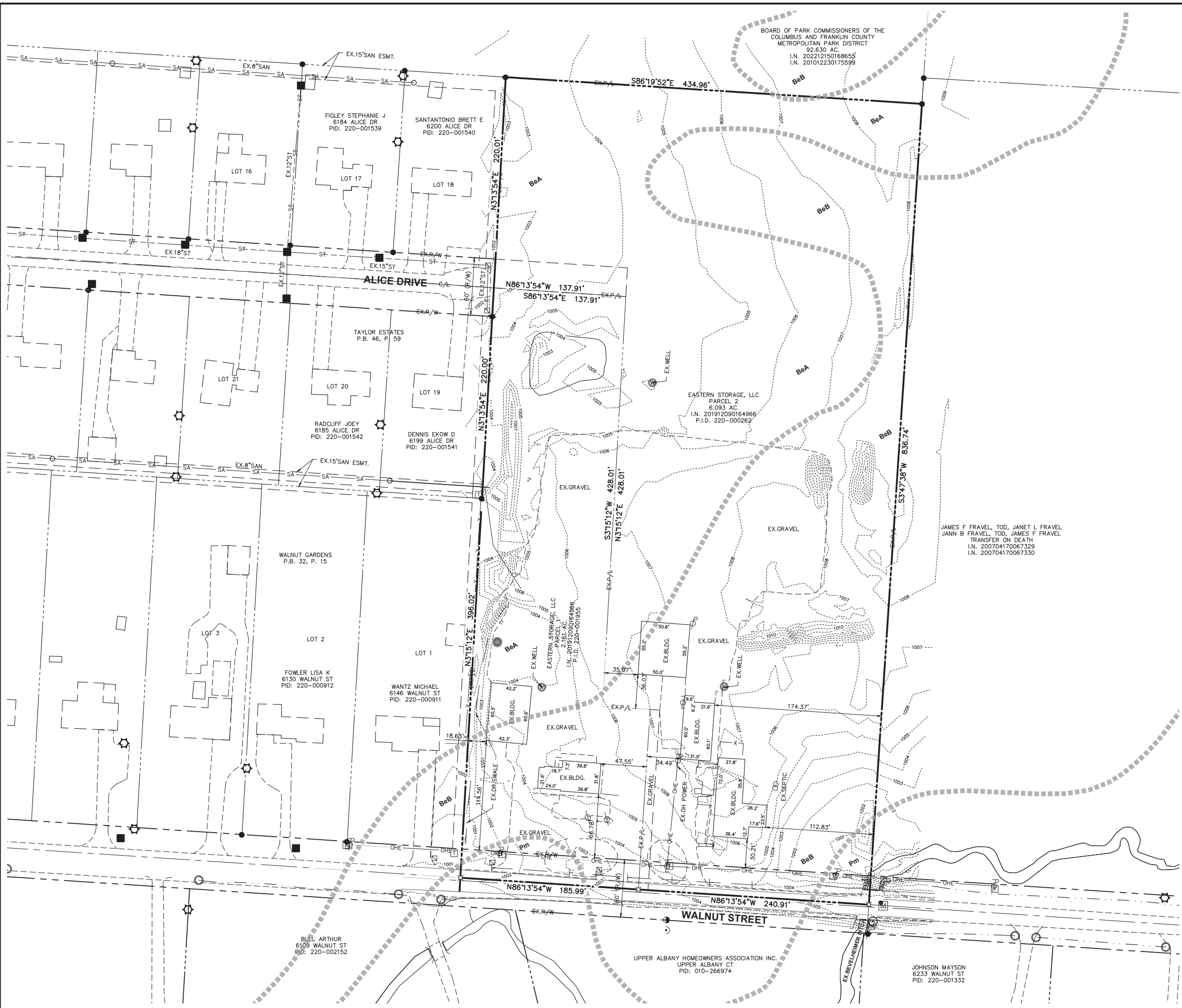


REZONING STATEMENT
6202 E. Walnut Street
Proposed Zoning: SCPD

The proposed Select Commercial Planned District is appropriate for the subject site as this use fits well in this rural setting. In the past the Township has approved this use in the SCPD Zoning District . This zoning designation was recommended by Staff for this application rather M2 Zoning and will provide the Township greater control of the uses by allowing only this use on the site without further action versus the allowing by right other uses which may be undesirable by right in the M2 Zone. The architecture of the personal storage building along the property frontage will be in character with the agricultural style of similar buildings in the area and look more like a rural horse barn. The site provides the typical split 3-rail fence with landscaping along the right-of-way further buffering and providing additional rural aesthetics to the site. The County Engineer's Office and applicant's engineers have determined that the onsite activities do not generate enough traffic to warrant roadway improvements to support the development or negatively impact the existing traffic utilization along Walnut Street. The existing Bevelhiemer Ditch crossing the southeastern corner of the site will be protected and left undisturbed as the storm water will be retained in a pond west of the ditch. The pond will be sized appropriately to meet the County Engineer's Office Stormwater Drainage Manual and will also serve as a water source for fire fighting purposes for the development.

Prior uses on the site have been a fuel service station, RV and boat storage, vehicle repair and maintenance and warehousing and storage. A tank closure letter and No Further Remediation letter for the tank closures is attached.

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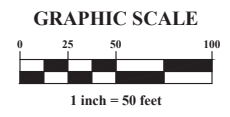


LEGEND

--875-..... EXISTING MAJOR CONTOUR
--876-..... EXISTING MINOR CONTOUR
- EXISTING SOILS LINE
- OHE— EXISTING OVERHEAD ELECTRIC
- X—X— EXISTING FENCE

MAP UNIT LEGEND

MAP UNIT SYMBOL	SOIL NAME / HYDROLOGIC SOIL GROUP
BeA	Bennington silt loam, 0 to 2 percent slopes, C/D
BeB	Bennington silt loam, 2 to 6 percent slopes, C/D
Pm	Pewamo silty clay loam, low carbonate till, 0 to 2 percent slopes



761 Science Boulevard, Suite 100
Columbus, Ohio 43230
ph 614.428.7750
fax 614.428.7755

ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED BY:

PLAN PREPARED FOR:

PLAIN TOWNSHIP, FRANKLIN COUNTY, OHIO

E WALNUT STREET SELF STORAGE FACILITY

TOPOGRAPHIC SURVEY
FOR
CNB CONSTRUCTION

EXISTING CONDITIONS PLAN

Issue Dates:
XX/XX/XX: Issued For

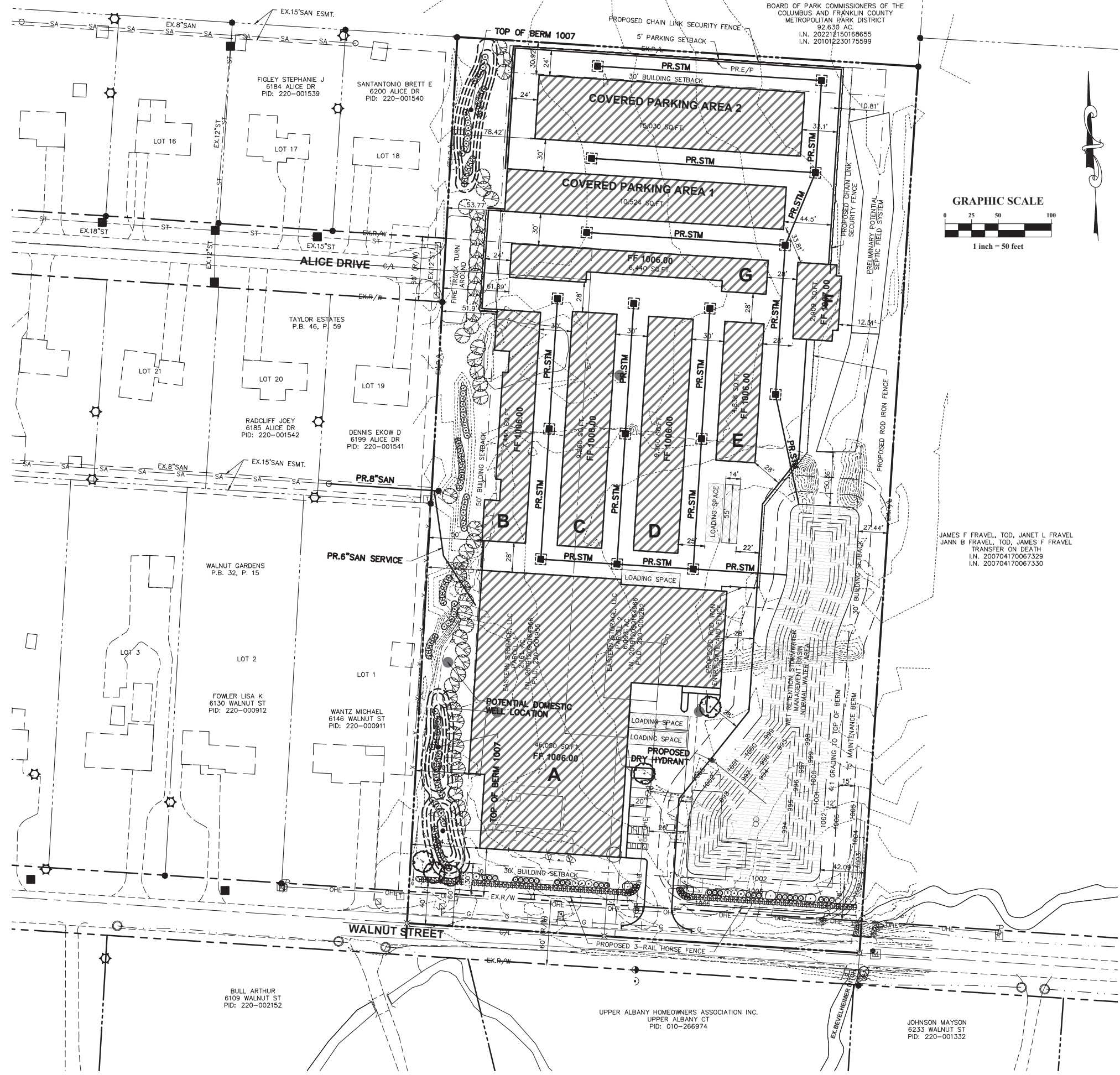
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Checked By: TMW

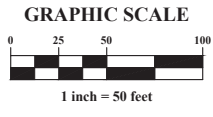
Project Number:
22-0001-1346

Drawing Number:
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BOARD OF PARK COMMISSIONERS OF THE COLUMBUS AND FRANKLIN COUNTY METROPOLITAN PARK DISTRICT
92.630 AC
I.N. 20221510168655
I.N. 201012230175999



GENERAL SUMMARY	
EXISTING ZONING	RURAL DISTRICT
PROPOSED ZONING	SELECT COMMERCIAL PLANNED (SCPD) DISTRICT
PLANNED USE	SELF-STORAGE FACILITY
LOT SIZE	8.274 AC. (360,415 SQ. FT.)
MAXIMUM BUILDING DENSITY	35% (2.89 AC. / 126,145 SQ. FT.)
MAXIMUM BUILDING HEIGHT	25 FEET
REQUIRED OPEN SPACE	20% MINIMUM
REQUIRED PARKING	6 (BASED ON BUILDING A ONLY)
REQUIRED LOADING	5 (BASED ON BUILDING A ONLY)
FRONT YARD BUILDING SETBACK	30' MINIMUM
SIDE YARD BUILDING SETBACK	50' MINIMUM AGAINST RESIDENTIAL & 30' MINIMUM AGAINST RURAL
REAR YARD BUILDING SETBACK	30' MINIMUM
PARKING/PAVEMENT SETBACK	5' MINIMUM
PROVIDED BUILDING DENSITY	30.7% (2.54 AC. / 110,751 SQ. FT.)
PROVIDED BUILDING HEIGHT	24'-6"
PROVIDED OPEN SPACE	3.26 AC. (39.4%) INCLUDING STORMWATER BASIN
PROVIDED PARKING	9, INCLUDING 1 ACCESSIBLE
PROVIDED LOADING	5 EXTERIOR AND 1 INTERIOR

NOTES:
THIS SITE IS A PLANNED SELF STORAGE FACILITY, NO INDUSTRIAL OR COMMERCIAL PROCESSING WILL TAKE PLACE IN THIS FACILITY THAT WOULD EMIT SMOKE, ODOR OR NOISE GREATER THAN SIXTY (60) DECIBELS.
THIS SITE IS A SELF STORAGE FACILITY, ALL STORAGE IS PLANNED WITHIN THE BUILDINGS SHOWN WITH THE EXCEPTION OF THE COVERED STORAGE AREAS WHERE BOATS AND RV'S ARE TO BE PARKED.

STORMWATER CONTROL NARRATIVE

SITE SUMMARY:
THE SUBJECT PROJECT CONSISTS OF EXISTING PARTIALLY DEVELOPED SITE TO BE DEVELOPED INTO A HIGH DENSITY SELF-STORAGE FACILITY DEVELOPMENT WITH ASSOCIATED ASPHALT PARKING AND ACCESS. THE SITE IS BOUND BY PARK LAND TO THE NORTH, LARGE LOT RESIDENTIAL PROPERTY TO THE EAST, WALNUT STREET TO THE SOUTH, AND SINGLE FAMILY RESIDENTIAL TO THE WEST.

EXISTING DRAINAGE AND SOIL CONDITIONS:
EXISTING DRAINAGE PATTERNS WERE OBSERVED AS PREDOMINANTLY DRAINING EAST/NORTHEAST TO WEST/SOUTHWEST. SOME DRAINAGE IS COLLECTED BY OFFSITE STORM SEWERS ALONG ALICE DRIVE. THE MAJORITY OF THE RUNOFF IS COLLECTED BY EXISTING STORM SEWER SYSTEM ALONG WALNUT STREET. THE EXISTING DRAINAGE SYSTEM ALONG WALNUT STREET CONVEYS THE WATER TO THE BEVELHEIMER DITCH. THE BEVELHEIMER DITCH DOES ENTER THE SOUTHEAST CORNER OF THE PROPERTY BEFORE ENTERING EXISTING WALNUT STREET BOX CULVERT. APPROXIMATELY 3 ACRES OF OFF-SITE WATER FLOWS ONTO THE PROPERTY FROM THE NORTH/NORTHEAST. THE EXISTING CHANNEL AND WALNUT STREET BOX CULVERT WILL PROVIDE ADEQUATE OUTLET FOR THE SITE DETENTION RELEASE. THIS PROJECT SITE IS PART OF THE ROCKY FORK CREEK WATERSHED.

