



# Technical Review Committee Agenda

## Zoom Conference Meeting

(To participate: (929) 436-2866; Meeting ID: 911 3401 0004; Password: 471510)

Wednesday, September 26, 2023

1:30 p.m.

### 1. New Business

#### A. Planning Commission

##### i. 780-V&PP – Marcus Duemmel

<b>Owner:</b>	RHM Elliott, LLC. – Dick McCall & Will Cline
<b>Applicant:</b>	Harral & Stevenson – Craig E. Stevenson, PE, PS
<b>Engineer:</b>	George Schwitzer – Geo-Graphics, Inc.
<b>Township:</b>	Jackson Township
<b>Site:</b>	Borror Road (PID #160-000041)
<b>Acreage:</b>	29.186-acres
<b>Utilities:</b>	Private water and wastewater
<b>Request:</b>	Requesting a Variance from Section 501.05 and Section 501.13(A) of the Franklin County Subdivision Regulations to allow for lot lines greater than 5 degrees of perpendicular or radial to the street centerline and a dead-end street in excess of 1,000 feet. Requesting preliminary plan approval of a 7-lot single-family residential subdivision with 2 reserves.

##### ii. JACK-23-05 – Marcus Duemmel

<b>Owner/Applicant:</b>	Johnny & Tammy Jenkins
<b>Township:</b>	Jackson Township
<b>Site:</b>	5506 Harrisburg Pike (PID #160-003076)
<b>Acreage:</b>	10.569-acres
<b>Zoning:</b>	Semi Residential with Commercial Overlay
<b>Request:</b>	Requesting to rezone from semi residential with commercial overlay to light industrial.

##### iii. ZON-23-10 – Marcus Duemmel

<b>Owner/Applicant:</b>	Solid Waste Authority of Central Ohio
<b>Township:</b>	Jefferson Township
<b>Site:</b>	6435 Young Road (PID #230-000042), Young Road (PID #230-002931)
<b>Acreage:</b>	30.224-acres
<b>Utilities:</b>	Private water and wastewater
<b>Request:</b>	Requesting to rezone from the Rural and Exceptional Use district to the Select Commercial Planned District (SCPD) to allow for the use of a mobility practice area for a Commercial Driving License school.

**iv. ZON-23-11 – Marcus Duemmel**

<b>Owner/Applicant:</b>	Five Star Reality
<b>Agent:</b>	Northwest Law, LLC.
<b>Township:</b>	Franklin Township
<b>Site:</b>	1908 Brown Road (PID #140-004059)
<b>Acreage:</b>	1.140-acres
<b>Utilities:</b>	Public sewer
<b>Request:</b>	Requesting to rezone from the Rural District to the Limited Industrial (LI) District.

**B. Board of Zoning Appeals**

**i. VA-4082 – Kayla Johnson**

<b>Owner:</b>	Scott Dimpfl & Teresa Burns
<b>Applicant:</b>	Shawn Davis
<b>Township:</b>	Pleasant Township
<b>Site:</b>	4754 Opossum Run (PID#230-000913)
<b>Acreage:</b>	2.219-acres
<b>Utilities:</b>	Private water and wastewater
<b>Zoning:</b>	Rural (R)
<b>Request:</b>	Requesting a Variance from Section 650.162(a) and 650.162(b) of the Franklin County Zoning Resolution to allow the construction of additions to a home and garage and associated dredging and dumping in an area zoned Rural (R).

**2. Adjournment of Meeting to October 24, 2023**



# Application for Subdivision Variance

Page 1



### Property Information

Site Address: <b>Borror Road</b>	
Parcel ID(s): <b>160-000041</b>	
Total Acreage: <b>29.186</b>	Current Zoning: <b>S (Suburban Residential)</b>
Township: <b>Jackson Twp.</b>	Subdivision: <b>Pegasus Estates</b>

### Staff Use Only

Case #
Date Filed:
Fee Paid:
Receipt #
Hearing Date:
Received By:

### Requested Variances/Decision or Interpretation Appealed

Section Number(s) of the county subdivision regulations and a brief description of variance(s) requested:

Section	Description
501.05	Lot lines between lots 1 & 2 not between 5° of perpendicular to street
502.13(A)	Dead-End Street in Excess of 1000'. (1,377.06')
Section	Description

### The following shall govern the granting of the variance: (Provide explanation, use separate sheet if needed)

Is the variance detrimental to the public health or safety or is it injurious to other property?

Yes

No

Are the circumstances of the request unique to the property and not generally applicable to others?

Yes

No

501.05 - Lot line follows existing drainage swale/topography.  
502.13(A) - Extension of the proposed road provides possible future connectivity to property adjacent to the rear of the subject site. The proposed roadway in its entirety serves only seven lots with an option for tow existing lots to also use as access.

Due to physical surroundings, shape or characteristics of the property, would a hardship result, as distinguished from an inconvenience, if the strict letter of the Subdivision Regulations were enforced?

Yes

No

501.05 - Additional grading would be required to reroute drainage swale.  
502.13(A) - All of these lots are 1.9 acres or larger



Franklin County  
Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

# Application for Subdivision Variance

Page 2



### Property Owner Information

Name: RHM Elliot, LLC

Address: 5928 Haughn Road

Grove City, OH 43123

Contact: Dick McCall (cell: 614-571-4448)

Contact: Will Cline (cell: 614-332-5022)

Phone # 614-875-4448

Fax # 614-539-5119

Email: dickmccall9@gmail.com, will@samsexcavatingunlimited.com

### Engineer/Surveyor Information

Name: George Schweitzer

Address: Geo-Graphics Inc.

3331 Livingston Avenue

Columbus, OH 43227

Phone # 614-231-2016

Fax # 614-231-2018

Email: gschweitzer@geo-graphicsinc.com

### Applicant Information

Same as property owner

Same as engineer/surveyor

Name: Harral and Stevenson, Craig E. Stevenson, PE, PS

Address: 2869 North Court Street

Circleville, OH 43113

Phone # 740-497-4492

Fax #

Email: cstevenson@harralstevenson.com

### Water & Wastewater

#### Water Supply

Public (Central)

Private (On-site)

Other:

#### Wastewater Treatment

Public (Central)

Private (On-site)

Other:

### Checklist

Completed Application

Fee Payment (*checks only*)

Copy of denied application, if applicable

Site plan, max. size 11"x17"

Proof of Water/Wastewater





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Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

## Application for **Subdivision Variance** Page 3



### Applicant Signature

To the best of my/our knowledge and belief, information and materials submitted as a part of this Variance application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes.

\_\_\_\_\_  
Applicant

Craig E. Stevenson, PE, PS

\_\_\_\_\_  
Date

\_\_\_\_\_  
Engineer

\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner (Signature must be notarized)

RHM Elliot, LLC

\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner (Signature must be notarized)

\_\_\_\_\_  
Date



# Application for Subdivision Preliminary Plan

Page 1



### Property Information

Site Address: <b>Borror Road</b>	
Parcel ID(s): <b>160-000041</b>	
Total Acreage: <b>29.186</b>	Current Zoning: <b>S (Suburban Residential)</b>
Township: <b>Jackson Twp.</b>	School District: <b>Southwestern CSD</b>
Fire Department: <b>Jackson Twp. F.D.</b>	Police Department: <b>Franklin County Sheriff</b>

### Subdivision Proposal

#### General

Proposed Subdivision Name: **Pegasus Estates**

Total Number of Lots Proposed: <b>7</b>	Proposed Number of Phases: <b>1</b>
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Non-Residential Areas		Typical Lot Characteristics	
Reserve Areas:	<b>1.408</b> acres	Width:	<b>180'-350'</b> ft
Open Space:	acres	Depth:	<b>400'-800'</b> ft
Streets:	<b>2.545</b> acres	Typical Lot Area:	<b>4 @ 2 Ac, 3 @ 5Ac</b> acres

#### Roadways

Existing Access Roads	Proposed New Streets	Roadway Design	
<input type="checkbox"/> State	<input checked="" type="checkbox"/> Public	Will the subdivision have sidewalks?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<input type="checkbox"/> County	<input type="checkbox"/> Private		
<input checked="" type="checkbox"/> Township	<input type="checkbox"/> Both	Will the subdivision have curbs and gutters?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<input type="checkbox"/> Not Applicable	<input type="checkbox"/> Not Applicable		

#### Stormwater Infrastructure

<input checked="" type="checkbox"/> Public
<input type="checkbox"/> Private
<input type="checkbox"/> Other

#### Water & Wastewater

Water Supply	Wastewater Treatment
<input type="checkbox"/> Public (Central)	<input type="checkbox"/> Public (Central)
<input checked="" type="checkbox"/> Private (On-site)	<input checked="" type="checkbox"/> Private (On-site)
<input type="checkbox"/> Other	<input type="checkbox"/> Other

### Staff Use Only

Case #
Date Filed:
Fee Paid:
Receipt #
Received By:
Date Accepted/Rejected:
Planning Commission Date:

### Subdivision Variance Needed

Yes If yes, you must attach a Variance Application to the Preliminary Plan Application

No

\*Proposals requiring more than 3 variances must be heard at a separate meeting.