ALLOWABLE RELEASE RATE:
PER THE FRANKLIN COUNTY STORMWATER DRAINAGE MANUAL, THE PEAK FLOW RATE CONTROL REQUIREMENTS MATCH THE CRITICAL STORM METHODOLOGY. RUNOFF FROM STORM EVENTS LESS THAN OR EQUAL TO THE CRITICAL STORM EVENT SHALL BE RELEASED FROM THE SITE AT A RATE NO GREATER THAN THE PEAK RUNOFF DURING A 1-YEAR STORM EVENT UNDER PRE-DEVELOPMENT CONDITIONS. THE PROPOSED CRITICAL STORM EVENT FOR THIS PROJECT SITE IS A 10-YR EVENT BASED ON PRELIMINARY 1-YR RUNOFF VOLUMES FORM THE PRE AND POST DEVELOPMENT CONDITIONS. ADDITIONALLY, THE PEAK RATE RUNOFF DURING THE 100-YEAR STORM EVENT SHALL BE RELEASED AT A RATE LESS THAN OR EQUAL TO THE PEAK RUNOFF RATE DURING THE 10-YEAR STORM EVENT UNDER PRE-DEVELOPMENT CONDITIONS.

STORM WATER QUANTITY CONTROL:
ONSITE AND OFFSITE RUNOFF (GREATER THAN 10 ACRES) WILL BE COLLECTED AND CONVEYED WITH STORM SEWER TO A WET RETENTION BASIN. THE BASIN WILL ACT AS THE WATER QUALITY AND MAIN OUTLET CONTROL FACILITY FOR THE SITE. IT WILL BE DESIGNED WITH A MULTI-STAGE OUTLET CONTROL SYSTEM TO MEET THE ALLOWABLE RELEASE REQUIREMENTS FOR THE PROJECT AS WELL AS ENSURE THAT THE DOWNSTREAM OUTLET SYSTEM IS NOT OVERWHELMED.

STORM WATER QUALITY CONTROL:
PER THE OHIO EPA GENERAL CONSTRUCTION PERMIT, A STORMWATER BEST MANAGEMENT PRACTICE (BMP) IS REQUIRED TO TREAT THE FIRST FLUSH RUNOFF VOLUME PRODUCED BY A 0.9" RAINFALL EVENT. THE WQ TREATMENT FOR THIS SITE WILL BE ACCOMPLISHED WITHIN THE STORMWATER MANAGEMENT FACILITIES DESCRIBED ABOVE MEETING ALL OF THE OHIO EPA REQUIREMENTS.

CONCLUSION:
THE PROPOSED DEVELOPMENT WILL PROVIDE SURFACE AND SUBSURFACE STORMWATER CONVEYANCES TO CARRY RUNOFF SAFELY TOWARDS THE ONSITE STORMWATER MANAGEMENT FACILITIES. THOSE STORMWATER MANAGEMENT FACILITIES WILL PROVIDE PEAK FLOW CONTROL AND TREATMENT OF CAPTURED WATER TO COMPLY WITH THE FRANKLIN COUNTY STORMWATER DRAINAGE MANUAL REQUIREMENTS AND OHIO EPA WATER QUALITY REGULATIONS.

FIRE FIGHTING PROTECTION:
THE PROPOSED WET RETENTION STORMWATER MANAGEMENT BASIN WILL BE DESIGNED WITH A DRY PIPE FOR FIRE DEPARTMENT CONNECTION TO PROVIDE WATER FOR FIREFIGHTING PURPOSES. PER THE OHIO FIRE CODE, APPENDIX B, TABLE B105.1(2), FOR A 24,000 SQ. FT. AREA UNDER TYPE IIB CONSTRUCTION WILL REQUIRE A FIRE FLOW OF 3,250 GALLONS PER MINUTE FOR A DURATION OF 3 HOURS. THE NORMAL WET POOL OF THE BASIN WILL BE DESIGNED WITH A FACTOR OF SAFETY OF 1.2 TIMES THE REQUIRED 585,000 GALLONS OF WATER REQUIRED BY THE OHIO FIRE CODE STATED ABOVE. THE POLICE AND FIRE DEPARTMENTS REQUIRE THE INSTALLATION OF A "CLICK TO ENTER" SYSTEM ON GATED ENTRIES FOR EMERGENCY PURPOSES.

FLOODPLAIN

THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) SHOWS THAT THE SUBJECT PROPERTY IS LOCATED WITHIN AN AREA DESIGNATED AS ZONE X. ZONE X IS DEFINED AS: AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM); FRANKLIN COUNTY, OHIO, MAP NOS. 39049C0202K, EFFECTIVE DATE (JUNE 17, 2008).

PLAN PREPARED BY: **ADVANCED CIVIL DESIGN**
761 Science Boulevard, Suite 100
Columbus, Ohio 43230
PH 614.428.7750
FAX 614.428.7755
E N G I N E E R S S U R V E Y O R S

PLAN PREPARED FOR: **E WALNUT STREET SELF STORAGE FACILITY**
DEVELOPMENT PLAN FOR CNB CONSTRUCTION
SITE DIMENSION & UTILITY PLAN

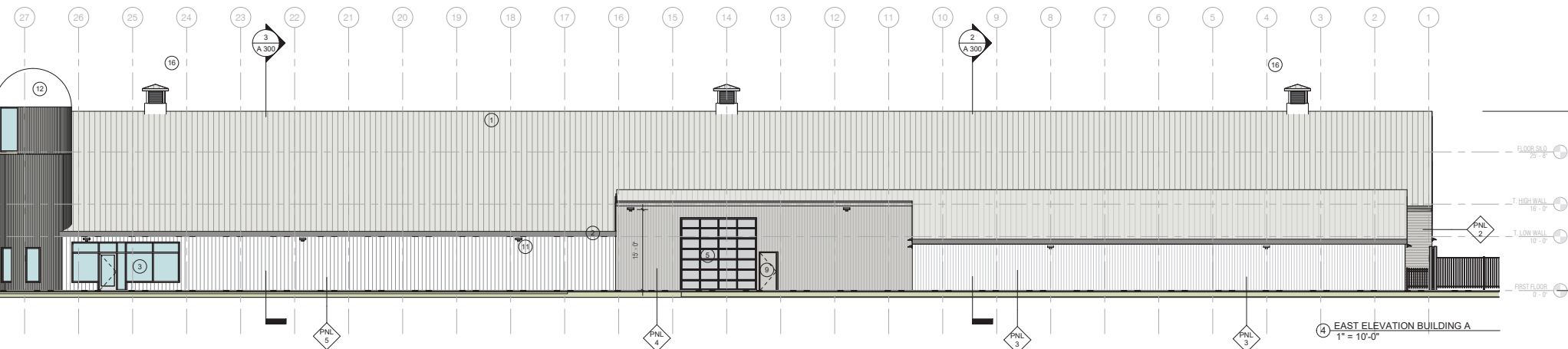
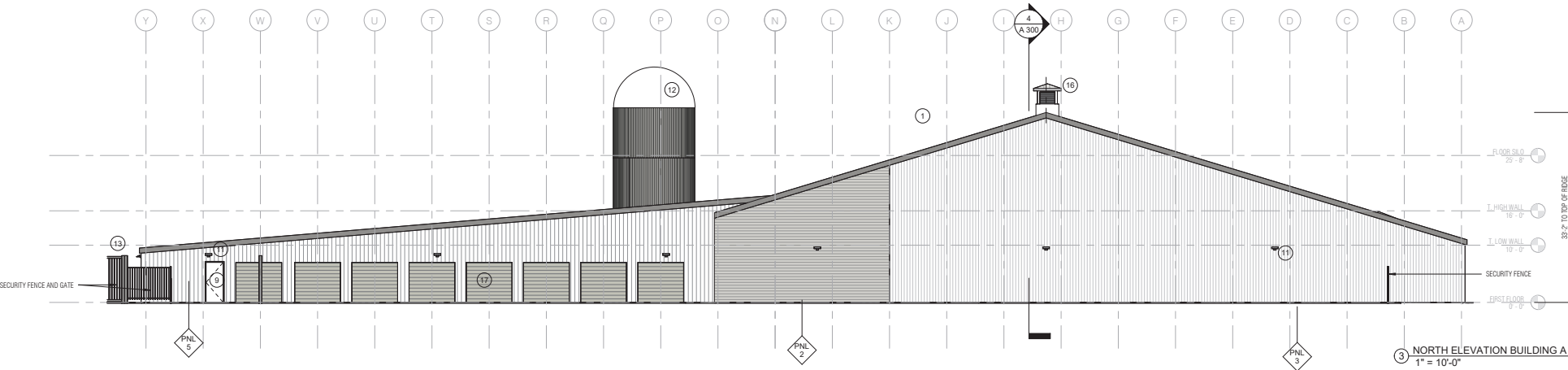
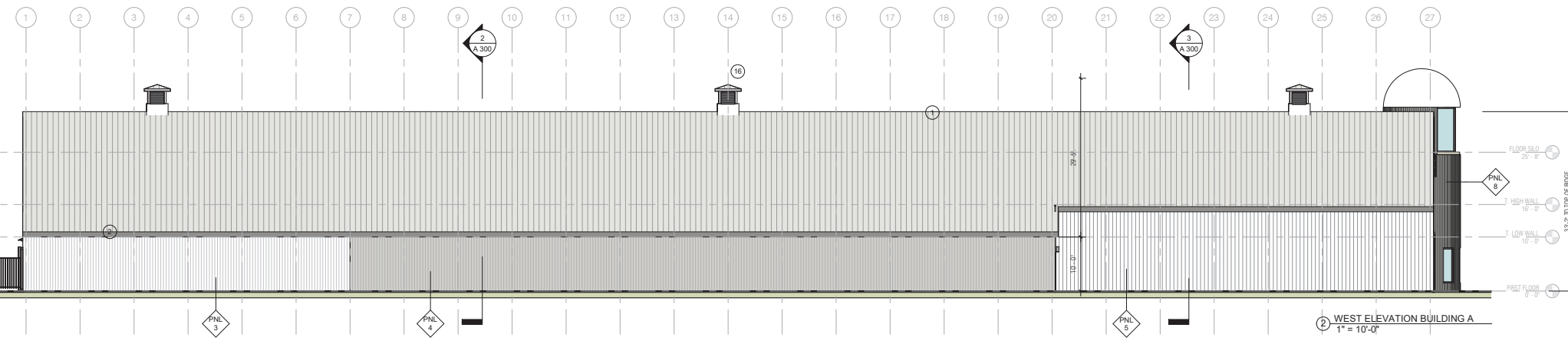
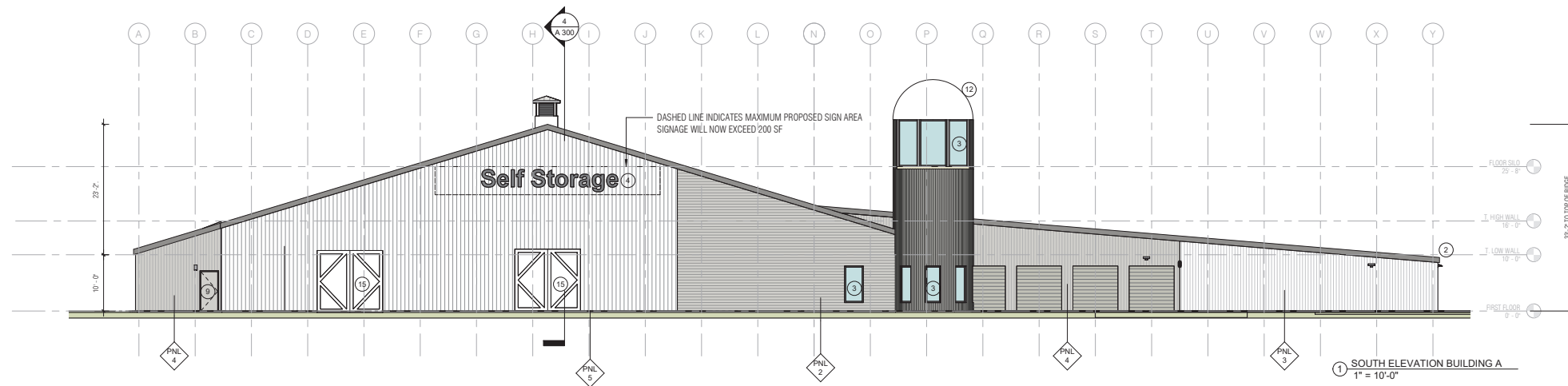
Issue Dates: XX/XX/XX: Issued For

Date: 05/01/2023
Scale: 1" = 50'

Drawn By: CLE
Checked By: TMW

Project Number: 22-0001-1346

Drawing Number: 1 / 1



SIGN AREA CALCULATION

SIGN AREA DEFINITION: "ALL SIGNS - EACH BUSINESS MAY HAVE ONE (1) SIGN ATTACHED TO THE STRUCTURE BELOW THE ROOF LEVEL, OTHER THAN FOR IDENTIFICATION SIGNS FOR SERVICE AREAS. SIGNS FOR INDIVIDUAL BUSINESSES MAY BE NO GREATER THAN TEN (10) PERCENT OF THE AREA BELOW THE ROOF OF THE EXTERIOR SERVICE OF THE WALL TO WHICH THEY ARE ATTACHED."

WALL AREA: 3,220
10% = 322 SF TOTAL SIGN AREA IS PERMITTED

WE PROPOSE ONE SIGN AS ILLUSTRATED. THE MAXIMUM SIGN AREA WILL BE: 200 SF
TOTAL ALLOWABLE BUILDING SIGN AREA = 322 SF

ROOF HEIGHT CALCULATION

ROOF HEIGHT DEFINITION: "The definition of building height is "vertical distance measured from the grade to the highest point of the coping of a flat roof, to the deck line of a mansard roof, or to the mean height level between the eaves and ridge of a gable, hip, or gambrel roof."

EAVE HEIGHT: 10'
RIDGE HEIGHT: 39'-9"
MEAN ROOF HEIGHT: 24'-8 1/2"

ELEVATION NOTES

- | SYMBOL | DESCRIPTION |
|--------|--|
| 1 | PREFINISHED METAL STANDING SEAM ROOF. COLOR: LIGHT GRAY |
| 2 | PREFINISHED METAL EAVE OR FASCIA, GUTTER AND DOWNSPOUT. COLOR: M-2. FINISH SYSTEM: KYNAR 500 OR EQUAL |
| 3 | PREFINISHED STOREFRONT AND/OR WINDOW SYSTEM. SEE MATERIAL SCHEDULE FOR GLASS TYPES. FINISH: SILVER ANODIZED OR EQUAL |
| 4 | INTERNALLY ILLUMINATED, BACK LIGHTED, INDIVIDUAL LETTERS - SIGNAGE BY OWNER. GC TO PROVIDE ELECTRICAL CIRCUIT AND COORDINATE FINAL CONNECTIONS |
| 5 | HIGH SPEED OVERHEAD DOORS |
| 6 | WALL MOUNTED LIGHT FIXTURE ADJACENT TO EXIT DOOR |
| 7 | FLUSH HOLLOW METAL DOOR AND FRAME |
| 8 | ALL MECHANICAL AND DECORATIVE LOUVERS TO BE PAINTED TO MATCH ADJACENT EXTERIOR WALL FINISH |
| 9 | WALL MOUNTED GENERAL AREA LIGHTING |
| 10 | PREFINISHED METAL CURVED ROOF PANELS. FINISH: MATTE FINISH / SILVER |
| 11 | STEEL SECURITY GATE WITH KEYPAD BOTH SIDES. FINISH: WHITE |
| 12 | DECORATIVE "WROUGHT IRON" SECURITY FENCE - BLACK |
| 13 | WHITE METAL FAUX BARN DOORS |
| 14 | METAL CUPOLA. WHITE METAL CLAD DECORATIVE FEATURE. NON FUNCTIONAL LOUVERS AND STANDING SEAM METAL ROOF. LIGHTING ARRESTER |
| 15 | STORAGE UNIT ENTRANCE DOOR. PREFINISHED METAL LIGHT GRAY |
| 16 | SECURITY FENCE - CHAIN LINK - GALVANIZED FINISH |

SCHEDULE OF MATERIALS

SYMBOL	DESCRIPTION
METAL PANELS:	
METAL PANEL TYPES BELOW BY METL SPAN COATINGS: SIGNATURE 300 SERIES	
PNL 1	PRODUCT: 7.2 INSUL - RB, WIDTH 36" NOM. - DIRECTION HORIZONTAL. COLOR: POLAR WHITE. FINISH: 70% PVDF FLUOROPOLYMER COATING
PNL 2	PRODUCT: 7.2 INSUL - RB, WIDTH 36" NOM. - DIRECTION HORIZONTAL. COLOR: SMOKE GRAY. FINISH: 70% PVDF FLUOROPOLYMER COATING
PNL 3	PRODUCT: 7.2 INSUL - RB, WIDTH 36" NOM. - DIRECTION VERTICAL. COLOR: POLAR WHITE. FINISH: 70% PVDF FLUOROPOLYMER COATING
PNL 4	PRODUCT: 7.2 INSUL - RB, WIDTH 36" NOM. - DIRECTION VERTICAL. COLOR: SMOKE GRAY. FINISH: 70% PVDF FLUOROPOLYMER COATING
PNL 5	PRODUCT: CF FLUTE, WIDTH 42" NOM. - DIRECTION VERTICAL. COLOR: POLAR WHITE. FINISH: 70% PVDF FLUOROPOLYMER COATING
PNL 6	PRODUCT: CF FLUTE, WIDTH 42" NOM. - DIRECTION VERTICAL. COLOR: SMOKE GRAY. FINISH: 70% PVDF FLUOROPOLYMER COATING
SINGLE SIGN PANEL TYPES BELOW BY MDCI	
PNL 7	PRODUCT: PBR PANEL - COVER WIDTH 36" - DIRECTION: VERTICAL. COLOR: SNOW WHITE. FINISH: SILICONIZED POLYESTER
PNL 8	PRODUCT: PBR PANEL - COVER WIDTH 36" - DIRECTION: VERTICAL. COLOR: SLATE GRAY. FINISH: SILICONIZED POLYESTER
PNL 9	PRODUCT: PBC PANEL - COVER WIDTH 32" - DIRECTION: VERTICAL. COLOR: GALVALUME PLUS
ROOF	
MULLIONS	
M-1	ALUMINUM FINISH: SILVER ANODIZED. PPG INDUSTRIES
FASCIA, GUTTER AND DOWNSPOUT	
M-2	KYNAR 500 OR EQUAL. LIGHT GRAY SELECTION BASED ON SUBMITTAL
GLASS TYPES	
GL-1	VISION LITE. 1" INSULATED GLAZING UNIT. OUTER LITE - CLEAR. INNER LITE - CLEAR
GL-2	VISION LITE. 1" INSULATED GLAZING UNIT. OUTER LITE - GRAY. INNER LITE - CLEAR. LOW E COATING ON THE #3 SURFACE

Proposed Self Storage Building
6202 East Walnut Street New Albany, Ohio

No.	Issue	Date

Drawn By: GC
Checked By: As Indicated
Scale: 001.12.05.22
Project No.: 001.12.05.22

BUILDING A ELEVATIONS

S:\70223\10\30308\AM - 01\Drawings\04\Drawings\04\Documents\3.1 PROJECTS\New Albany - 6202 East Walnut Street\04\200.DWG

FIXTURE TYPE: F1

LSO SERIES

FEATURES

- Available in 1' and 2' sizes
- Available in 1' and 2' sizes
- Available in 1' and 2' sizes

CONTROL TECHNOLOGY

SPECIFICATIONS

REQUIREMENTS

NOTES

MANUFACTURER

PRODUCT

DESCRIPTION

FINISH

INSTALLATION

MAINTENANCE

WARRANTY

EXTERIOR LIGHT FIXTURE TYPES

SYMBOL DESCRIPTION

F1 SURFACE MOUNTED FIXTURE MOUNTED ON STRUCTURE OF SLOPED ROOF SCREEN ELEMENT DISTRIBUTION DOWN ONLY - LSO LUMASQUARE SERIES MOUNTED +13' ABOVE GRADE ON UNDERSIDE OF ROOF STRUCTURE

F2 HUBBELL OUTDOOR- GEOPAK SERIES TRPS - TRAPEZOID - 4000K WIDE THROW DIFFUSED DISTRIBUTION - GRAPHITE TEXTURED

F3 WALL MOUNTED FIXTURE AT EXIT DOOR 7'-0" ABOVE GRADE - LIGHT DISTRIBUTION DOWN ONLY FC LIGHTING - FCC600 SERIES

Luminaire Schedule - Part numbers are provided by the manufacturer and are only intended to be used as a reference to output and optics used.

Symbol	Qty	Tag	Luminaire Lumens	Luminaire Watts	LLF	Manufacturer	Description
F1	28	F1	4610	38.1	0.900	EXO	LSQ1-40-4K7-UNV-X
F2	15	F2B	5664	48.6	0.900	EXO	TRP2-24L-50-4K7-4
F3	52	F2A	5819	48.6	0.900	EXO	TRP2-24L-50-4K7-3

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Max/Min	Avg/Min	Description
PARKING AREA CALC	Illuminance	Fc	2.38	10.1	0.0	N.A.	N.A.	CALCULATION POINTS @ GRADE LEVEL
PROPERTY LINE CALC	Illuminance	Fc	0.00	0	0	N.A.	N.A.	CALCULATION POINTS @ GRADE LEVEL
FENCED AREA CALC	Illuminance	Fc	3.62	10.9	0.0	N.A.	N.A.	CALCULATION POINTS @ GRADE LEVEL

PARKING LOT DESIGN GUIDE	MAINTAINED HORIZONTAL		MAINTAINED VERTICAL		MAXIMUM	
	AVERAGE (FC)	RANGE (FC)	AVERAGE (FC)	RANGE (FC)	AVG:MIN	MAX:MIN
PARKING (UNCOVERED) ZONE 3 (URBAN)	1.5	0.75 - 3	0.8	0.4 - 1.6	4:1	15:1
PARKING (UNCOVERED) ZONE 2 (SUBURBAN)	1	0.5 - 2	0.6	0.3 - 1.2	4:1	15:1
SAFETY (BUILDING EXTERIOR)	1	0.5 - 2	-	-	FOR SECURITY ISSUES: RAISE AVG. TO 3	

SIMPLIFIED RECOMMENDATIONS BASED ON IES 'THE LIGHTING HANDBOOK' 10TH EDITION AND IES RP-20-14. INDIVIDUAL APPLICATIONS WILL DETERMINE SPECIFIC RECOMMENDATIONS. PLEASE REFER TO THE MOST RECENT HANDBOOK FOR A MORE DETAILED EVALUATION AND ADDITIONAL APPLICATIONS. THESE RECOMMENDATIONS DO NOT SUPERCEDE ANY APPLICABLE CODES.

NOTES

PG-ENLIGHTEN IS NEITHER LICENSED NOR INSURED TO DETERMINE CODE COMPLIANCE. CODE COMPLIANCE REVIEW BY OTHERS.

ANY VARIANCE FROM REFLECTANCE VALUES, OBSTRUCTIONS, LIGHT LOSS FACTORS OR DIMENSIONAL DATA WILL AFFECT THE ACTUAL LIGHT LEVELS OBTAINED.

THIS ANALYSIS IS A MATHEMATICAL MODEL AND CAN BE ONLY AS ACCURATE AS IS PERMITTED BY THE THIRD-PARTY SOFTWARE AND THE IES STANDARDS USED.

FIXTURE TYPES AND QUANTITIES MAY CHANGE BASED ON UNKNOWN OBSTRUCTIONS OR FIELD CONDITIONS. THESE CHANGES MAY RESULT IN AN INCREASED QUANTITY OF FIXTURES.

FIXTURE TYPES AND QUANTITIES BASED ON PROVIDED LAYOUT AND DRAWINGS ARE FOR REFERENCE ONLY. TYPES AND QUANTITIES MAY CHANGE WITH FUTURE REVISIONS.

CALCULATION GRID VALUES 10' 0" O.C.

FIXTURE TYPE: F2A-B

GEOPAK Series 2

STYLE SELECTED

FEATURES

- Available in 1' and 2' sizes
- Available in 1' and 2' sizes
- Available in 1' and 2' sizes

SPECIFICATIONS

REQUIREMENTS

NOTES

MANUFACTURER

PRODUCT

DESCRIPTION

FINISH

INSTALLATION

MAINTENANCE

WARRANTY

FIXTURE TYPE: F3

FC DOWN ONLY

FEATURES

- Available in 1' and 2' sizes
- Available in 1' and 2' sizes
- Available in 1' and 2' sizes

SPECIFICATIONS

REQUIREMENTS

NOTES

MANUFACTURER

PRODUCT

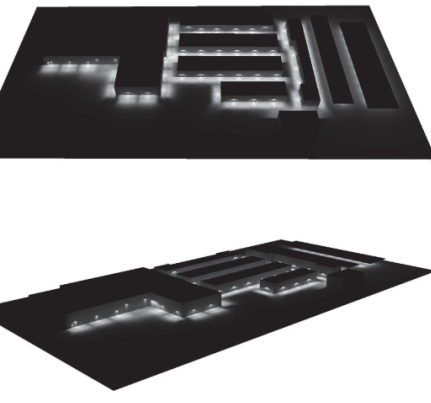
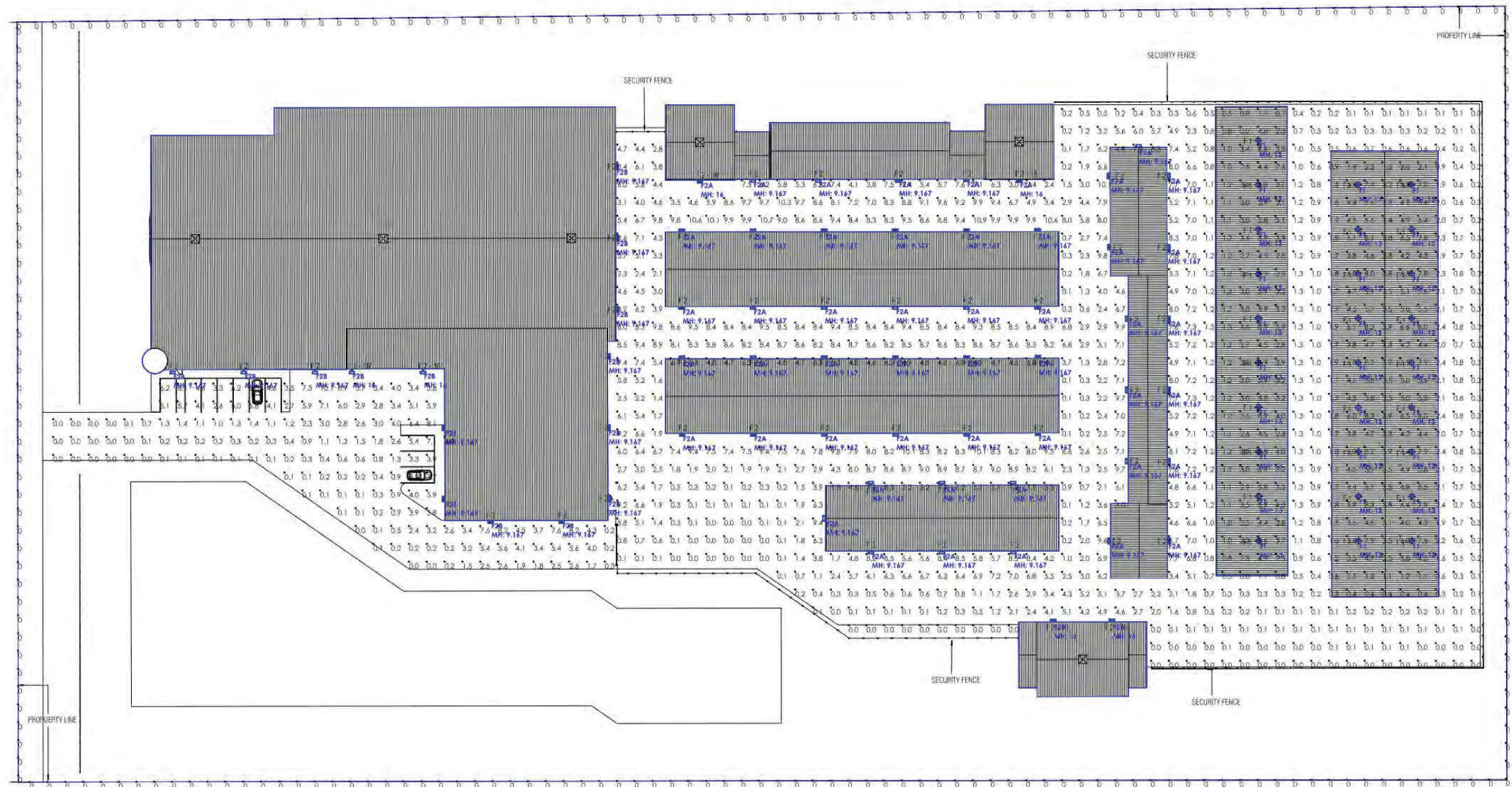
DESCRIPTION

FINISH

INSTALLATION

MAINTENANCE

WARRANTY



Drawn By: GC
 Checked By: GC
 Project No.: 001.12.05.22
SITE LIGHTING
 Sheet No.: A 001

PLANNING AND ZONING	2/27/2023
Issue	Date

Proposed Self Storage Building

6202 East Walnut Street New Albany, Ohio

Studio Level 1
 1001 North Warren Street Gary, Indiana 46403
 gary@studiolevel1.com 219.961.0214 www.studiolevel1.com



Proposed Self Storage Building

6202 East Walnut Street New Albany, Ohio

Studio Level 1

1001 North Warren Street Gary, Indiana 46403
gchapman@studiolevel1.com 219.951.0214 www.studiolevel1.com

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Scale:

Project No.: 001.12.05.22

AERIAL VIEW

Sheet **IL 001**



Proposed Self Storage Building

6202 East Walnut Street New Albany, Ohio

Studio Level 1

1001 North Warren Street Gary, Indiana 46403
gchapman@studiolevel1.com 219.951.0214 www.studiolevel1.com

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Scale:

Project No.: 001.12.05.22

WALNUT STREET
LOOKING EAST

Sheet **IL 002**



Studio Level 1

1001 North Warren Street Gary, Indiana 46403
gchapman@studiolevel1.com 219.951.0214 www.studiolevel1.com

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Proposed Self Storage Building

6202 East Walnut Street New Albany, Ohio

Scale:

Project No.: 001.12.05.22

VIEW LOOKING
NORTH

Sheet **IL 003**

Traffic Summary

Trip Generation software for a mini-warehouse in a general urban/suburban area shows that a facility with a Gross Floor Area (GFA) of 110,000 sq. ft. generates 160 daily trips during a weekday.