### Checklist

- Completed Application
- Fee Payment (*checks only*)
- Preliminary Plan - 5 Copies folded
- Preliminary Plan - One 11"x17"
- Electronic Copy in PDF and CAD
- Subdivider's Agreement & HOA Declaration



Franklin County  
Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

## Application for Subdivision Preliminary Plan Page 2



### Property Owner Information

Name: RHM Elliot, LLC

Address: 5928 Haughn Road

Grove City, OH 43123

Phone # 614-875-4448

Fax #

Email: dickmccall9@gmail.com

### Engineer/Surveyor Information

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Columbus, OH 43227

Phone # 614-231-2016

Fax # 614-231-2018

Email: gschweitzer@geo-graphicsinc.com

### Applicant Information

Same as property owner

Same as engineer/surveyor

Name: Harral and Stevenson, Craig E. Stevenson, PE, PS

Address: 2869 N Court Street

Circleville, OH 43113

Phone # 740-497-4432

Fax #

Email: cstevenson@harralstevenson.com



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# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

## Application for Subdivision Preliminary Plan Page 3



### Applicant Signature

The undersigned acknowledge/s this Preliminary Plan Application does not constitute a Subdivision Plat application and understands the filing deadlines and meeting schedules associated with this request. Approval of a Preliminary Plan does not constitute acceptance of any public improvements shown. Such acceptance can only be made in conjunction with the Final Plat requirements and procedures specified in the Franklin County Subdivision Regulations. The Subdivision Plat is not considered filed until a Final Plat application is submitted and accepted, in accordance with the Subdivision Regulations of Franklin County, Ohio.

To the best of my/our knowledge and belief, information and materials submitted as a part of this Preliminary Plan application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes.

\_\_\_\_\_  
Applicant

Craig E. Stevenson, PE, PS

\_\_\_\_\_  
Date

\_\_\_\_\_  
Engineer

\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner (Signature must be notarized)

RHM Elliot, LLC

\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner (Signature must be notarized)

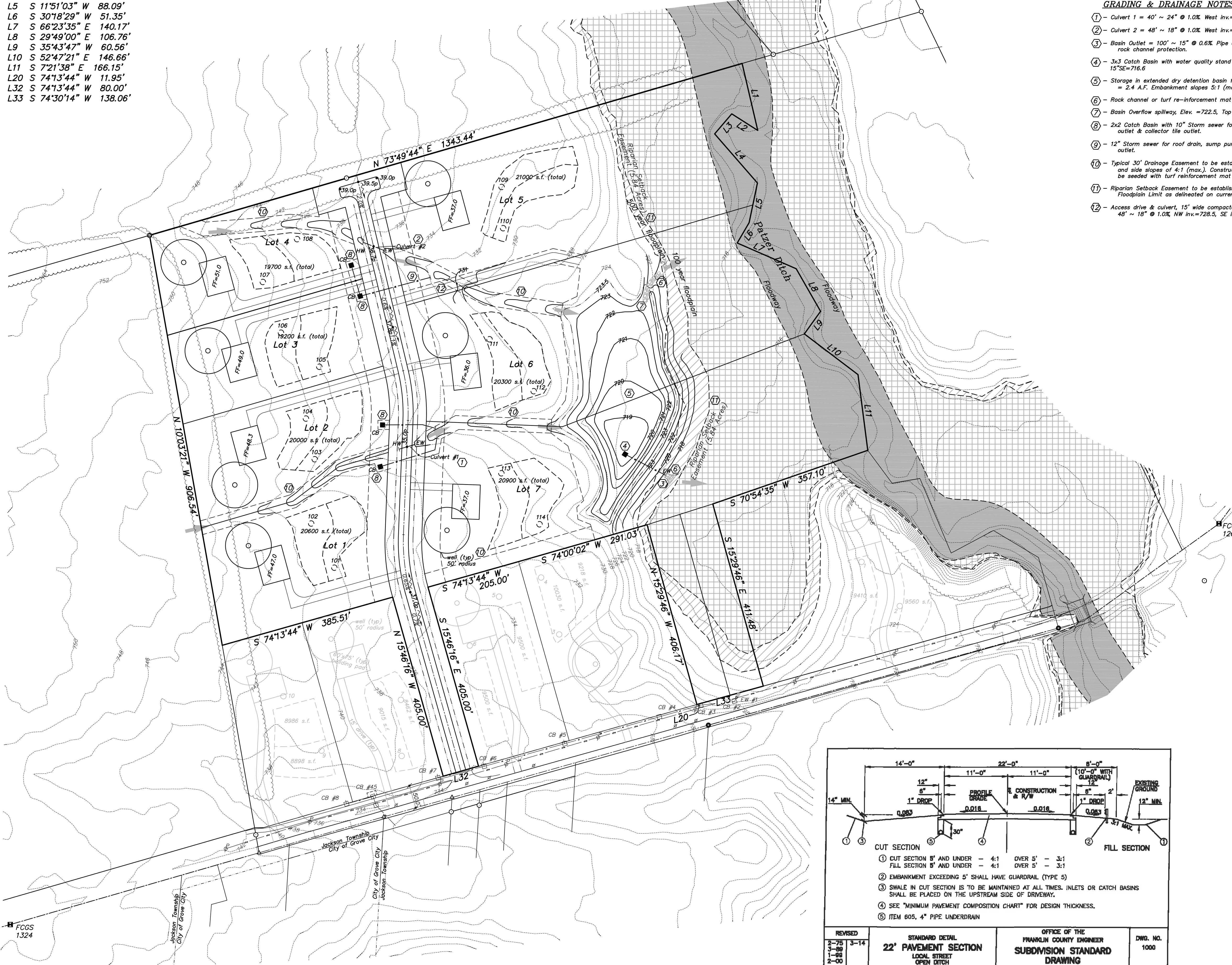
\_\_\_\_\_  
Date





- L1 S 13°08'52" E 149.72'
- L2 N 57°29'28" W 67.16'
- L3 S 40°30'11" W 57.34'
- L4 S 41°02'46" E 141.91'
- L5 S 11°51'03" W 88.09'
- L6 S 30°18'29" W 51.35'
- L7 S 66°23'35" E 140.17'
- L8 S 29°49'00" E 106.76'
- L9 S 35°43'47" W 60.56'
- L10 S 52°47'21" E 146.66'
- L11 S 72°13'38" E 166.15'
- L20 S 74°13'44" W 11.95'
- L32 S 74°13'44" W 80.00'
- L33 S 74°30'14" W 138.06'

**PRELIMINARY PLAT**  
**PEGASUS ESTATES**  
 SITUATED IN AND BEING PART OF  
 VIRGINIA MILITARY SURVEY NO. 6840  
 JACKSON TOWNSHIP, FRANKLIN COUNTY, OHIO





# PEGASUS ESTATES

## Introduction

This project is the proposed development of a seven lot rural, single family subdivision. Rural herein meaning lots to be served by onsite wells and onsite sanitary soil absorption fields. The development includes the construction of Pegasus Way, a 1377 feet, 22 foot wide roadway with open ditch drainage; and drainage improvements to serve the development of those lots. The site land area is a total of 30.594 acres, currently owned and to be developed by RHM Elliott, LLC. Development is proposed over the majority of this site excepting two reserves, A & B, totaling 1.41 acres; and a 5.84 acre riparian setback easement which follows the 100 year flood plain along the east side of the developed portion of the site. There is also an area of 2.56 acres, upstream of and adjoining the riparian setback easement along its entire west side, which will be seeded and mulched, and will continue to sheet drain directly to Patzer Ditch. This leaves a balance of 20.78 acres onsite which will be routed to the proposed retention basin.

## Detention Methodology

The SCS TR-20 Method is being used as a basis for detention calculations.

## Pre Developed Site

Please see the pre-developed tributary map included within this report.

Offsite from the west are 6.71 acres (part of area 1); and 13.375 acres (part of area 2), both of which run through the subject site and will be routed to the proposed retention basin. There is also 1.596 acres offsite from the north, and 0.698 acres offsite from the south; which are also routed to the site retention basin. Onsite are 20.05 acres which will be routed to the proposed retention basin.

## Allowable Pass-Thru Flows

Due to the offsite acreages being routed to the proposed retention basin, there will be allowable pass thru flows. For reference see the pre-developed tributary map and modeling run 1. We used extended times to route the offsite acreages all the way to the basin. The results are summarized below.