The AM peak trip generation report shows a total of 10 trips happen within 1 hour between the hours of 7 and 9am. The chart shows 59% of the trips are entering the site and 41% are exiting.

The PM peak trip generation report shows a total of 17 trips happen within 1 hour between the hours of 4 and 6pm. The chart shows 47% of the trips are entering the site and 53% are exiting.

Mini-Warehouse (151)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.

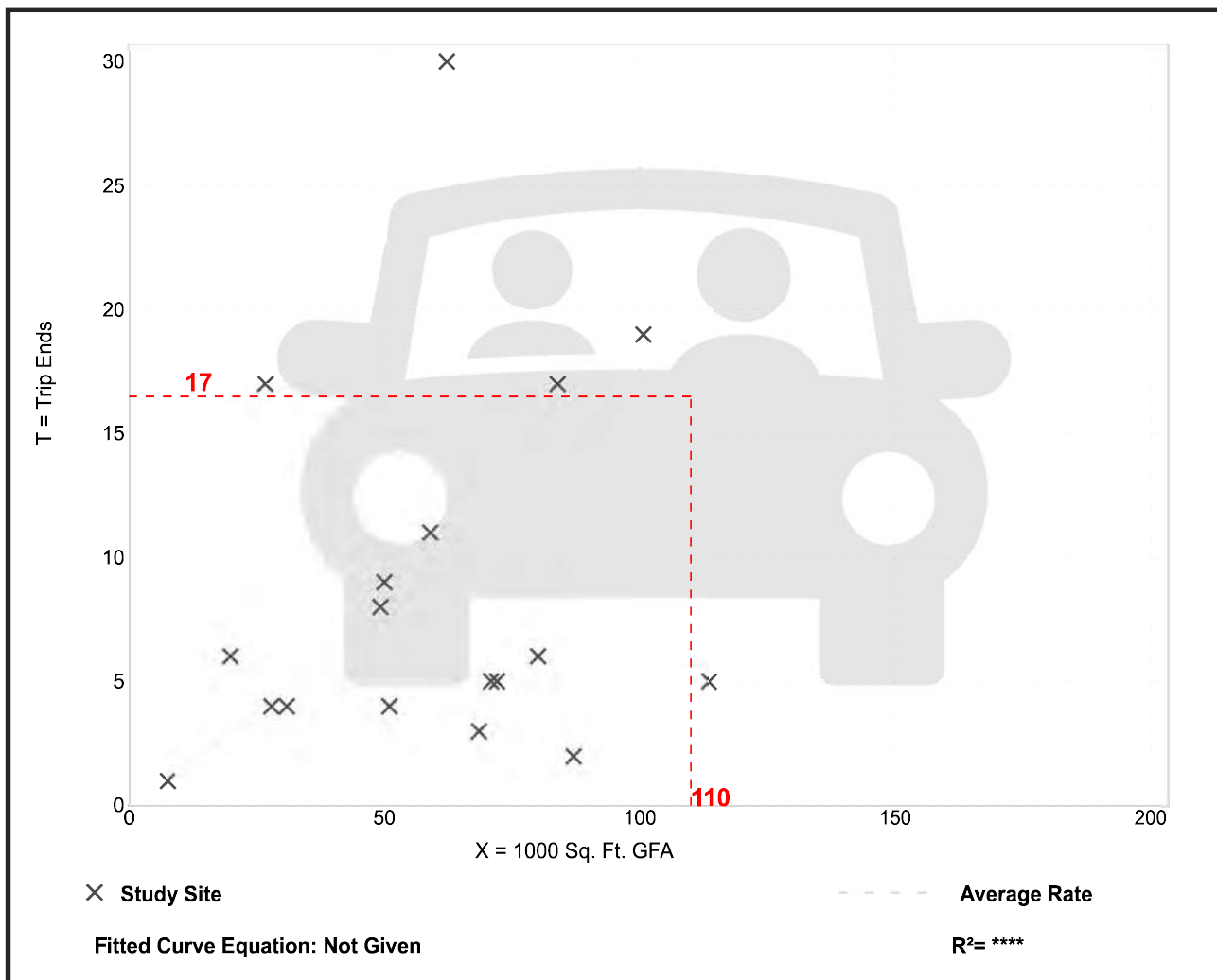
Setting/Location: General Urban/Suburban

Number of Studies: 18
 Avg. 1000 Sq. Ft. GFA: 59
 Directional Distribution: 47% entering, 53% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
0.15	0.02 - 0.64	0.14

Data Plot and Equation



From: Bill S. Hebble, P.E. <whebble@franklincountyengineer.org>
Sent: Wednesday, February 1, 2023 3:05 PM
To: Mark Mann <MMann@advancedcivildesign.com>
Cc: Kristen M. Mastalski, P.E. <kmastalski@franklincountyengineer.org>
Subject: RE: 6202 E. Walnut Street Self Storage

Thanks for providing this update, Mark. We are still discussing what requirements this development should be responsible for. There are not enough trips to warrant a traffic study, but Walnut St in front of this development is not up to current County standards. We typically make a developer bring their frontage up to standard (11' travel lane with 5' paved shoulder and ditch with 4:1 slopes), but with the low amount of trips, that seems like a big ask \$/trip wise. So that is the discussion we are currently trying to figure out is how to capture this development's impact on the roadway system.

In all likelihood, we would not require them to construct improvements, but to pay a fee in lieu of construction and those funds would go towards a intersection improvements project we are working on at Walnut St & SR 605.

Please let me know if you have any questions.



Bill S. Hebble, P.E.
Assistant Mobility Engineer

970 Dublin Road
Columbus, Ohio 43215
614-525-4821

whebble@franklincountyengineer.org

<https://link.edgepilot.com/s/5cc0e893/WgGA4pydAUCIxDV9pYLc4Q?u=http://www.franklincountyengineer.org/>





**Plain Township Fire Department
Fire Prevention Bureau**

9500 Johnstown Rd., New Albany, Ohio 43054
Phone (614) 855-7370 Fax: (614) 855-9972

www.plaintownship.org

An Equal Opportunity Employer

February 23, 2023

To: Curtis Echelberry
Advanced Civil Design
781 Science Boulevard, Suite 100
Gahanna, Ohio 43230

From: Terry L. Guthrie – Fire Marshal
Plain Township Fire Department

Ref: East Walnut Street Self Storage Facility

Mr. Echelberry,

We have reviewed the site plan for the proposed self-storage facility to be located at 6202 East Walnut Street Westerville Ohio 43081. The PTFD is generally in support of the proposed development.

We find that the fire apparatus access is acceptable and the proposed pond will adequately supply the anticipated fire flows. A dry hydrant will be required in the pond near the entrance of the facility. The dry hydrant will need to be installed per Plain Township Fire Department specifications, inspected/tested/accepted by PTFD personnel.

We appreciate your proactive approach to fire and life safety and thank you for including us in the early stages of the design/development of the facility.

Sincerely,

Terry L. Guthrie



Franklin County
Board of Commissioners

**SANITARY
ENGINEERING**

February 24, 2023

Curtis Echelberry
Advanced Civil Design
781 Science Boulevard, Suite 100
Gahanna, OH 43230

RE: Sanitary Sewer Service for 6202 Walnut Street, Westerville, OH 43085 (PID 220-001955)

Dear Mr. Echelberry:

The property known as 6202 Walnut Street (PID 220-001955) is within Franklin County's Taylor Estates sanitary sewer service area. Per the County's sewer agreement with the City of Columbus, the County, via the Department of Sanitary Engineering, is responsible for providing the sanitary sewer service. Connection to the existing sanitary sewer will be permitted and inspected by the Franklin County Sanitary Engineer. Any modification to the existing sanitary sewer (i.e., a mainline extension) will need to be approved by Franklin County and the City of Columbus. Please note that the County cannot accept flow from outside of this service area.

Respectfully,

Ryan Stowe, P.E.
Project Engineer

Director
Stephen A. Renner

280 E. Broad St.
2nd Fl.
Columbus, Ohio 43215-6314

t_ 614 525 3940
f_ 614 525 5210

cleanwater.franklincountyohio.gov



Ohio Department of Commerce

Division of State Fire Marshal
Bureau of Underground Storage Tank Regulations
6406 Tusling Road • P.O. Box 637
Reynoldsburg, OH 43068-5009
(614) 752-7938 FAX (614) 752-7942
www.com.state.oh.us

Bob Taft
Governor

Gary C. Schadschink
Director

March 06, 2002

CHARLES EASTER
EASTER OIL CO
6202 WALNUT ST
WESTERVILLE, OH 43081

SITE: EASTER OIL CO
1990 TANK REMOVALS
6202 WALNUT ST
WESTERVILLE OH
FRANKLIN COUNTY
RELEASE #25010133-100001

RE: NO FURTHER ACTION STATUS REGARDING CORRECTIVE ACTION REQUIREMENTS

Dear Mr. Easter:

The Bureau of Underground Storage Tank Regulations (BUSTR) has reviewed all information submitted for this release. Based on the assumptions used in the tier evaluation report, BUSTR requires no further action (NFA) involving corrective action under Ohio Administrative Code (OAC) 1301:7-9-13, effective March 1999.

Thank you for your cooperation. If you have any questions, please contact our office at (614) 752-7938.

Sincerely,

Kelly J. Gil
Corrective Action Supervisor

rl

xc: Site File
Michael Darnell, SRW

Otter Corrective Action Release Report

Release 25010133-N00001 printed by Gill

Responsible Party

W014860 -
EASTER OIL CO
6202 WALNUT ST
WESTERVILLE, OH 43081

Release Location

25010133 - EASTER OIL CO

6202 WALNUT ST
WESTERVILLE, OH 43081
Franklin

Release Information

Release Number: N00001
Date Reported: 12/12/90
Source: Closure
Content: Gasoline
Rules: 1999
Class: D
Deed Restriction: No
Date of Last Status Change: 3/3/02
LTF Code: 1 SUS CON from regulated UST

Site Information

Site/Area Type: Residential
GW Flow: SW GW Depth: 6-10
Sensitive Area: No Wellhead Protection: No
Depth to Bedrock: 13
Cleanup Tech: Natural Attenuation (Monitoring Only RAP = MORAP)

Contamination

Soil Contamination: Yes
Soil Category: Silty clayey sands sod Soil Class:
Total Gal FPR:
Contaminant: Benzene; Toluene; Ethyl-benzene; Total Xylenes
Above AL:

GW Contamination: Yes
Type of GW: Drinking Water
Alt DW supplied: No
Total Gal GW remediated:
Contaminant: Benzene; Toluene; Ethyl-benzene; Total Xylenes
Above AL:

Priority Tracking System

Soil: 1 < A1s
Water: 1 < A1s
Free Product: 0 None
Drinking Water: 0 None
G.Let
Rating: 2

00001204

Other Corrective Action Release Report

Site Listing Update

2/8/91 rec'd closure rpt-2gas tanks and an abd tank removed 12/10/90. Over excavated contaminated soil. Pit water sampled- .405 B. Sample under pump Island#.317 B. Soil to landfill.

SA submitted 10/27/93. Three MWs indicated clean soil & GW around pit. No MWs down gradient.

1/24/01 requested that pit water and MWs resampled.

2/01 FP found in MW-3. All water HD. Plan Tier 1.

1 ft of free product found in MW-3, recovered 1/2 gallon 2/16/01, FPR rpt to follow within 70 days.

6/15/01 GW rpt- no FP in any well since 2/16/01. GW tested clean. GW direction has changed from SW to NW. Plan Tier Eval

9/17/01 rec'd Tier report.- 39 wells in surrounding area and on-site. Seven borings installed 5-23-01, and 4MWs installed 6-5-01. All soil samples were <Tier 1 ALs and GW was below MCLs.

3/6/02 Despite the one-time free product in MW-3, there is no evidence that this site is significantly contaminated. Therefore recommend NFA.

0000 1200

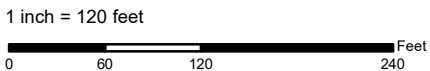


Legend

- Study Area
- Wetland
- Stream
- Culvert

EMHT
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4500 Toll Free: 888.775.3648
emht.com

PLAIN TOWNSHIP, FRANKLIN COUNTY, OHIO
6202 East Walnut Street Site
Delineation Map
Exhibit 6



Brown, Matthew L.

From: Lori Wilson <lori.wilson08@icloud.com>
Sent: Tuesday, April 25, 2023 3:49 PM
To: Brown, Matthew L.
Subject: Re: Meeting at 1:30pm zoom

Matthew,

Thank you again for your response.

The reason why we are particularly interested in getting our concerns heard by Franklin County is because there was a public meeting with a huge turn out at the plain township fire house earlier in the month. We voiced our concerns for over 2 hours.