Offsite Area	1 yr	2yr	5 yr	10 yr	25 yr	50 yr	100 yr
	(cfs)						
13.375 acres from west to south channel & extended time to basin	1.86	3.20	5.47	7.57	10.78	13.56	16.59
6.711 acres from west to north channel & extended time to basin	1.15	1.93	3.22	4.39	6.18	7.73	9.41
1.596 acres from north & south directly to basin	1.16	1.72	2.58	3.32	4.43	5.35	6.34
Combined hydrographs 21.682 acres total for allowable pass-thru flow	3.39	5.69	9.55	13.06	18.43	23.07	28.12



The total pre-developed area to the basin is 42.42 acres. See modeling report 2 for the pre-developed analysis, which includes the offsite area and the onsite areas routed to the basin, and is summarized below.

Reducing each of those by the allowable pass thru flow represents the various pre-developed storms due to the onsite acreage only. (20.05 acres)

	1 yr	2yr	5 yr	10 yr	25 yr	50 yr	100 yr
(cfs)							
Total Pre-Dev Ac.	7.73	12.36	19.87	26.59	36.74	45.41	54.78
Allow Pass Thru	-3.39	-5.69	-9.55	-13.06	-18.43	-23.07	-28.12
<b>Net</b>	<b>4.34</b>	<b>6.67</b>	<b>10.32</b>	<b>13.53</b>	<b>18.31</b>	<b>22.34</b>	<b>26.66</b>

The pre-developed 1 yr runoff volume from onsite is  $1.898 - 0.842 = 1.056$  af.

### Post-Developed Site

Please see the post-developed tributary map included with this report.

The proposed area which will be routed to the site retention basin is 43.16 acres, which includes the 20.05 acres onsite, and 22.38 acres from offsite. We have added 0.744 acre to the onsite total (20.78 acres) which includes the initial portion (approximately 400 lineal feet) of Pegasus Way, which cannot be routed to the retention basin. This will result in a small amount of over-detaining to offset not being able to route this acreage to the basin.

See modeling report 3 for the post-developed analysis.

### Post-Developed Analysis

	Allowable Discharge from Onsite (cfs)	Allowable Discharge from Offsite (Allowable Pass-Thru) (cfs)	Total Allowable Discharge from Basin (cfs)	Basin Discharge (cfs)	Storage Required (cf)	Basin Storage Elevation (ft)
<b>1 yr</b>	4.34	3.39	7.73	0.99	55,204	722.12
<b>2 yr</b>	6.67	5.69	12.36	2.64	66,892	722.28
<b>5 yr</b>	10.32	9.55	19.87	6.48	88,238	722.57
<b>10 yr</b>	13.53	13.06	26.59	9.56	109,526	722.85
<b>25 yr</b>	13.53	18.43	31.96	16.17	140,418	723.22
<b>50 yr</b>	13.53	23.07	36.60	21.77	164,017	723.49
<b>100 yr</b>	13.53	28.12	41.75	26.53	193,083	723.82

The post-developed 1 yr runoff volume =  $1.941 - 0.842 = 1.099$  af.

All post-developed storms are less than the allowable release rates.

The modeled post-developed 100-year discharge from the entire 43.16 acres tributary to the basin (26.53 cfs) is less than the pre-developed 10-year discharge (26.59 cfs) from the same 43.16 acres tributary to the basin.

## Critical Storm

1 year pre-developed runoff volume from 20.05 acres = 1.898 af – 0.842 af = 1.056 af.

1 year post-developed runoff volume from 20.78 acres = 1.941 af – 0.842 af = 1.099 af.

$$\text{1 year critical storm} \quad \frac{1.099 - 1.056}{1.099} = 4 \text{ percent increase}$$

Discharge from the proposed retention basin will be controlled by a 24 inch diameter discharge pipe.

## Water Quality

### Post-Development Water Quality Calculations

Area tributary to basin = 43.16 acres (20.78 acres onsite, 22.38 acres offsite)

Impervious Area = 2.5 acres

$R_v = 0.9i + 0.05$

$i = 2.5 / 20.78 = 0.120$

$R_v = 0.17$

$WQ = R_v \times P \times A / 12$

$P = 0.9 \text{ inches}$

$A = 43.16 \text{ acres}$

$WQ = 23,970 \text{ cf}$

WQ is provided in the basin from elevation 722.0 to elevation 721.66 by a concrete fabricated V-notch weir in the wall of the basin outlet control structure as detailed on the plans. The draw down hydrograph is provided in storm modeling run 4.

## During Construction

### Sediment Settling Pond Volume Required

De-watering zone

1800 cf per acre of drainage tributary area

$1800 \times 43.16 = 77,690 \text{ cf}$

Sediment Storage Zone 1000 cf per disturbed area within the watershed of the basin

$1000 \times 8.5 = 8,500 \text{ cf}$

Total storage required = 86,200 cf

Discharge from the sediment settling pond will be controlled by installation of a temporary perforated stand pipe within the rough graded retention basin which will serve as a temporary sediment basin during construction.

Draw down will occur within the proposed temporary sediment basin from elevation 720.0 to elevation 717.16. The approximate volume provided within that range is 98,605 cf. Also, there are approximately 33,135 cf provided from elevation 717.16 to the rough graded pond bottom approximately 716.0 which provides additional sediment storage.

The draw down time is in excess of 48 hours.

Fee Paid by Cash / Check # \_\_\_\_\_, \$ \_\_\_\_\_

Application # \_\_\_\_\_ -ZC-20 \_\_\_\_\_

# ZONING COMMISSION APPLICATION

## REQUEST FOR HEARING BEFORE ZONING COMMISSION

3756 Hoover Road Grove City, OH 43123 614-875-2742

Property Owner: Johnny Jenkins and Tammy Jenkins Applicant: Johnny Jenkins & Tammy Jenkins

Address: 5506 Harrisburg Pike, Grove City 43123 Zoned: SR Semi-Residential with commercial overlay

Property Location: 5506 Harrisburg Pike, Grove City 43123

PID: 160-003076-00 Area/Acres: 10.569 Floodplain: No

(Home): \_\_\_\_\_ (Work) : 614-567-6280 (Cell): (Jeff Lucas) 614-206-1874

Email Address: [jeff@travcoconstruction.com](mailto:jeff@travcoconstruction.com) and [john@travcoconstruction.com](mailto:john@travcoconstruction.com)

**Summary of Zoning Commission:** *It is the responsibility of the Zoning Commission to review and recommend a change in how land is zoned as well as the specific regulations and requirements of the Township Zoning Resolution. It is the responsibility of applicants appearing before the Zoning Commission to have all required site plans, drawings, descriptions and all facts ready for public review and discussion. The schedule of required hearings may be extended by actions of continuance at any step in the procedures.*

To the Township Zoning Commission, the applicant requests the following:

Re-Zoning / PUD

Map/Text Amendment

Exceptional Use

*Extension of the overlay district or in the alternative rezoning to light industrial.*

A change in zoning from the existing \_\_\_\_\_ District to the proposed \_\_\_\_\_ District

A change in use from the existing SIC \_\_\_\_\_ to the proposed SIC \_\_\_\_\_

### General Description of the Request

*To extend the commercial overlay to the entire parcel or to include a newly constructed barn and surrounding area..  
The newly constructed barn is approximately 800 feet from the road on the south side of the parcel and is 60x120 feet*

1. Describe in specific detail the proposed request noting special and unique conditions of the proposed use. Attach development text as required.

*The proposed use would be to accommodate the operations of Travco Construction which engages in the business of maintaining water and sewer lines for the City of Columbus and others in Central Ohio plus agricultural operations.  
The business consists of the operations of approximately 4 dump trucks and 2 hydro excavators plus support vehicles and excavators. Traffic impact is minimal to Route 62 and the company does not have any customers come to its Location. The Company does not create excessive noise or any other nuisance. The nature of the business is not out of character to the surrounding area. The Company's general hours of operation are 0730 to 1600 Monday through Friday.*

## SUBMITTAL CHECKLIST

- |   |   |
|---|---|
| <input type="checkbox"/> Legal Description/ Deed                                  | <input type="checkbox"/> Photos Documenting Requested Use |
| <input type="checkbox"/> Plot Plan / Site Plan                                    | <input type="checkbox"/> Date Filed _____                 |
| <input type="checkbox"/> Detailed Building Plan                                   | <input type="checkbox"/> FCDD Date _____                  |
| <input type="checkbox"/> Tax Parcel Listing of All Property<br>Owners within 500' | <input type="checkbox"/> Legal Ad _____                   |
| <input type="checkbox"/> Application Fee  | <input type="checkbox"/> Notices Sent _____               |
|   | <input type="checkbox"/> Tech Review Date _____           |
|   | <input type="checkbox"/> Plan.Comm. Hrg _____             |
|   | <input type="checkbox"/> Twp. ZC Hrg _____                |

# APPLICANT'S AFFIDAVIT

STATE OF OHIO  
COUNTY OF FRANKLIN

I/We Johnny Jenkins and Tammy Jenkins  
(Name)

5506 Harrisburg Pike, Grove City Ohio 43123 Home: \_\_\_\_\_  
(Address) (City, State, Zip Code) (Phone)

Cell: 614-206-1874 Business: 614-567-6280  
(Phone of Jeff Lucas) (Phone)

“ the above named Owner / Applicant being duly sworn, depose and say that I/We are the owner(s) of the land included in the application and that the foregoing statement herein contained and attached, and information or attached exhibits thoroughly and to the best of my ability. By filing this application, I/We do hereby grant permission to Jackson Township and its employees to enter upon my property and to observe, photograph and document all conditions observed therein and to post all application materials upon the Township’s website for public information purposes.”