The Zoning representatives at that meeting indicated they usually go with your recommendations. It then goes to the Township trustees. As attendees we all got the feeling it was a done deal after your recommendations.

Thank you for your time and I hope you will examine this facility and its impact very closely prior to recommendation

Lori Wilson.

Sent from my iPhone

> On Apr 25, 2023, at 3:17 PM, Brown, Matthew L. <mybrown@franklincountyohio.gov> wrote:

>

> Hi Lori,

> Thank you for providing these concerns. As previously indicated, the Franklin County Planning Commission's role in the rezoning process is to provide a recommendation to the Township Zoning Commission. The ultimate decision as to whether to rezone the property rests with the Township and both the Township Zoning Commission and Township Trustees' meetings are open to the public for input.

>

> This rezoning case is currently scheduled to be considered by the Franklin County Planning Commission at their May 10, 2023 meeting. Meetings are held at 1:30pm at 369 S. High Street in the Commissioners' Hearing Room on the first floor. Public input can be provided at the Planning Commission meeting.

>

> Matt Brown

> Planning Administrator

>

> Franklin County

> Economic Development & Planning Department The Lazarus Building

> 150 South Front Street, FSL Suite 10

> Columbus, Ohio 43215

> Email: mybrown@franklincountyohio.gov

> <http://development.franklincountyohio.gov/>

>

>

>

> -----Original Message-----

> From: Lori Wilson <lori.wilson08@icloud.com>

> Sent: Tuesday, April 25, 2023 3:06 PM

> To: Brown, Matthew L. <mybrown@franklincountyohio.gov>

> Subject: Re: Meeting at 1:30pm zoom

>

> Matthew,

>

> Thank you for responding.

>

> Not sure when we as residents will have a chance to discuss our issues with this zoning change and the proposed massive storage facility directly with Franklin County. Could you please direct me and other residents? Also Where would we present a petition? Below are a few concerns for your information from the adjacent properties and residents of Alice dr and Walnut st.

>

> 1. Drainage into backyards. Already standing water that started after 2019 when an illegal asphalt grinding operation expanded the lot. The proposed pond doesn't address the neighbors side.

>

> 2. There is a proposed fire hydrant to be fed from the pond. What happens during a summer drought. The massive building with interior storage is not sprinkled. Not sure how that can be under current NFPA fire codes. Hazardous materials are often found in storage units.

>

> 3. The contaminated soil from old gas station is to be encapsulated not abated. This will make the topography of the lot change even more. What happens if this contamination is leached into our wells. If this is built the owners should be forced to deal with it properly.

>

> 4. This patch of land is part of the Rocky fork accord. It was zoned rural. What is the point of this accord if land can be re-zoned for a large commercial facility. There is a huge difference from storing a few boats and RVs currently there, than this massive storage facility. There is nearby land for sale in the industrial/ commercial area of new albany that infrastructure is already in place.

>

> 4. Walnut St. is at its capacity for traffic. The addition of the elementary school some years back makes darn near impossible to travel this route at least twice a day. The street is grid locked with parents picking up and dropping off There have been massive residential communities added over last few years with many not yet completed.

>

> These are a few concerns that people who live in the area have. Please direct me as to what meeting we can attend for franklin county to voice them.

>

> Thank you

>

> Lori wilson

> 614-725-9487

>

>

> Sent from my iPhone

>

>> On Apr 25, 2023, at 2:14 PM, Brown, Matthew L. <mybrown@franklincountyohio.gov> wrote:

>>

>> Hi Lori,

>> The Technical Review Committee meeting was canceled due to Technical agencies expressing no need to discuss proposals with applicants. I apologize that the website was not updated to reflect that the meeting was canceled. The purpose of these meetings is for Technical Review agencies to discuss technical issues or concerns about proposals with applicants and there is no formal action of any type taken at the meetings.

>>

>> For the specific application that you are interested in, this case is a Township rezoning and the Township has requested a recommendation on the proposal from the Franklin County Planning Commission. A staff report and recommendation will be prepared prior to the Planning Commission meeting and the Planning Commission will make a recommendation on the proposal at their May meeting. This recommendation is then forwarded to the Township for their consideration at the Township Zoning Commission and Township Trustees meetings. Planning Commission, Township Zoning Commission and Township Trustee meetings are all meetings where public input can be provided.

>>

>> Matt Brown

>> Planning Administrator

>>

>> Franklin County

>> Economic Development & Planning Department The Lazarus Building

>> 150 South Front Street, FSL Suite 10

>> Columbus, Ohio 43215

>> Email: mybrown@franklincountyohio.gov

>> <http://development.franklincountyohio.gov/>

>>

>>

>>

>> -----Original Message-----

>> From: Lori Wilson <lori.wilson08@icloud.com>

>> Sent: Tuesday, April 25, 2023 1:50 PM

>> To: Brown, Matthew L. <mybrown@franklincountyohio.gov>

>> Subject: Meeting at 1:30pm zoom

>>

>> Hi,

>>

>> I have been waiting for this meeting to start for 15 minutes now. I am a concerned citizen regarding a proposed storage facility in plain township. I was attending this meeting to bring up issues. I am disappointed the zoom meeting link is not working.

>>

>> Lori wilson

>>

>> Sent from my iPhone

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>>

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From: [Holly Jamieson](mailto:HollyJamieson)
To: JillBeckettHill@plaintownship.org; KerriMollard@plaintownship.org; dferguson@plaintownship.org; mayor@newalbanyohio.org; mdurik@newalbanyohio.org; cfellows@newalbanyohio.org; kkist@newalbanyohio.org; awiltout@newalbanyohio.org; Duemmel, Marcus N.; Morris, David J.; Brown, Matthew L.; whebble@franklincountyengineer.org; mbrisk@newalbanyohio.org; cfellows@newalbanyohio.org; mshull@newalbanyohio.org
Subject: E Walnut Storage Facility
Date: Tuesday, May 9, 2023 10:35:27 PM

To Whom It May Concern;

I am a home owner on E Walnut St and my husband and I, along with every other neighbor we've talked to are very much opposed to the zoning change to put in a storage facility on our street.

Hundreds of homes are already being added by the subdivisions going up on Walnut St right now. Adding a storage facility will only further congest a two lane road that can't handle the influx of traffic in the works as is. It's already very difficult turning onto New Albany Reynoldsburg Rd from Walnut during high traffic times and this is before all the new subdivision traffic that's coming...and now a storage facility too!?

Not to mention, what happened to preserving the "rural zoning"?

Plain Township denied us the right to build a guest house on our 3+ acre property, nor a small (aesthetically pleasing) building for our business due to "rural zoning". We can't even house my daughters horse on our property because it's not 5 acres. These were things not a single neighbor was opposed to and that would've fit comfortably on our lot and in the neighborhood with lots of room to spare. But making exceptions to the rule, even at the expense of all the residents that live here, is not an issue when it's for a big company or corporation? Eaton Plumbing is allowed to jam 5 hideous buildings back to back on what looks to be, maybe a half acre lot. And the storage facility is not an issue, but perfectly reasonable, discreet and non invasive things that residents want on their property is???

This is both illogical and disrespectful to the residents that make up this town.

The appeal of New Albany/Plain Twnshp is that it's not been congested, over crowded and relentlessly rezoned into a parking lot. If this kind of thing continues it'll just be another Hilliard or Gahanna.

The residents of the Walnut St area, as well as much of New Albany sincerely ask that you keep our rural neighborhood rural, and our property values intact by opposing this zoning change.

Please make good choices on our behalf.

Thank you,
Holly & Alan Albrecht

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This email originated from an email address that is outside of the county network. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Brown, Matthew L.

From: Victoria Meyer <Vicky.Meyer@hotmail.com>
Sent: Tuesday, May 9, 2023 3:22 PM
To: Brown, Matthew L.
Subject: Purposed Storage Facility on Walnut St Plain Township

Hello,

Has a resident in the area I wanted to express my opinion and concern on the new proposed Storage facility on Walnut and Schleppi in the Plain Township/ New Albany area. I am very opposed to this business for many reasons.

Increase in traffic – Over 500 units of storage is going to bring even more traffic to a 2-lane road with no sidewalks. Not to mention large motor homes and boat trailers on this small two land road by a elementary school. The current facility has very few customers.

Currently there are already traffic problems with the existing school and the school has more offices and buildings going in this area of Walnut. The Taylor Estates neighborhood and other traffic can not travel East on Walnut St. several times a day due to school drop off and pick up. The two lane road is very congested and we see people driving in the wrong lane to try and get around the traffic. This is not safe in a school area with all the children. It will be hard for nearby houses to see around the Storage structure to safely leave their driveways.

Once the new roundabout goes in on 605 and Walnut, we will see increase traffic from Johnstown and Intel on Walnut. Route 161 is has not started the expansion for all of the business in that area. Many workers will cut down side streets trying to avoid the 161 congestion. There are several major businesses going in the area, the construction workers of those businesses are already creating extra traffic. We have many dump trucks going down Walnut now. Our small neighborhood cannot handle the traffic from any additional business.

Increase in crime – I personally have been to storage units around town to buy things from people. There are numerous people who buy and sell out of storage units. Some of the merchandise is overstock and returns that resellers purchase, some storage renters selling extra things they don't need and other items are stolen items being resold. I don't feel we need additional unknown people, who don't live in the area around our neighborhood and Corner Stone school children. I am truly worried about the type of people this business will attract to our children. Corner Stone has no fencing to keep people away from the children. In fact, the only grassy area for the kids to play is very close to Walnut St.

Noise – Along with additional traffic comes traffic noise and noise from the people at their storage units. People will clean up their boats and RV's with loud music while drinking, we currently experience this behavior now but this will add 500 times the amount of people making noise and holding makeshift after parties. People will go through their belongings, boxes etc at their units creating trash and noise for the neighbors.

Lighting – We moved to the country to get away from light and noise pollution. It is not fair for someone to come in and take it from us. We moved to a neighborhood that we thought the Rocky Fork accord would protect our best interest and maintain our small-town atmosphere. I will be very nervous every time the brighter motion sensor light goes off, not being able to see who is lurking around. I have known two homeless men who lived out of their units. They would normally leave during the day and sneak in at night. I promise you I am not making these stories up; they are the truth. I am related to one. One reason I live here is because I have lived in other neighborhoods that were once nice and have declined. We are only serviced by the Sheriff who has lots of area to cover.

Environmental worries – I also worry about my water well and environment in general with the "incapsulating" process. Stirring up the area without removing the contamination will surely leak into our wells and airborne. I have heard of many incidences where neighborhoods and schools were built on land and the surrounding land "cleaned" then years later have an impact of unexplained cancers and sickness, Especially in children. A few examples are Marion Ohio, River Valley school and Whirlpool Park in Sandusky. The past construction on that property has already flooded the area, extending several houses around the property. With the increase in elevation and additional blacktop we will all be flooded, unable to use

our yards or grow vegetation. Not to mention the fire aspect. That small retention pond will do nothing for a fire at that facility and fire will spread to landscape etc. The facility will have a well and a garden hose to put out a fire.

There are several store facilities in and being built in the area. Most of these have at least 3 lanes to handle additional traffic and are in business areas. There is land over by Atena that already has 4 lanes to handle increase of traffic safely. There is land behind CVS that can be developed. Both are much larger, and I feel more suited for this type of business, they are not in the middle of a residential area. On Walnut this will be a very cramped eyesore.

I do not believe this development fits with the current Rocky Folk accords guidelines to protect the rural area and contain rate of growth. New Albany/Plain township modern but rural-like setting is much of its appeal. With this development and a lot of additional development in New Albany about to take place we will become like many other suburbs, overcrowded, overrun and crime ridden. Many of these neighborhoods and areas were wonderful in their day but development and business have stolen their peacefulness and deteriorated the neighborhoods and home values. We must think about the future rather than the money to be made now or we will have the same fate. I fail to understand how we can have regulations as to one house per $\frac{1}{4}$ or $\frac{1}{2}$ acre but allow this type of blacktop, 500 unit building to be placed in this area.

I respectfully ask you to consider, really think about if this was going next to your home, in your neighborhood and Vote NO. You may not have a direct vote on this proposal but I am asking you to use your office and your influence to speak out against the proposal. I am not against growth but we also need to keep some of what brought us all to this area. I attended the last township meeting but unable to attend the next because of kids sports nor the Franklin county because of work. Please do not take my absences as compliance.

Respectfully,
Vicky Meyer

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This email originated from an email address that is outside of the county network. Do not click links or open attachments unless you recognize the sender and know the content is safe.

From: russ.figley@reagan.com
To: JillBeckettHill@plaintownship.org; KerriMollard@plaintownship.org; dferguson@plaintownship.org; mayor@newalbanyohio.org; mdurik@newalbanyohio.org; cfellows@newalbanyohio.org; kkist@newalbanyohio.org; awilttrout@newalbanyohio.org; Duemmel, Marcus N.; Morris, David J.; Brown, Matthew L.; whebble@franklincountyengineer.org; mbrisk@newalbanyohio.org; cfellows@newalbanyohio.org; mshull@newalbanyohio.org
Subject: STOP -Storage Facility 500+ units on Walnut Street
Date: Wednesday, May 10, 2023 9:55:33 AM

To all:

Please consider the following.

As you probably know, Plain Township is considering a zoning change from rural to commercial at Walnut and Schleppi Rd. The proposal would allow a 500+ Storage Facility to be built on the property that is currently zoned rural.

Many issues would result from this change and added business.

Traffic to an already congested two lane road. A round-about will soon be constructed which will increase traffic from Intel and the many other businesses to the East. ODOT has not yet started the SR 161 widening project and many construction vehicles are using side streets.

Safety of the children. There is no barrier between the school and neighborhood children from Walnut. Traffic and strangers are not a welcome addition to this area.

Environmental concerns. That area has been contaminated by underground fuel tanks. The storage facility plans to encapsulate and not remove the contamination. This type of disturbance has us worried for our wells and air. All of the surrounding homeowners have wells. Areas like Whirlpool Park in Marion, Ohio Valley schools have all been built on "cleaned" contaminated property and had an increase in leukemia and other cancers.

There are currently restrictions if housing is built in this area, there must be one acre per house. How does a 500+ storage unit facility fit those regulations? It would seem that the deep pockets of this business have swayed officials.

The area and the surrounding homes currently have flooded basements, backyards, and garages in heavy rainfall from the small bit of blacktop done to the existing property. Blacktopping this entire area will only exasperate the problem. The homeowners will be left with a mess from our wealthy neighbor of the storage facility and no help or recourse. The land currently is mostly a field with several wetlands.

Clientele and strangers to the neighborhood. Many people store and sell items out of their storage units. This will bring people, some may not be law abiding, to the neighborhood and surrounding school. This area is serviced by the Sheriff who has a lot of territory to cover. The property currently stores a few boats and RVs on a small blacktop area. There are makeshift parties of drinking and loud music from the people storing these. This facility would increase that significantly.

Light and traffic pollution to our small neighborhood. With additional motion sensor flood/spot lights being set off at all hours of the night.

We do not believe that this structure is in keeping with the Rocky Fork Accord to preserve and limit business growth of our rural areas. Please protect our future and homes by speaking out against this proposal. New Albany is bursting at the seams with new development. Big Business should be contained to the business parks and not the residential and quickly diminishing green space surrounding New Albany.

If you do not have vote on this, please use your position and voice to speak out against it.

Thank you for you time and consideration.

Sincerely,
Russell Figley
6184 Alice Drive
Westerville, OH 43081

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This email originated from an email address that is outside of the county network. Do not click links or open attachments unless you recognize the sender and know the content is safe.

May 10, 2023

To Whom it may concern:



We are writing this letter in opposition to the proposed Storage facility being considered for Walnut Street. We have lived on Alice Drive for 34 years. We understand change and can embrace it when it makes sense. The storage facility does not make ANY SENSE. Here are several reasons for our opposition:

1. Increased traffic on a two-lane road. The estimate is 160 more cars a day. Route 161 is already congested and will only get worse with the Intel traffic. Walnut will become an alternate route. There are no fences or barriers from where kids play on the grass at the school right on walnut.
2. The potential for increased crime. We are only serviced by Franklin County Sheriffs, who already have too large of an area to service. People selling out of their units will bring undesirable clientele to the area. With 24-hour access there could be activity at any hour of the day. We do not want lights and motion light to pollute our neighborhood. When lights go off, we will never know who is lurking around the units.
3. Environmental reasons include flooding and contamination of our wells. There is already a flooding issue and will only get worse with all the blacktops. Other supposedly "Cleaned" areas around Ohio, like areas like Marion OH Valley Schools and Whirlpool were built on contaminated land resulting in an increase in Leukemia and other cancers in Children.
4. There are plenty of other options where these units could be built in the new Albany area. There is land in front of the Aetna building that has 4 lanes. It is in a business park NOT in a neighborhood! There is also land behind CVS.
5. There will be over 500 units and dry landscape. Even though a pond has been approved by Plain Township Fire Department, I do not believe it is sufficient in case of a fire. Not to mention the units have no plan for a sprinkling system. Is that even up to fire code?
6. I believe, current regulations are one house per 1/2 acre. How can this type of footprint with a 500-unit building be placed in this small residential area. I do not believe this development fits the current Rocky Fork accords guidelines to protect the rural area and contain the rate of growth.

This is not typical commercial property. The Majority is fields with several wetlands. If you do not have a vote on this issue, we ask that you use your voice and position to speak out against this proposed development.

Thank you for taking this time to read this letter.

Warm Regards,

 and

 Tim & MerryLea Goodrich
 6032 Alice Drive
 Westerville, OH 43081

From: [Brett Santantonio](#)
Subject: 6202 Walnut Street Rezoning Application
Date: Wednesday, May 10, 2023 9:03:53 AM

I am reaching out to you to voice my opposition and concern over the proposed rezoning of 6202 Walnut St. in Plain Township Ohio. Aside from going away from the rural appeal of this area there are multiple concerns regarding the proposed plan.

~Water~

In the past when there was a treatment plan at the west end of Taylor Estates, neighbors reported issues with the sewer system backing up into homes down near the plant due to capacity issues. Subsequently the treatment plant was removed and a pumping station put in its place. What corrective remedies will they be obligated to if after construction this system is negatively affected and causes these issues to arise again?

At some point in 2019 the existing parking lot at 6202 Walnut was expanded thus altering water shedding in this area. Since then neighbors have reported flooding and ponding water in the yards of the residences along the west side of this property. At the last meeting regarding this zoning change, 6146 Walnut St. reported “every time it rains my garage floods”. Further adding to this issue will be the encapsulation of contaminated soil. Doing so will increase the height of the final grade of that property and cause more runoff over into the residential homes. Although encapsulation provides minimum standards to handle the soil issues, why not go above and beyond and have it removed. Doing so would allow the design plans to be flipped and allow for the proposed pond and extended green space to be placed along the west elevation where the residences are. This would be a benefit from two perspectives. First it would create a low point along the west elevation of the property along the neighborhood to promote drainage away from residences rather than towards them. Secondly it would create more of a natural buffer between the proposed business and an already existing neighborhood.

The residents along Walnut and Taylor Estates domestic drinking water are supplied through wells and contamination is a concern. What measures are being taken to ensure they will remain unaffected during construction and subsequent business activity? Also, in the drawings submitted, it appears there are three water wells located on 6202 Walnut property. Are there any requirements they must follow to ensure they are properly abandoned?

The proposed retention pond for this property should have a definitive plan for insect control. The pond will not be small and will be standing water most all the time versus a natural flowing creek. There should be a required abatement plan for maintenance, cleanliness and insect control. Although it should help with storm drain issues it will attract mosquitoes, which would impair the use and enjoyment of our outdoor spaces.

~Height of Structures~

The tallest structure proposed is approximately 40-foot-tall at its highest point and this is by far the tallest structure in the immediate area. It basically puts a 40-foot metal wall with additional structures throughout the property ranging in height (20’ enclosed buildings and 17’–18’ open storage structures) all up against a residential neighborhood. This affects the aesthetics of the neighborhood with having only proposed a limited privacy barrier. On the west elevation is an 8-foot chain link fencing along with an earthen privacy barrier. The earthen barrier consists of sporadic 3-foot mounds and mostly deciduous plant life ranging in height from 3 to 6-foot tall, and some sparse 6-foot tall evergreens. With the height of structures anywhere from 16 to 40-foot-tall, they are only proposing sporadic seasonal 8 to 9

feet of privacy coverage. To create the privacy of the neighborhood, at least propose an 8' privacy fence for year-round privacy along. Plus, Given the height of the structures and light fixtures mounted near the top of most structures, coupled with the sparse privacy coverage around the facility, light bleeding over will be an issue affecting all properties around the facility. The earthen detail only exists on the western elevation and is not proposed on the northern park elevation and eastern private land elevation of this design. Should it be considered for those elevations as well? Is an 8-foot privacy fence and the greenery proposed enough to keep the light from bleeding over into all of the adjoining properties?

~Rural~

According to the Rocky Fork – Blacklick Accord community plan update 2003.

Park Zone

The area north of Walnut Street has been designated as the Park Zone. Creation of a Metro Park is the primary goal within this area. Extensive discussions have occurred as part of this update process to make the park a reality. Cooperation between Metro Parks officials, the city of Columbus, the village of New Albany and Plain Township has been instrumental in the progress made on this noteworthy effort. The Metro Park will be established within a significant portion of this 2800-acre Park Zone, with a current goal of 1200 acres for the eventual park size.

The majority of this Park Zone was Rural Residential under the previous Accord land use plan and also included the 350-acre North Village. The standards place this entire area, other than current parkland, into the Rural Residential development standards for purposes of any future development. The Metro Park will not utilize all the land in the Park Zone and will be located only where willing sellers come to terms with the Metro Parks, so the exact location of the park cannot currently be determined. Due to this, the Rural Residential standards of development including a limit of 1 unit to the acre will be left in place underlying this entire Park Zone.

Are these standards in bold being held to regarding this proposed rezoning request?

Thank you,
Brett Santantonio
6200 Alice Dr.

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STAFF REPORT

Planning Commission
June 14, 2023

Case ZON-23-04

Prepared by: Matt Brown

Owner:	U.S. Bank National Association
Applicant:	Westside Seniors Center LLC
Township:	Franklin Township
Site:	4200 Shoppers Ln. (PID #140-003166)
Acreage:	0.976-acres
Utilities:	Public water and wastewater
Request:	Requesting to rezone from the General Industrial (GI) district to the Community Service (CS) district.

Summary

The applicant is requesting a rezoning from the General Industrial (GI) district to the Community Service (CS) district to allow for the redevelopment of a vacant site. The request is consistent with recommendations of the Westland Area Interim Development Framework. Staff recommends *approval*.

Request

The site is located on the north side of Shoppers Lane, between Nationwide Boulevard and Georgesville Road, in Franklin Township. The site is developed with a bank that was constructed in 1963.

The applicant desires to repurpose the existing building as a senior activity center which is a permitted use in the Community Service district. The site has two existing access drives, one each from Shoppers Lane and Nationwide Boulevard. Shoppers Lane is included in an ingress/egress easement providing access to the site to Georgesville Road. If the rezoning is approved, the site may be used for any permitted use in the Community Service (CS) district that complies with the applicable development standards.

Surrounding Land Use/Zoning

The subject site is the second to last property in and immediately around the former Westland Mall to seek a rezoning from the General Industrial (GI) district to the Community Service (CS) district. A total of five rezonings have been approved between 2010 and 2020 for properties in this area to rezone to the Community Service district. Directly to the east is a small retail building and bank. To the north is a retail shopping center and to the west and south is the vacant Westland Mall.

Comprehensive Plan

The Westland Area Interim Development Framework, adopted in 2010, contains a Future Land Use Map and Development Principals that recommend this property for a full range of commercial and multi-family residential uses. Corresponding zoning districts include: Suburban Apartment Residential (R-24), Suburban Office (SO), Neighborhood Commercial (NC), Community Commercial (CC), and Community Service (CS) districts.

The requested zoning district is consistent with the Plan's future land use recommendation and Development Principals.

Staff Analysis

Existing zoning – General Industrial:

The General Industrial (GI) district is provided for heavy manufacturing and extensive industrial uses not provided for in other industrial zoning districts. These industrial uses generally require large sites and a total range of services and facilities, including appropriate access to highly developed and integrated transportation facilities. These industries typically operate from enclosed structures, but often have large open storage and service areas where some part of the production process may take place.

Proposed zoning – Community Service:

The Community Service (CS) district is provided for large item commercial sales, service and repair establishments. The trade area population served by these establishments require easy access to major traffic routes. The Community Service district is the most intense commercial zoning district and allows for all uses permitted in the Suburban Office (SO), Neighborhood Commercial (NC) and Community Commercial (CC) districts.

Development Standards

- *Lot Size*- No minimum, except for automobile retailers which require one (1) acre.
- *Lot Width*- No minimum, except for automobile retailers which require 200 feet.
- *Landscaped Open Space*- 20% of the total lot area.
- *Side Yard*- $\frac{1}{4}$ the sum of the height and width of the structure or 25 feet, whichever is greater. Ten (10) feet when adjacent to another commercial district.
- *Rear Yard*- $\frac{1}{4}$ the sum of the height and width of the structure or 25 feet, whichever is greater.
- *Front Green Belt*- 15 feet wide, between the street right-of-way line and any paved area.

Technical Agency Review:

Indicated no concerns with the proposed rezoning. The Franklin County Sanitary Engineering Department has confirmed that the site has both public water and sewer service.

Staff Review

The proposed rezoning keeps with the land use recommendation of the adopted comprehensive plan and meets the intent of the Community Service (CS) district by allowing for a wide range of services to the community.

Staff believes that the proposed rezoning advances the general health, safety and welfare of the public by encouraging appropriate use and development of the land affected and the overall development of the surrounding area.

Staff Recommendation




Staff recommends approval of the request to rezone from the General Industrial (GI) district to the Community Service (CS) district.

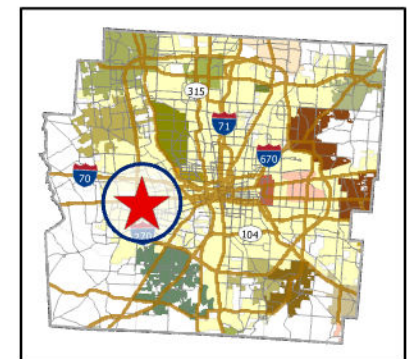


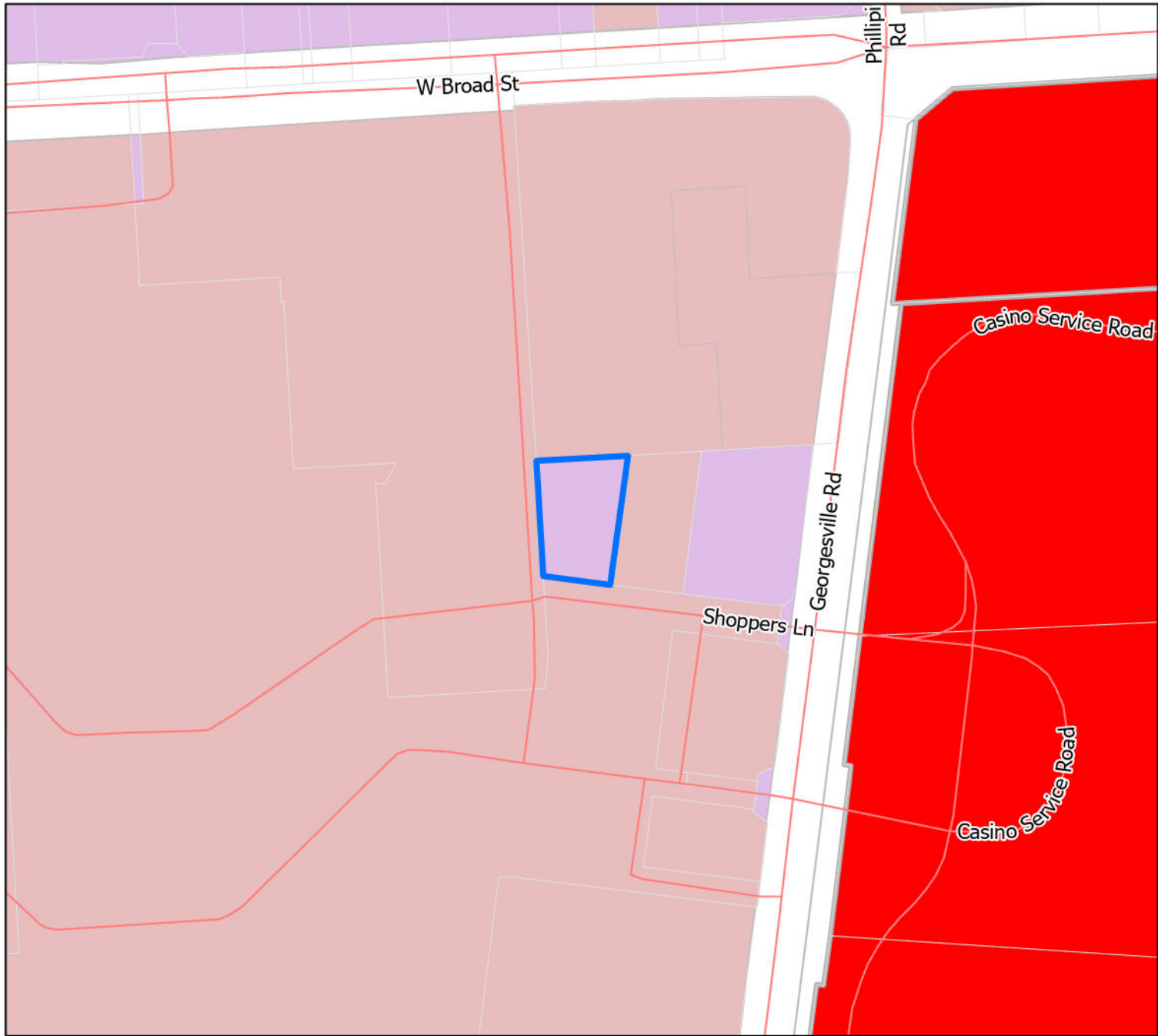
ZON-23-04

Requesting to Rezone from the General Industrial (GI) District to the Community Service (CS) District.