\_\_\_\_\_  
(Owner Signature)

\_\_\_\_\_  
(Co-Owner Signature)

Subscribed and sworn before me this 28<sup>th</sup> day of June 2023  
(Day) (Month) (Year)

\_\_\_\_\_  
(Notary Signature)

Stamp or Seal

## ACTION BY TOWNSHIP

Application Received & Accepted by: \_\_\_\_\_ Date: \_\_\_\_\_

Hearing Date: \_\_\_\_\_ 7:00pm at the Jackson Township Hall, Grove City, Ohio

Johnny Jenkins

Zoning Application

Overview of Property Updated on September 19, 2023 to only state rezoning to a CS district

The property consists of 10.569 acres and contains a farm house 2 outbuildings, a large barn and a newly constructed pole barn. A pasture has recently been fenced off to raise cattle with a second pasture slated for fencing as farm operations increase. The new pole barn is approximately 740 feet from the road along the south property line of the property and across from two older barns on the parcel located to the south of the subject parcel. The building is approximately 230 feet from the creek which marks the approximate north boundary of the property. The new pole barn measures 60x120 with a 24x30 bump out. It has a concrete apron and a gravel driveway. The pole barn is not occupied.

Travco Construction, Inc is a heavy construction company operating under SIC 1623 providing services primarily to the City of Columbus for underground water and sewer lines. Travco Construction also provides hydro-excavating services. Travco Construction has recently started parking its equipment and trucks at the newly constructed pole barn located at 5506 Harrisburg Pike. The Company's operations consist of working on underground utilities in the Central Ohio area and has no manufacturing or other operations occurring on site, other than the storage of the equipment and trucks and occasional repair on vehicles and equipment.

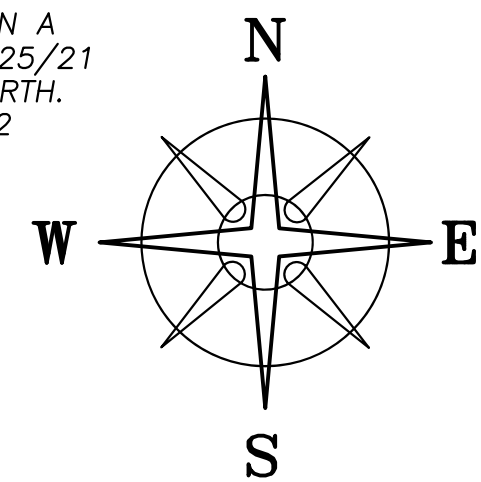
The Zoning code provides no zoning that specifically addresses SIC 1623. The impact to the surrounding community is negligible as there are no loud noises or orders from the operations. No material impact on traffic. There are no other nuisances being created to affect any of the adjoining property. Further, the operations are similar in nature to the property located along State Route 62.

Johnny Jenkins seeks to rezone the property to a Community Services District to allow for the operations of the construction company and for the operations of Agriculture operations.

Allowing the operations of the business is within the spirit of the MUC as the business will maintain a high compatibility between the residential land use and the development of the commercial land use in the area. As the business generates no negative effect to the residential use of surrounding property. A business under the SIC 1623 is the perfect business to locate in this district in view of the long-term plan of Grove City and Jackson Township for the commercial development of the area between 62 and I-7.

**DEED REFERENCE**  
**JOHNNY R & TAMMY R JENKINS**  
**INST. #202111030199678**  
 PARCEL No. 160-003076-00  
 (A) **10.589 ACRES**

BEARINGS ARE BASED ON A  
 GPS OBSERVATION ON 02/25/21  
 WGS 1984 GEODETIC NORTH.  
 CENTERLINE OF US 62  
 N 32°22'35" E



JACKSON TWP -  
 PLEASANT TWP -  
 VMS 1371  
 VMS 14881

U.S. ROUTE 62 (80' R/W)  
 N 32°22'35" E 680.05'

MAY19 HOLDINGS LLC  
 202207180104305  
 202207150103791  
 202207150103790  
 202207150103789  
 202207150103788  
 78.661 ACRES  
 89.25 ORG ACRES

**10.5884± ACRES**  
 (BY THIS SURVEY)

(A)

PROPOSED BLDG.

VMS 14881  
 VMS 6178

(MON. LEANING N.E.)  
 @1527.32'  
 @1524.94'

N 88°07'12" W 1574.24'

S 62°37'52" E 1361.66'

VIRGIL H SIDNER, TR &  
 ELIZABETH A SIDNER, TR  
 200111140263753  
 75.45 ACRES & 0.79 ACRES FOR LANE

**LEGEND**

- ALL MONUMENTS FOUND OR SET ARE IN GOOD CONDITION UNLESS OTHERWISE NOTED.
- ▲ 6" STATE OF OHIO CONCRETE R/W MONUMENT (FOUND)
  - 5/8" Ø IRON PIN (FOUND)
  - △ LATH SET ON LINE
  - ⊕ 5/8" Ø REBAR & YELLOW PLASTIC CAP STAMPED "THOMAS ENGINEERING & SURVEYING" (FOUND)
  - ⊕ 5/8" Ø REBAR & YELLOW PLASTIC CAP STAMPED "COTTRILL SURVEYING" (SET)



I HEREBY CERTIFY THAT THIS PLAT DEPICTS AN ACTUAL FIELD SURVEY PERFORMED BY NATHAN L. COTTRILL, P.S. #8821  
 DATE: 07/27/22

**COTTRILL SURVEYING, INC**  
 James R Cottrill, PS Nathan Cottrill, PE PS  
 15882 US Route 62 NE, Mt. Sterling, Ohio 43143  
 Office: (740) 869-3811 www.cottrillsurveying.com

**RESURVEY OF 10.5884± ACRES,  
 VMS 1371 & 6178, JACKSON TWP,  
 FRANKLIN COUNTY, STATE OF OHIO.  
 SURVEYED FOR CLIENT**

SCALE : 1" = 100'  
 100' 50' 0 100'

JOB No. S220617 : CREW: MW,AM  
 SURVEYED 07/22/22 : DWN BY: NC  
 DRAWN 07/26/22 : CHECK: RC



# 5506 Harrisburg Pike

Exhibit B

Received July 10, 2023 to the Franklin County Planning Department



670 feet

Newly fenced area for beef

Planned screening using pine trees on north side and west side of property

230 ft

740 ft

New Build

1553 Feet

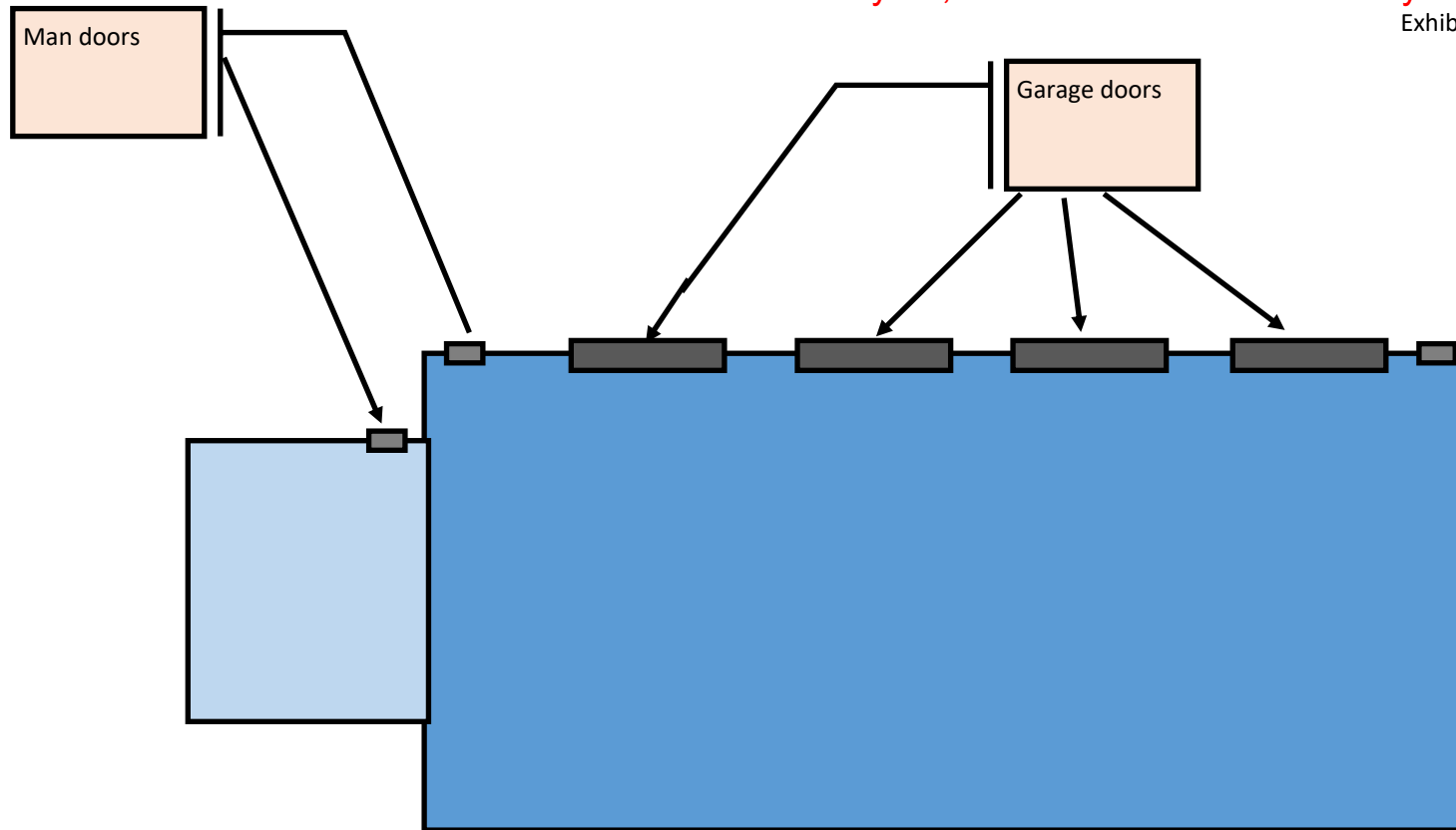
The parcel south of subject parcel was recently annexed to Grove City and was zone planned industrial