Acres: 0.976-acres
Township: Franklin Township

-  Parcels
-  PID 140-003166
-  Streets





ZON-23-04

Requesting to Rezone from the General Industrial (GI) District to the Community Service (CS) District.

Acres: 0.976-acres
Township: Franklin Township

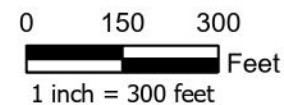
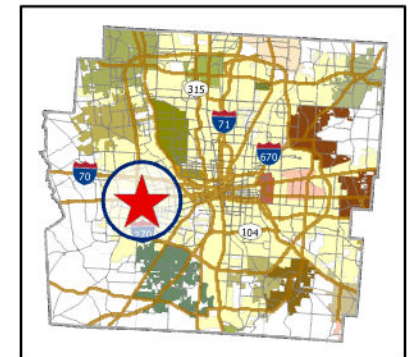
- Streets
- PID 140-003166
- Parcels

Zoning - County

- Community Service
- General Industrial
- Rural

Columbus Zoning Districts

- Commercial



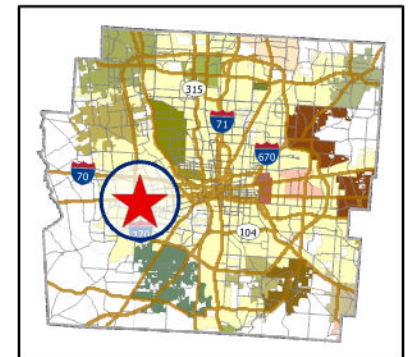


ZON-23-04

Requesting to Rezone from the General Industrial (GI) District to the Community Service (CS) District.

Acres: 0.976-acres
Township: Franklin Township

- Streets
- ▭ Parcels
- ▭ PID 140-003166





Franklin County
Board of Commissioners

**ECONOMIC DEVELOPMENT
& PLANNING**

Economic Development & Planning Department
James Schimmer, Director

Application for
Rezoning
Page 1



Property Information

Site Address:
4200 Shoppers Lane, Columbus, OH

Parcel ID(s):
140-003166-00

Total Acreage:
.976

Township:
Franklin

Property Description

Acres to be rezoned:
.976

Current Land Use:
Bank

Surrounding Land Uses:

North	Community Service w/ Smart Growth Overlay
South	Community Service w/ Smart Growth Overlay & Community Service
East	Community Service & General Industrial w/ Smart Growth Overlay
West	Community Service w/ Smart Growth Overlay

Rezoning Request

Current Zoning: General Industrial

Proposed Zoning: Community Service (CS)

Proposed Land Use: 83 - Social Services (Senior Activity Center)

Purpose for Request:

See attached Exhibit A

Staff Use Only

Case #
ZON-23-04

Date Filed: 4/14/2023

Fee Paid: \$1,000

Receipt # 23-01426

Received By: Matt

Technical Review Date: 3/25/2023

Big Darby Panel Date: N/A

Planning Commission Date: 5/10/2023

Rural Zoning Commission Date: 5/18/2023

Commissioners Date: 6/13/2023

Checklist

- Fee Payment (checks only)
- Completed Application
- Notarized Affidavit
- Legal description of property
- Location/Area map
- Water/Wastewater Information
- Development Plan (if a planned district request)

Water & Wastewater

Water Supply

- Public (Central)
- Private (On-site)
- Other

Wastewater Treatment

- Public (Central)
- Private (On-site)
- Other



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Rezoning Page 2



Property Owner Information

Name: U.S. Bank National Association

Address: Attn: Corporate Real Estate

800 Nicollet Mall, BC-MN-H15F

Minneapolis, MN 55402

Phone # 612-303-0816

Fax #

Email: alex.dalessandro@usbank.com

Applicant Information

Same as property owner

Name: Westside Seniors Center LLC

Address: C/O Northwest Law

Curtis H. Knapp, Esq.

1160 Dublin Road, Ste. 500

Columbus, OH 43215

Phone # 614-610-9918

Fax # 866-244-1335

Email: curt@nothwest.law




Signatures

To the best of my/our knowledge and belief, information and materials submitted as a part of this Rezoning application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes. I/we understand that delays or tablings may impact the hearing schedule.



 Applicant
 Westside Seniors Center LLC
 By: Curtis H. Knapp, Authorized Agent

 Date
 4/12/2023



 Property Owner (Signature must be notarized)
 U.S. Bank National Association
 By: Alexander D'Alessandro
 Its: AVP - TRANSACTIONS MANAGER

 Date
 4-12-23

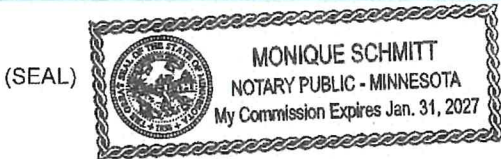
Property Owner (Signature must be notarized)


_____ Date

ACKNOWLEDGMENT
(Jurat)

State of Minnesota)
 County of Hennepin)

The foregoing as acknowledged, sworn to and subscribed in my presence this 12 day of April, 2023, by
Alex D'Alessandro, the AVP of U.S. Bank National Association.





 Notary Public
 My commission expires: 1/31/2027

Recommendation: Re-Zone to Community Service District (CS)

The Applicant is asking that the County re-zone this parcel to from General Industrial ("GI") to Community Service ("CS") District. The purpose of the CS district is to provide varied types of services to the larger community area and our senior activity center conforms to the purpose of the CS district. A senior activity center falls under the Social Services use which is a permitted use in CS and will not require a conditional use permit. Each of the adjoining parcels are currently zoned CS and updating the zoning for the subject parcel will provide a contiguous and uniform zoning district.

The Applicant intends to repurpose the subject property from a bank building into a senior activity center under the Social Services use 83. The center will offer seniors in the community a place to go during the day where they can participate in recreational and social activities and obtain information about other senior services within the community. The subject property is 1 mile south of W. Broad and Interstate 270 and is situated on a corner lot with easy access to major traffic routes. The property is centrally located and accessible to whole community.

As explained below, the other available zoning options within the commercial zoning districts do not encompass the proposed use of the property:

The intention of Suburban Office zoning is to separate this zone from concentrations of people and the traffic of retail, wholesale, and industrial areas. Suburban locations near residential neighborhoods or rural countryside are the desired locations for uses. The subject property is surrounded by commercial use properties, traffic, retail establishments, and is presently zoned General Industrial. The location of the subject property is not in an area where Suburban Office zoning is desired or appropriate.

The Neighborhood Commercial District is intended to encourage small retail in residential neighborhoods. The subject property is situated in a large commercial area not a residential neighborhood. Additionally, the proposed use of the subject property is not retail in nature.

The subject property is not ideal for the Community Commercial District. The surrounding parcels are zoned Community Service and changing this one parcel to CC would detract from the overall intended use of the surrounding mall and development area.

As can be seen from the attached survey, the subject property meets the required set-backs necessary to support the CS zoning classification, including the required greenspace. Likewise, the building is a single story building, thereby meeting the necessary height limitation of 40 feet. There are no specific parking requirements established for a social services use within a CS zoning district; however, the development standards for any CS district use not specifically delineated is one (1) parking space for each two hundred fifty (250) square feet of gross floor area. The building is shown as containing 3,032 square feet, thereby necessitating 13 parking spaces. The aerial photograph of the subject property shows that the site has 13 parking spaces.

In summary, the current GI zoning classification for the subject property does not support the Applicant's proposed use for the site. Not only does the CS district support the proposed use, but a rezoning of the subject property to a CS classification would bring the subject property into conformity with the zoning of the surrounding properties. A rezoning of the subject property to Community Service classification is appropriate.



Franklin County
Board of Commissioners

**SANITARY
ENGINEERING**

20N-23-04

RECEIVED

APR 14 2023

Franklin County Planning Department
Franklin County, OH

Franklin County Economic Development
Planning and Zoning
150 South Front Street #10
Columbus, Ohio 43215

Re: Water and sewer services to 4200 Shoppers Lane

To Whom It May Concern:

The service address 4200 Shoppers Lane, parcel ID 140-003166-00, is within our Sanitary District #4 service area, and therefore, our department provides both the water and sewer services for this site. In fact, this site is within our billing system and has a long history with our department in providing water and sewer services.

Please let me know if you have any questions about this service address.

Thank you,

Stephen A. Renner

Director

Cc: Ryan Stowe, PE, Engineering and Compliance
Andres Flaker, Utility Account Supervisor



STAFF REPORT

Planning Commission
June 14, 2023

Case: ZON-23-05
Prepared by: Matt Brown

Owner:	AHB Transportation, LLC.
Applicant:	Shremshock Architects – David Blair
Township:	Mifflin Township
Location:	3505 Westerville Rd. (PID #190-000089)
Acreage:	2.03-acres
Utilities:	Public water and sewer
Request:	Requesting to rezone from the Select Commercial Planned District (SCPD) to the Community Commercial (CC) District.

Summary

The applicant is requesting a rezoning from the Select Commercial Planned (SCPD) District to the Community Commercial (CC) District. The request does not keep with the recommendations of the adopted Clinton-Mifflin Land Use Plan or advance the general health, safety and welfare of the public. Staff recommends ***denial***.

History

The applicant’s property at 3505 Westerville Road contains an existing 1,680 square foot single-family home and a 1,920 square foot accessory building that was built in 1995. The applicant purchased the property in 2020. The site’s current Select Commercial Planned District zoning was approved in 2010 to allow the operation of a transportation business with the existing home used as an office and the accessory building for storage. The approved development text and plan identified a no disturb area at the rear of the property in order to protect an existing wetland on the site. At some time between 2019 and 2021 the rear of the site was cleared of vegetation in violation of the approved zoning. The site has also been operating as a semi-truck parking facility and with a retail truck parts business, both as violations to the existing SCPD zoning.

The applicant applied for a modification to the SCPD district in 2022 to remedy the above referenced violations and allow the site to be used for semi-tractor parking, truck tractor repair services, parts sales, and all uses permitted in the Limited Industrial district. The rezoning case was ultimately withdrawn by the applicant.

Request

The subject site is located on the west side of Westerville Road, just north of Innis Road in Mifflin Township. The applicant is requesting to rezone the property from the Select Commercial Planned District to the Community Commercial (CC) district with the intention of developing the site with an indoor soccer facility for a recreational soccer club. The site has one existing access drive to Westerville Road. If approved, the site will be able to be used for any uses permitted in the Community Commercial district provided development standards are satisfied.

Surrounding Land Use/Zoning

An adjacent property to the north and the property to the east are zoned Rural in Mifflin Township and developed with low-density single-family residential uses. An adjacent property to the north and the

property to the west and south are zoned Manufacturing in the City of Columbus. The property to the north is developed with an AMVETS Post and a landscaping service use. The property to the south is developed with a tractor trailer surface parking lot.

Comprehensive Plan

The Clinton-Mifflin Land Use Plan, adopted in 2009 contains a Future Land Use Map that recommends the site for light industrial and office uses. Corresponding zoning districts include the Suburban Office and Institutional (SO), Limited Industrial (LI) and Restricted Industrial (RI) districts.

The proposed rezoning to the Community Commercial (CC) district does not keep with the Plan's land use recommendation for the site.

Staff Analysis

Community Commercial District

The Community Commercial District is intended to encourage the concentration of a broad range of individual commercial establishments which constitute an area of general commercial activity. A Community Commercial District should be centrally located and accessible to the population served, and will normally be developed at the intersection of thoroughfares at distances one or more miles apart.

Permitted Uses

The Community Commercial district allows for all uses permitted in the Suburban Office and Institutional district which are generally administrative, professional, institutional, and business offices uses and in the Neighborhood Commercial district which includes uses such as retail stores, personal services, and eating and drinking establishments. In addition to the above uses, the Community Commercial district allows for uses such as landscape services, taxi cab service, building and garden supply stores, gasoline service stations, automotive rental, parking, repair, and towing services, and Amusement and Recreation services which includes membership based sports clubs.

Development Standards

- *Minimum Lot Size*- No minimum however lot size shall be adequate to provide the yard space required.
- *Minimum Lot Width*- No minimum however all lot shall abut a street and have adequate width to provide the yard space required.
- *Minimum Side Yard*-
 - Adjacent to a residential or planned commercial district, one-fourth the sum of the height and length of the wall most nearly parallel to the side lot line. In no case shall the setback be less than 15 feet.
 - Adjacent to another commercial district, the side yard shall be at least 10 feet unless fireproof walls of adjacent buildings are attached, in which case no side yard is required.
- *Minimum Rear Yard*- Adjacent to a Residential or Planned Residential Districts: One-fourth the sum of the height and width of the building, except when adjacent to a dedicated alley of not less than 20 feet.
- *Front Green Belt*- A landscaped area of at least 15 feet shall be provided between the street right-of-way line and any structure or paved area.
- *Minimum Front Building Setback*- Structures must be setback 120 feet from the Westerville Road street centerline.
- *Minimum Landscaped Open Space*- 15 percent of the lot area.
- *Maximum Building Height*- 40 feet
- *Screening of Exterior Storage*- As required by Section 521- Screening and Buffering

Smart Growth Overlay:

Staff notes that if the site is rezoned from the Select Commercial Planned District to the Community Commercial district, any new development on the site must comply with the Smart Growth Overlay (SGO) standards.

Technical Agency Review:

Franklin County Drainage Engineer's Office

Any site development will need to comply with the Franklin County Stormwater Drainage Manual.