© All Pictometry



Received July 10, 2023 to the Franklin County Planning Department

Exhibit C—Building layout



Not to scale. Building is 60x120 pole barn with a 30x24 bump out. Building is to store equipment and tools. Building has no occupancy. Concrete apron has been placed in front of garage doors. Gravel drive to the building. Windows are present on the bump out portion of the building.



**Property Information**

Site Address: 6435 Young Road

Parcel ID(s): 230-000042 and 230-002931

Total Acreage: 15.7 Township: Pleasant

**Property Description**

Acres to be rezoned: 15.7

Current Land Use: 680- Charitable Exempt

Surrounding Land Uses:

North	<u>600 - Exempt Property - Franklin County Sheriff</u>
South	<u>101 - Farming</u>
East	<u>600 - Exempt Property - SWACO</u>
West	<u>100 - Agr. Vacant Land</u>

**Rezoning Request**

Current Zoning: EU (ZON 96-11)

Proposed Zoning: Select Commercial Planned District (SCPD)

Proposed Land Use: SIC - 8249

Purpose for Request:  
Mobility practice area for Commercial Driving License (CDL) School.

**Staff Use Only**

Case # ZON-23-10

Date Filed:

Fee Paid:

Receipt #

Received By:

Technical Review Date:

Big Darby Panel Date:

Planning Commission Date:

Rural Zoning Commission Date:

Commissioners Date:

**Checklist**

- Fee Payment (checks only)
- Completed Application
- Notarized Affidavit
- Legal description of property
- Location/Area map
- Water/Wastewater Information
- Development Plan (if a planned district request)

**Water & Wastewater**

- Water Supply**
- Public (Central)
  - Private (On-site)
  - Other
- Wastewater Treatment**
- Public (Central)
  - Private (On-site)
  - Other



Franklin County  
Board of Commissioners

## ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

# Application for Rezoning

Page 2



### Property Owner Information

Name: Solid Waste Authority of Central Ohio (SWACO)

Address: 4239 London-Brownport Road.  
Brove City, OH 43123

Phone # 614-801-6421

Fax #

Email: Rebecca.Egelhoff@SWACO.ORG

### Applicant Information

Same as property owner

Name:

Address:

Phone #

Fax #

Email:



Franklin County Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

## Application for Rezoning Page 3



### Signatures

To the best of my/our knowledge and belief, information and materials submitted as a part of this Rezoning application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes. I/we understand that delays or tablings may impact the hearing schedule.

Solid Waste Authority of Central Ohio (SWACO)

Applicant

\_\_\_\_\_ Date

Rebecca Egellhoff

Property Owner (Signature must be notarized)

\_\_\_\_\_ Date

9/19/23

Rebecca Egellhoff, Attorney for SWACO

[Signature]

Property Owner (Signature must be notarized)

\_\_\_\_\_ Date

09.19.2023



Danielle Kuskowski, Attorney At Law  
NOTARY PUBLIC - STATE OF OHIO  
My commission has no expiration date  
Sec. 147.03 R.C.





September 19, 2023

Franklin County Economic Development & Planning  
150 South Front Street, FSL Suite 10  
Columbus, Ohio 43215

Re: Rezoning Application for Parcel Ids. 230-000042 and 230-002931

To Whom It May Concern:

The Solid Waste Authority of Central Ohio (“SWACO”) is a regional solid waste authority established in accordance with Ohio Revised Code Section 343.011. SWACO was created in 1989 in response to Substitute House Bill 592 (“HB 592”) to develop and implement a comprehensive solid waste management plan for the Franklin County Solid Waste Management District, which is comprised principally of Franklin County but includes parts of five (5) adjacent counties (collectively the “District”). As a political subdivision of the State of Ohio, SWACO operates a sanitary Subtitle D landfill referred to as the Franklin County Sanitary Landfill (FCSL) with a maximum daily capacity of eight thousand (8,000) tons and two (2) waste transfer stations with a combined capacity of approximately three thousand (3,000) tons per day.

This rezoning application is for Parcel 230-00042 ( $\pm 10.6$ Ac) and Parcel 230-002931 ( $\pm 5.1$ Ac) commonly known as 6435 Young Road, which has a combined acreage of approximately  $\pm 15.7$  acres (the “Subject Property”), and were both acquired by SWACO in 1992, copies of the two deeds are attached hereto as Exhibit 1 and Exhibit 2. SWACO acquired the Subject Property as a buffer for the FCSL to the surrounding properties. In 1996 SWACO entered into a lease agreement with The Ohio Radio Kontrol Society (TORKS) for the land to be utilized as a radio-controlled model flying field. In December 2011, the TORKS lease was terminated, and the property was vacated.

Since 2012 the Subject Property has been vacant. SWACO now wishes to lease approximately  $\pm 7.42$ Ac of the Site to a non-profit organization to be used as a training lot for a newly created Commercial Driving License (CDL) school (the “Site”). The actual school and classrooms will not be located at the Site. Rather, the Site will be used for mobility outside training only. The sanitary services and water supply for the Site are as follows:

- **Water** – A 6” ductile water main is located on the east side of Young Road
- **Wastewater** – Sanitary sewer lines are not in the vicinity of the Site

Enclosed with the rezoning application is the Development Standards. Should you have any questions or concerns, please do not hesitate to contact me at (614) 801-6421 or [Rebecca.Egelhoff@swaco.org](mailto:Rebecca.Egelhoff@swaco.org).

Respectfully,

A handwritten signature in blue ink, appearing to read "Rebecca", is written over the typed name.

Rebecca L. Egelhoff, Esq.  
Director of Legal Affairs





**PROJECT DESCRIPTION**

Provide improved access to 6435 Young Road with a new asphalt apron. Construct a 22' wide stone driveway to connect access from Young Road to the existing asphalt runway. The site will provide an area to allow for certified drivers license (CDL) training.

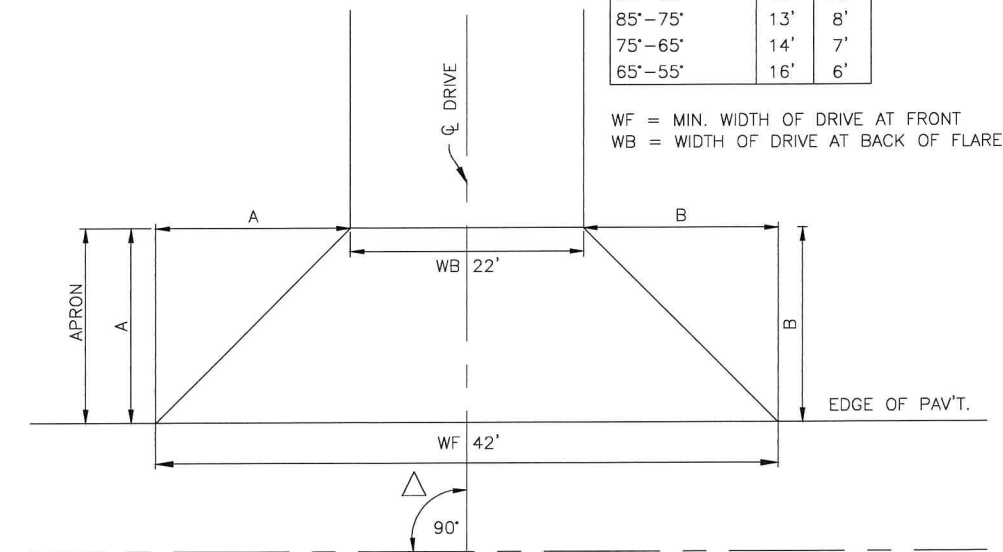
**KEY**

- Excavate 6" of existing ground for proposed stone drive. Place 6" of 304 aggregate base for proposed drive.
- A Remove and Replace existing drive pipe with 40' of 12" concrete pipe (706.02).
- B Remove pillars (2), gate, and fence
- C Storage Building

See asphalt apron detail below.

APPROACH ANGLES = Δ	DIM A	DIM B
90°-85°	10'	10'
85°-75°	13'	8'
75°-65°	14'	7'
65°-55°	16'	6'

WF = MIN. WIDTH OF DRIVE AT FRONT  
WB = WIDTH OF DRIVE AT BACK OF FLARE



**DRIVEWAY DETAIL, TYPE 1**  
NO SCALE

ASPHALT APRON COMPOSITION

- ITEM 441-3" ASPHALT CONCRETE SURFACE COURSE, TYPE I (448 DRIVEWAYS) PG64-22
- ITEM 407-NON-TRACKING TACK COAT
- ITEM 301-4" ASPHALT CONCRETE BASE
- ITEM 304-4" AGGREGATE BASE

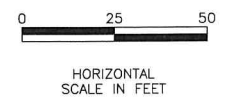


**RECEIVED**  
**SEP 19 2023**  
Franklin County Planning Department  
Franklin County, OH

*-ZCN-23-10*

**FRANKLIN COUNTY ENGINEER**  
CORNELL R. ROBERTSON, P.E., P.S.  
**DRIVING FUTURES ACADEMY**  
6435 YOUNG ROAD, JACKSON TOWNSHIP

**LEGEND**  
RIGHT OF WAY — Ex R/W —  
EXISTING EDGE OF PAVEMENT - - - - -





RECEIVED

SEP 19 2023

Franklin County Planning Department  
Franklin County, OH

ZON-23-10

**SELECT COMMERCIAL PLANNED DISTRICT - SCPD**

**ZONING & DEVELOPMENT STANDARDS TEXT**

**I. PROPERTY**

The total property is located on the west side of Young Road, approximately midway between London-Groveport (S.R. 665) and I-71 and shall consist of an approximate 15.7± acres, Parcel 230-00042 (±10.6Ac) and Parcel 230-002931 (±5.1Ac) (the "Property"), with ±7.42acres of the property being developed into outside mobility training for Commercial Driving License (CDL) (the "Site") as further described on the attached Exhibit A (Site Plan), Exhibit B (Legal Description) and Exhibit C (Property Boundary Survey).

**II. GENERAL PROVISIONS**

- A. The provisions outlined within these development standards shall apply to the 15.7± acres of land as described in Exhibit A unless otherwise approved by the governing jurisdiction. Other provisions of the Franklin County Zoning Resolution shall apply only to the extent that this Zoning Text & Development Standards do not address such matters.
- B. For the purposes of this Zoning & Development Standards Text, the terms and words contained within carry their customarily understood meanings. Words used in the present tense include the future and the plural includes the singular and the singular the plural. The word "shall" is intended to be mandatory; "occupied" or "used" shall be considered as though followed by the words "or intended, arranged or designed to be used or occupied". In case of any difference of meaning or implication between this text and the Franklin County Zoning Resolution, the Zoning Text shall control.
- C. All provisions of this Zoning & Development Standards Text are severable. If a court of competent jurisdiction determines that a word, phrase, clause, sentence, paragraph, subsection, section or other provision is invalid or that the application of any part of the provision to any person or circumstances is invalid, the remaining provisions and the application of those provisions to other persons or circumstances are not affected by that decision.
- D. Deviations from the standards, requirements, and uses set forth herein as well as the Franklin County Zoning Resolution may be approved through the Development Plan process, as long as they are consistent and harmonious with the overall intent of the development and do not diminish, detract or weaken the overall compatibility between uses within or in proximity of the Property.

**III. GENERAL DEVELOPMENT STANDARDS**

**1. Permitted Use**

The following permitted uses are tied to the 1987 Standard Industrial Classification (SIC) Codes which identifies the type of businesses that are permitted at the Site.

- a) Vocational School - Commercial Driving License – SIC 8249 (outdoor mobility driving only, no school or classroom structure permitted on Site)
- b) Any other use appropriate to provide compatibility with the neighborhood and community character and in compliance with the Comprehensive Plan and approved by the Board of Franklin County Commissioners.

2. Traffic

Up to two (2) semi-trailer commercial trucks shall be permitted to be taken in/out of the Site for mobile driving training purposes. The majority of the training shall be conducted on the Site.

3. Access

The Site shall be accessed by the existing curb cut on Young Road with a 22' wide stone driveway to connect access from Young Road to the asphalt runway/training lot.

4. Parking

Up to twelve (12) semi-trailer commercial trucks shall be permitted to be parked at the Site on the asphalt runway/training lot. Employee and student parking will be permitted to park at the Site on the gravel lot abutting the asphalt runway/training lot.

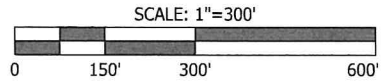
5. Outside Storage

There shall be no permanent structures on Site. One temporary structure/container for storage shall be permitted on Site.

6. Utilities and Facilities

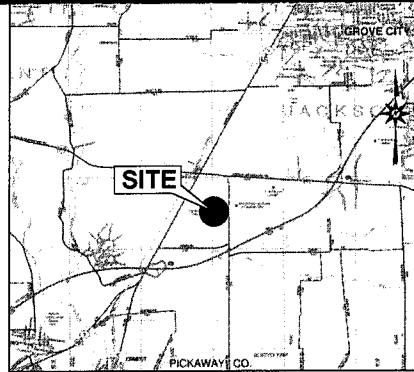
No permanent structures are permitted on Site.





**EXHIBIT "A"**

LINE	BEARING	DISTANCE
L1	S 84°13'27" E	61.48'
L2	N 38°18'42" W	59.79'
L3	N 50°50'58" E	1553.26'
L4	S 84°26'11" E	119.03'
L5	S 02°53'26" W	40.04'
L6	N 84°26'11" W	106.37'
L7	S 50°50'58" W	580.41'
L8	S 38°18'42" E	278.00'
L9	S 50°50'58" W	1840.00'
L10	N 84°13'24" W	160.91'
L11	N 38°18'42" W	143.21'

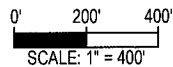
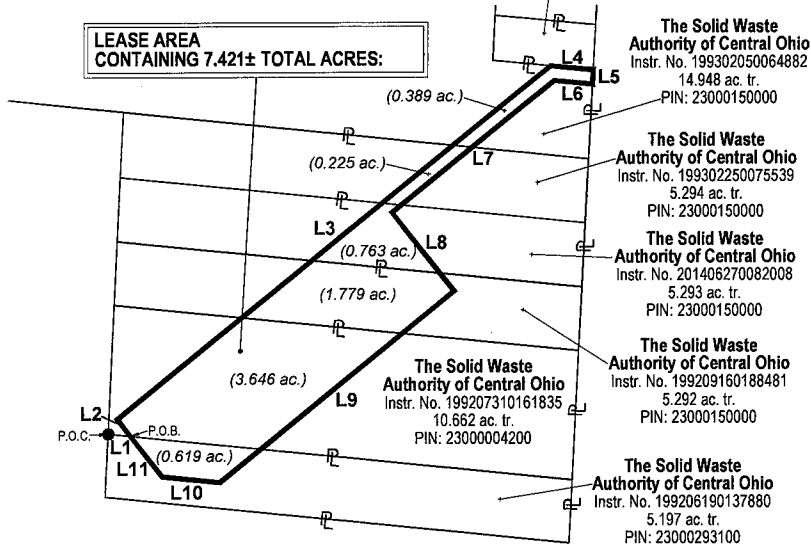


Vicinity Map (NTS)

**SEE SHEET 2 OF 2 FOR METES AND BOUNDS DESCRIPTIONS**

The Solid Waste Authority of Central Ohio  
Instr. No. 201406270082005  
0.803 ac. tr.  
PIN: 23000150000

**LEASE AREA CONTAINING 7.421± TOTAL ACRES:**



**NOTES**

-This drawing is for easement purposes only and is not intended to represent a complete survey. -Land ownership information is provided by the Franklin County Auditor public site and no additional verification has been performed by survey company. -Bearings shown hereon are oriented to the State Plane Coordinate System (NAD 83).