Franklin County Engineer's Office

A sidewalk 5 feet in width should be installed along the property's frontage of Westerville Road.

Franklin Soil and Water Conservation District

Maintaining drainage and existing wetland impacts will be a key component of further development of this site.

Franklin County Economic Development and Planning

The City of Columbus did not provide review comments however the city is responsible for approving access in this section of Westerville Road and Columbus will need to approve access prior to any site development.

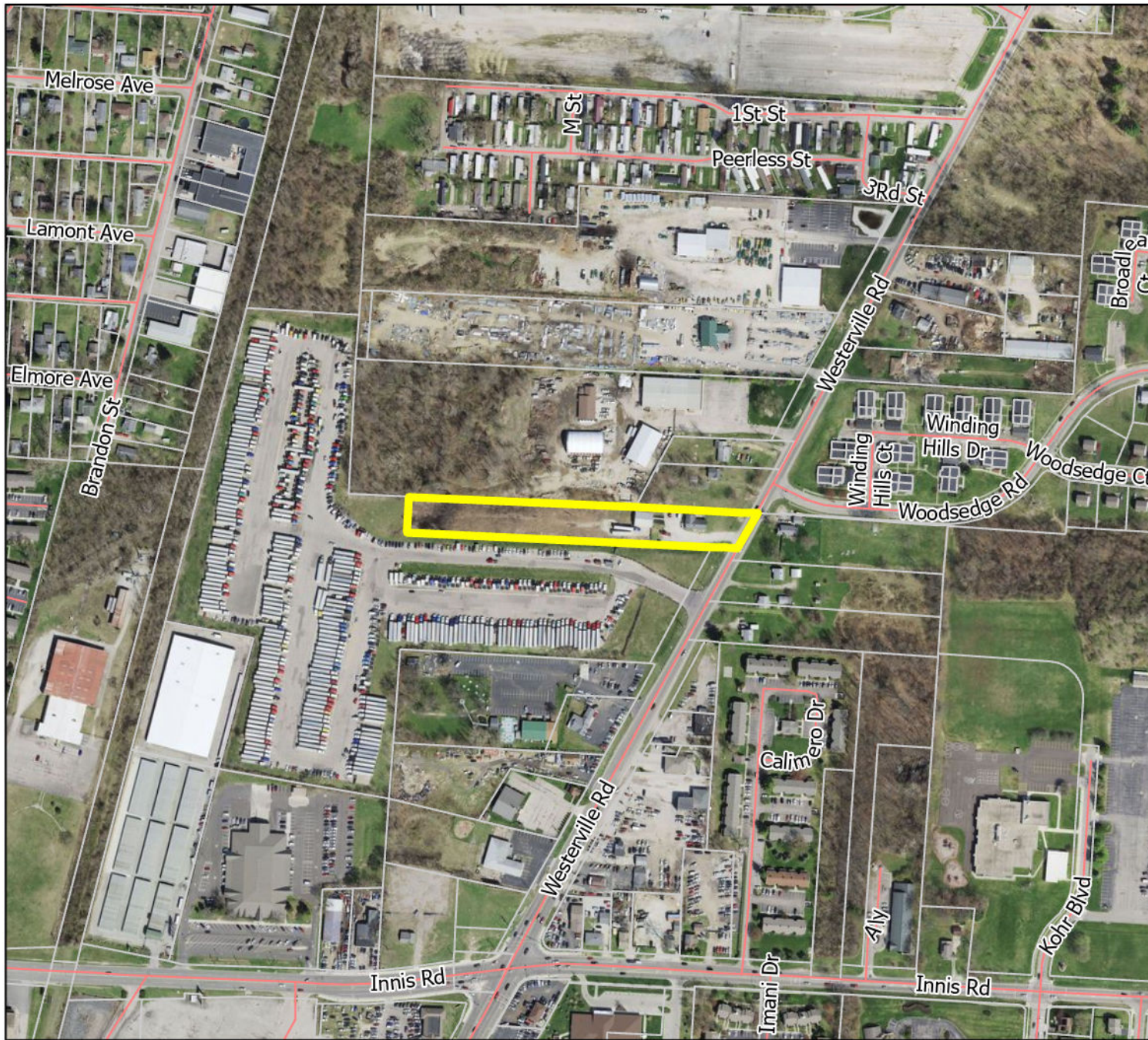
Staff Review

The proposed rezoning to the Community Commercial district will allow land uses that do not keep with the land use recommendations of the adopted Plan and the site location does not keep with the intention of the Community Commercial district which is to encourage the concentration of a broad range of individual commercial establishments which constitute an area of general commercial activity. The site is not in an area with an existing concentration of commercial establishments and it is not recommended for such in the future.

The proposed rezoning does not advance the general health, safety and welfare of the public as the proposal does not encourage the appropriate use and development of the property or the overall development of the surrounding area.

Recommendation


Based on Staff's analysis and review, Staff recommends **denial** of the proposed rezoning.

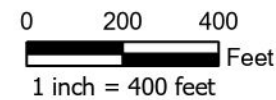
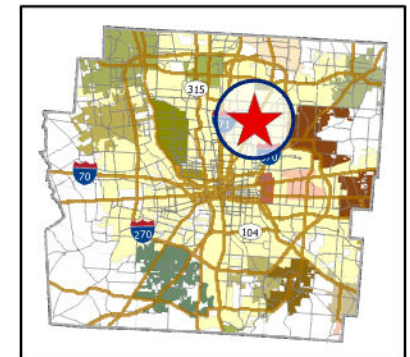


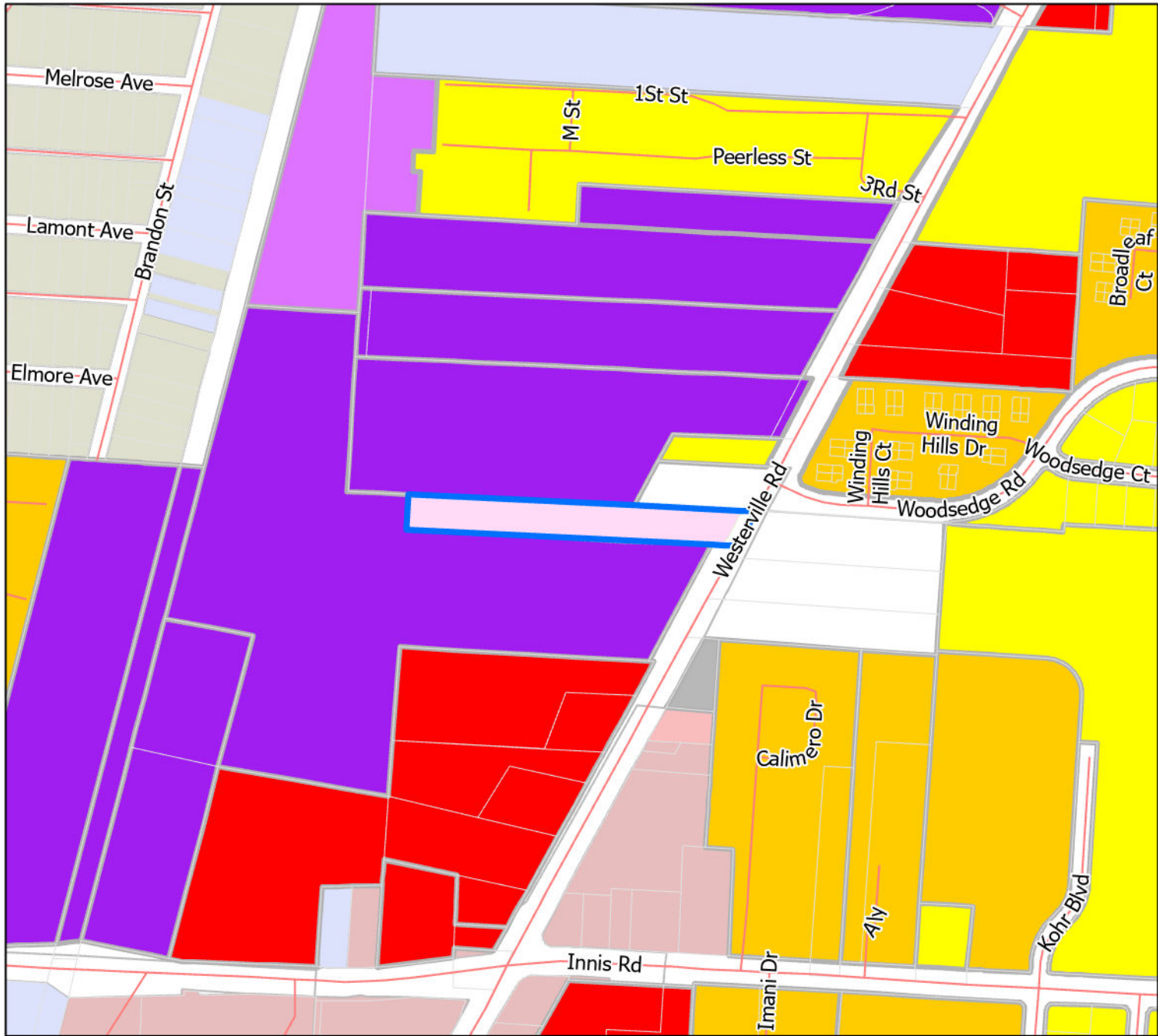
ZON-23-05

Requesting to Rezone from the Select Commercial Planned District (SCPD) to the Community Commercial (CC) District.

Acres: 2.030-acres
Township: Mifflin Township

-  Parcels
-  Streets
-  PID 190-000089



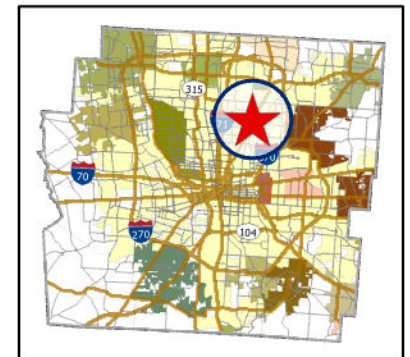


ZON-23-05

Requesting to Rezone from the Select Commercial Planned District (SCPD) to the Community Commercial (CC) District.

Acres: 2.030-acres
Township: Mifflin Township

- Streets
 - Parcels
 - PID 190-000089
- Zoning - County**
- Community Commercial
 - Community Service
 - Limited Industrial
 - Rural
 - Select Commercial Planned District
 - Urban Residential
- Columbus Zoning Districts**
- Commercial
 - Manufactured Home
 - Manufacturing
 - Multi-family
 - Parking
 - Residential



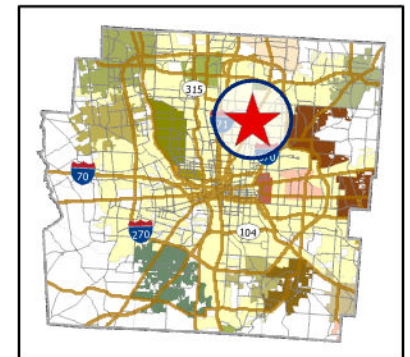


ZON-23-05

Requesting to Rezone from the Select Commercial Planned District (SCPD) to the Community Commercial (CC) District.

Acres: 2.030-acres
Township: Mifflin Township

-  Streets
-  Parcels
-  PID 190-000089





Franklin County
Board of Commissioners

**ECONOMIC DEVELOPMENT
& PLANNING**

Economic Development & Planning Department
James Schimmer, Director

Application for
Rezoning
Page 1



Property Information

Site Address: 3505 Westerville Road, Columbus, Ohio 43224

Parcel ID(s): 190-000089-00

Total Acreage: 2.03 Township: Mifflin

Property Description

Acres to be rezoned: 2.03

Current Land Use: Truck Part Sales

Surrounding Land Uses:

North	Manufacturing / Residential
South	Manufacturing
East	Residential
West	Manufacturing

Rezoning Request

Current Zoning: Select Commercial Planned District (SCPD)

Proposed Zoning: Community Commercial District (CC)

Proposed Land Use: Soccer recreation club

Purpose for Request: The applicant desires to rezone the site to allow for the building of a recreational sports complex with indoor soccer fields and related amenities.

Staff Use Only

Case # 20N-23-05

Date Filed: 4/11/2023

Fee Paid: \$1,200

Receipt # 23-01438

Received By: Math

Technical Review Date: 4/25/2023

Big Darby Panel Date: N/A

Planning Commission Date: 5/10/2023

Rural Zoning Commission Date: 5/18/2023

Commissioners Date: 6/13/2023

Checklist

- Fee Payment (checks only)
- Completed Application
- Notarized Affidavit
- Legal description of property
- Location/Area map
- Water/Wastewater Information
- Development Plan (if a planned district request)

Water & Wastewater

Water Supply

- Public (Central)
- Private (On-site)
- Other

Wastewater Treatment

- Public (Central)
- Private (On-site)
- Other

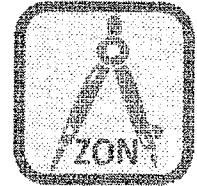


Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Rezoning Page 2



Property Owner Information

Name: AHB Transportation LLC

Address: 2872 Westerville Road, Columbus, Ohio 43224

Phone # 614-446-9304

Fax #

Email: AHBTRANSPORTATIONLLC@GMAIL.COM

Applicant Information

Name: Shremshock Architects, David Blair

Address: 7775 Walton Parkway

Suite 250

New Albany, Ohio 43054

Phone # 614-545-4550 x289

Fax #

Email: dblair@shremshock.com

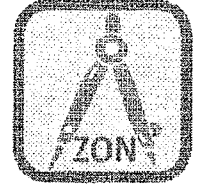


Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Rezoning Page 3




Signatures

To the best of my/our knowledge and belief, information and materials submitted as a part of this Rezoning application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes. I/we understand that delays or tablings may impact the hearing schedule.



Applicant

4-5-2023
Date

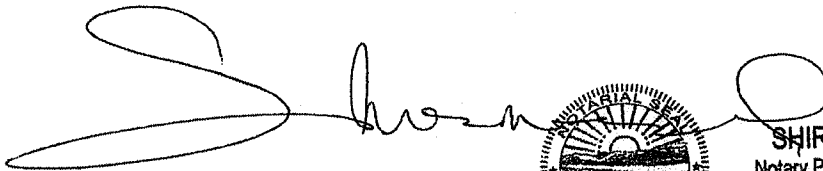


Property Owner (Signature must be notarized)

4/4/23
Date

Property Owner (Signature must be notarized)

Date





SHIRWA M ABDI
Notary Public, State of Ohio
My Commission Expires 01/19/2025

42 days of APRIL, 2023