**LEGEND**

- Easement Area
- Road Right-of-Way Line
- Property Line
- Iron Pin (Found)

**BAIR, GOODIE AND ASSOCIATES, INC.**

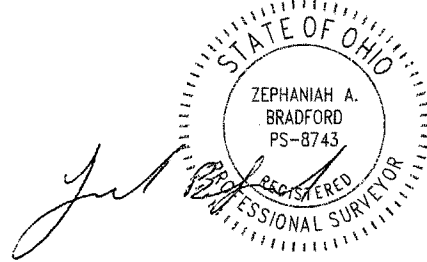
153 North Broadway, New Philadelphia, Ohio  
Email: ktoukonen@bairgoodie.com  
Telephone: 330.343.3499 | Fax: 330.343.9505

**THE SOLID WASTE AUTHORITY OF CENTRAL OHIO**

LEASE AREA ON THE LANDS OF  
**THE SOLID WASTE AUTHORITY OF CENTRAL OHIO**  
CONTAINING 7.421± ACRES

Situated in the State of Ohio, County of Franklin, and Township of Pleasant. Being part of lot 1365.

Scale: 1" = 400' | Date: 09.15.2023 | File: 4122 | Sheet: 1 of 2



## EXHIBIT "B"

### DESCRIPTION OF A 7.421± ACRE LEASE AREA

Situated in the Township of Pleasant, County of Franklin, and State of Ohio and being part of a 42.094 acre tract as conveyed to The Solid Waste Authority of Central Ohio in Instrument numbers 201406270082008, 199209160188481, 199207310161835, 199302050064882, 199302250075539, and 199206190137880.

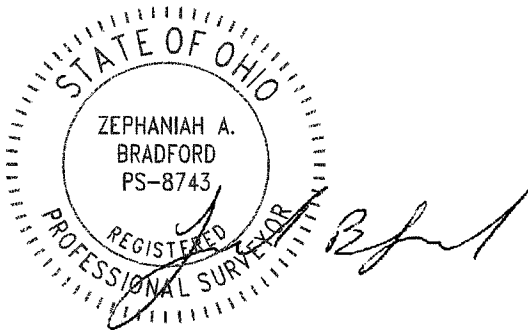
COMMENCING at a Iron Pin (found) at the Northwest Corner of the previously referenced 5.197 acre tract (199206190137880);

THENCE South 84 deg. 13 min. 27 sec. East, 61.48 feet to a point, and being the PLACE OF BEGINNING for the easement herein to be described;

THENCE through the above referenced SWACO properties the following ten (10) courses:

- 1.) THENCE North 38 deg. 18 min. 42 sec. West, 59.79 feet to a point;
- 2.) THENCE North 50 deg. 50 min. 58 sec. East, 1,553.26 feet to a point;
- 3.) THENCE South 84 deg. 26 min. 11 sec. East, 119.03 feet to a point;
- 4.) THENCE South 02 deg. 53 min. 26 sec. West, 40.04 feet to a point;
- 5.) THENCE North 84 deg. 26 min. 11 sec. West, 106.37 feet to a point;
- 6.) THENCE South 50 deg. 50 min. 58 sec. West, 580.41 feet to a point;
- 7.) THENCE South 30 deg. 18 min. 42 sec. East, 278 feet to a point;
- 8.) THENCE South 50 deg. 50 min. 58 sec. West, 840 feet to a point;
- 9.) THENCE North 84 deg. 13 min. 24 sec. West, 160.91 feet to a point;
- 10.) THENCE North 38 deg. 18 min. 42 sec. West, 143.21 feet to the PLACE OF BEGINNING, containing 7.421 acres, more or less, but subject to all legal highways, rights-of-way, and easements.

Bearings oriented to the State Plane Coordinate System: Ohio South Zone (3402); Horizontal Datum: NAD83 (2011). The plat and description were prepared for easement purposes and does not constitute a boundary survey.



**SEE SHEET 1 OF 2 FOR  
EXHIBIT DRAWING**

**BAIR, GOODIE AND ASSOCIATES, INC.**  
153 North Broadway, New Philadelphia, Ohio  
Email: [bradford@bairgoodie.com](mailto:bradford@bairgoodie.com)  
Telephone: 330.343.3499 | Fax: 330.343.9505

### **THE SOLID WASTE AUTHORITY OF CENTRAL OHIO**

LEASE AREA ON THE LANDS OF  
**THE SOLID WASTE AUTHORITY OF CENTRAL OHIO**  
CONTAINING 7.418± ACRES

Situated in the State of Ohio, County of Franklin, and Township of Pleasant. Being part of lot 1365.

**Scale: 1" = 400' | Date: 09.15.2023 | File: 4122 | Sheet: 2 of 2**





**Property Information**

Site Address: 6435 Young Road

Parcel ID(s): 230-000042 and 230-002931

Total Acreage: 15.7 Township: Pleasant

**Property Description**

Acres to be rezoned: 15.7

Current Land Use: 680- Charitable Exempt

Surrounding Land Uses:

North	<u>600 - Exempt Property - Franklin County Sheriff</u>
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Proposed Land Use: SIC - 8249

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**Staff Use Only**

Case # ZON-23-10

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- Fee Payment (checks only)
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- Water Supply**
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Franklin County  
Board of Commissioners

## ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

# Application for Rezoning

Page 2



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Phone # 614-801-6421

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Franklin County Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

## Application for Rezoning Page 3



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Applicant

\_\_\_\_\_

Date

Rebecca Egellhoff

Property Owner (Signature must be notarized)

\_\_\_\_\_

Date

9/19/23

Rebecca Egellhoff, Attorney for SWACO

[Signature]

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\_\_\_\_\_

Date

09.19.2023



Danielle Kuskowski, Attorney At Law  
NOTARY PUBLIC - STATE OF OHIO  
My commission has no expiration date  
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September 19, 2023

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Respectfully,

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Rebecca L. Egelhoff, Esq.  
Director of Legal Affairs









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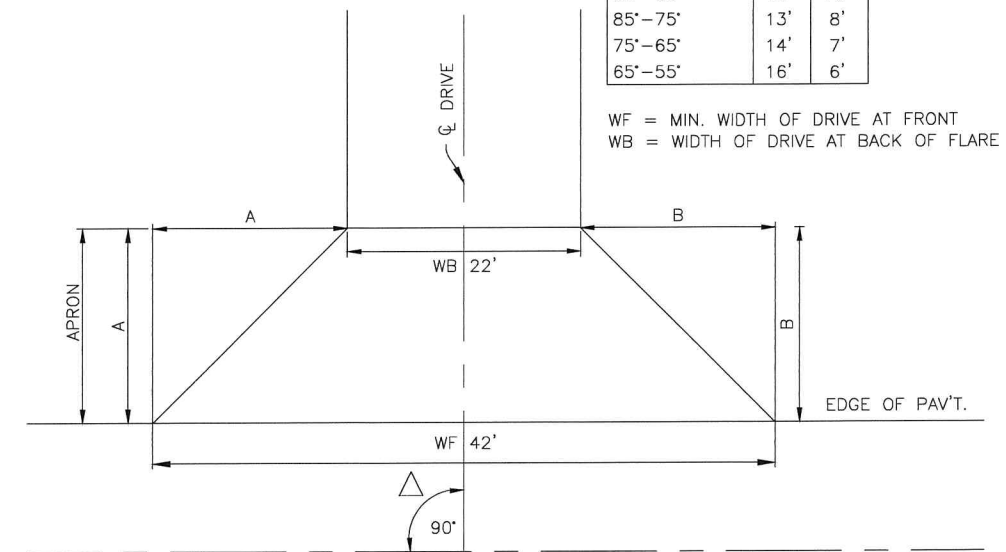
**KEY**

-  Excavate 6" of existing ground for proposed stone drive. Place 6" of 304 aggregate base for proposed drive.
-  Remove and Replace existing drive pipe with 40' of 12" concrete pipe (706.02).
-  Remove pillars (2), gate, and fence
-  Storage Building

See asphalt apron detail below.

APPROACH ANGLES = Δ	DIM A	DIM B
90°-85°	10'	10'
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WF = MIN. WIDTH OF DRIVE AT FRONT  
WB = WIDTH OF DRIVE AT BACK OF FLARE



**DRIVEWAY DETAIL, TYPE 1**  
NO SCALE

ASPHALT APRON COMPOSITION

- ITEM 441-3" ASPHALT CONCRETE SURFACE COURSE, TYPE I (448 DRIVEWAYS) PG64-22
- ITEM 407-NON-TRACKING TACK COAT
- ITEM 301-4" ASPHALT CONCRETE BASE
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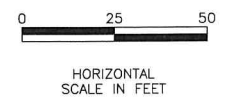


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*-ZCN-23-10*

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CORNELL R. ROBERTSON, P.E., P.S.  
**DRIVING FUTURES ACADEMY**  
6435 YOUNG ROAD, JACKSON TOWNSHIP

**LEGEND**  
RIGHT OF WAY — Ex R/W —  
EXISTING EDGE OF PAVEMENT - - - - -





RECEIVED

SEP 19 2023

Franklin County Planning Department  
Franklin County, OH

ZON-23-10

**SELECT COMMERCIAL PLANNED DISTRICT - SCPD**

**ZONING & DEVELOPMENT STANDARDS TEXT**

I. PROPERTY

The total property is located on the west side of Young Road, approximately midway between London-Groveport (S.R. 665) and I-71 and shall consist of an approximate 15.7± acres, Parcel 230-00042 (±10.6Ac) and Parcel 230-002931 (±5.1Ac) (the "Property"), with ±7.42acres of the property being developed into outside mobility training for Commercial Driving License (CDL) (the "Site") as further described on the attached Exhibit A (Site Plan), Exhibit B (Legal Description) and Exhibit C (Property Boundary Survey).

II. GENERAL PROVISIONS

- A. The provisions outlined within these development standards shall apply to the 15.7± acres of land as described in Exhibit A unless otherwise approved by the governing jurisdiction. Other provisions of the Franklin County Zoning Resolution shall apply only to the extent that this Zoning Text & Development Standards do not address such matters.
- B. For the purposes of this Zoning & Development Standards Text, the terms and words contained within carry their customarily understood meanings. Words used in the present tense include the future and the plural includes the singular and the singular the plural. The word "shall" is intended to be mandatory; "occupied" or "used" shall be considered as though followed by the words "or intended, arranged or designed to be used or occupied". In case of any difference of meaning or implication between this text and the Franklin County Zoning Resolution, the Zoning Text shall control.
- C. All provisions of this Zoning & Development Standards Text are severable. If a court of competent jurisdiction determines that a word, phrase, clause, sentence, paragraph, subsection, section or other provision is invalid or that the application of any part of the provision to any person or circumstances is invalid, the remaining provisions and the application of those provisions to other persons or circumstances are not affected by that decision.
- D. Deviations from the standards, requirements, and uses set forth herein as well as the Franklin County Zoning Resolution may be approved through the Development Plan process, as long as they are consistent and harmonious with the overall intent of the development and do not diminish, detract or weaken the overall compatibility between uses within or in proximity of the Property.

III. GENERAL DEVELOPMENT STANDARDS

1. Permitted Use

The following permitted uses are tied to the 1987 Standard Industrial Classification (SIC) Codes which identifies the type of businesses that are permitted at the Site.

- a) Vocational School - Commercial Driving License – SIC 8249 (outdoor mobility driving only, no school or classroom structure permitted on Site)
- b) Any other use appropriate to provide compatibility with the neighborhood and community character and in compliance with the Comprehensive Plan and approved by the Board of Franklin County Commissioners.

2. Traffic

Up to two (2) semi-trailer commercial trucks shall be permitted to be taken in/out of the Site for mobile driving training purposes. The majority of the training shall be conducted on the Site.

3. Access

The Site shall be accessed by the existing curb cut on Young Road with a 22' wide stone driveway to connect access from Young Road to the asphalt runway/training lot.

4. Parking

Up to twelve (12) semi-trailer commercial trucks shall be permitted to be parked at the Site on the asphalt runway/training lot. Employee and student parking will be permitted to park at the Site on the gravel lot abutting the asphalt runway/training lot.

5. Outside Storage

There shall be no permanent structures on Site. One temporary structure/container for storage shall be permitted on Site.

6. Utilities and Facilities

No permanent structures are permitted on Site.



Application for  
**Rezoning**  
Page 1



**Property Information**

Site Address:  
1908 Brown Road, Columbus, Ohio 43223

Parcel ID(s): 140-004059-00

Total Acreage:  
1.41

Township: **Franklin**

**Property Description**

Acres to be rezoned:  
1.41

Current Land Use: Vacant

Surrounding Land Uses:

North	Zoned residential but used for commercial purposes
South	<b>Commercial</b>
East	<b>Industrial</b>
West	<b>Brown Road right-of-way/commercial</b>

**Rezoning Request**

Current Zoning: Residential

Proposed Zoning: **Limited Industrial**

Proposed Land Use: Truck parking overflow from neighboring use

Purpose for Request: To conform zoning to allow for anticipated use

**Staff Use Only**

Case #  
**ZON-23-11**

Date Filed: **9/19/2023**

Fee Paid: **\$1100**

Receipt # **23-036056**

Received By: **Karla**

Technical Review Date: **9/26/23**

Big Darby Panel Date: **N/A**

Planning Commission Date: **10/11/23**

Rural Zoning Commission Date:  
**10/19/23**

Commissioners Date: **11/14/23**

**Checklist**

- Fee Payment (checks only)
- Completed Application
- Notarized Affidavit
- Legal description of property
- Location/Area map
- Water/Wastewater Information
- Development Plan (if a planned district request)

**Water & Wastewater**

**Water Supply**

Public (Central)

Private (On-site)

Other

**Wastewater Treatment**

Public (Central)

Private (On-site)

Other



Franklin County  
Board of Commissioners

**ECONOMIC DEVELOPMENT  
& PLANNING**

Economic Development & Planning Department  
James Schimmer, Director

Application for  
**Rezoning**  
Page 2



**Property Owner Information**

Name: Five Star Realty, an Ohio general partnership

Address:

c/o Curtis H. Knapp, Esq., Northwest Law LLC  
1160 Dublin Road, Suite 500, Columbus, Ohio 43215

Phone # 614-610-4000

Fax # 866-244-1335

Email: curt@northwest.law

**Applicant Information**

Same as property owner

Name: Five Star Realty, an Ohio general partnership

Address:

c/o Curtis H. Knapp, Esq., Northwest Law LLC  
1160 Dublin Road, Suite 500, Columbus, Ohio 43215

Phone # 614-610-4000

Fax # 866-244-1335

Email: curt@northwest.law





Application for **Rezoning**  
Page 3



**Signatures**

To the best of my/our knowledge and belief, information and materials submitted as a part of this Rezoning application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes. I/we understand that delays or tablings may impact the hearing schedule.

C H Knapp  
Applicant Five Star Realty, an Ohio general partnership  
By: Curtis H. Knapp, Authorized Agent

8/15/2023  
Date

C H Knapp  
Property Owner (Signature must be notarized) Five Star Realty, an Ohio general partnership  
By: Curtis H. Knapp, Esq., Authorized Agent

8/15/2023  
Date

\_\_\_\_\_  
Property Owner (Signature must be notarized)

\_\_\_\_\_  
Date

State of Ohio :  
County of Franklin : ss:

The foregoing Rezoning Application was acknowledged before me this 15 day of August, 2023, by Curtis H. Knapp, Esq., Authorized Agent for Five Star Realty, an Ohio general partnership, on behalf of said partnership.



SARAH BERTSCHY  
Notary Public State of Ohio  
My Commission Expires 08-29-27

Sarah Bertschy  
Notary Public

My commission expires 8/29/27



Application for  
**Rezoning**  
Page 4



### Rezoning/Text Amendment Application

#### General Application Requirements

Any applicant who requests a zoning change is solely responsible for filing all materials required by the application in its entirety. Please consult with the Economic Development and Planning Department to obtain a copy of pertinent development standards prior to filing a rezoning request.

#### The following items are required with each application:

1. The completed application form.
2. The notarized affidavit with current property owner signature.
3. Legal description of the property. Current property survey to include acreage, all bearings and distances, and referencing an established beginning point.
4. Location/Area map. Engineering base maps to scale (example: 1"=100') are required. You can obtain this information from the Franklin County Auditor's website, <https://www.franklincountyauditor.com/>
5. All information that pertains to sanitary services and water supply must be provided. If services are to be provided by a private or public entity, a letter must be provided verifying that the services exist and that the applicant will have access to such services. If an on-lot septic system and/or well are proposed, information from the Franklin County Board of Health (or appropriate agency) must be provided.
6. Any additional information or exhibits deemed necessary for proper consideration of the application.

Note: When a planned district is requested, a development plan must be prepared by a registered architect, engineer, surveyor or landscape architect. The development plan must include all information identified in the Franklin County Zoning Resolution for the applicable planned zoning district being requested. This plan is to demonstrate the engineering feasibility of the proposed project. The Rural Zoning Commission makes no exceptions to these requirements. All other issues in the performance standards must be addressed, even if they do not appear to pertain to your particular site.

An incomplete application will not be placed on an agenda until it is determined to be complete, having all relevant issues addressed in plan or text form.



# Franklin County Auditor's Office

## Auditor

### Michael Stinziano

Map Produced August 15, 2023

#### Planimetric Legend

Source: 2021 Aerial Photography

- Edge of Pavement
- Roadway Centerlines
- Railroad Centerlines
- Building Footprints
- Building Under Construction
- Creeks, Streams, Ditches
- Rivers & Ponds

#### Topographic Legend

Source: OSIP - 2019 LIDAR Collection

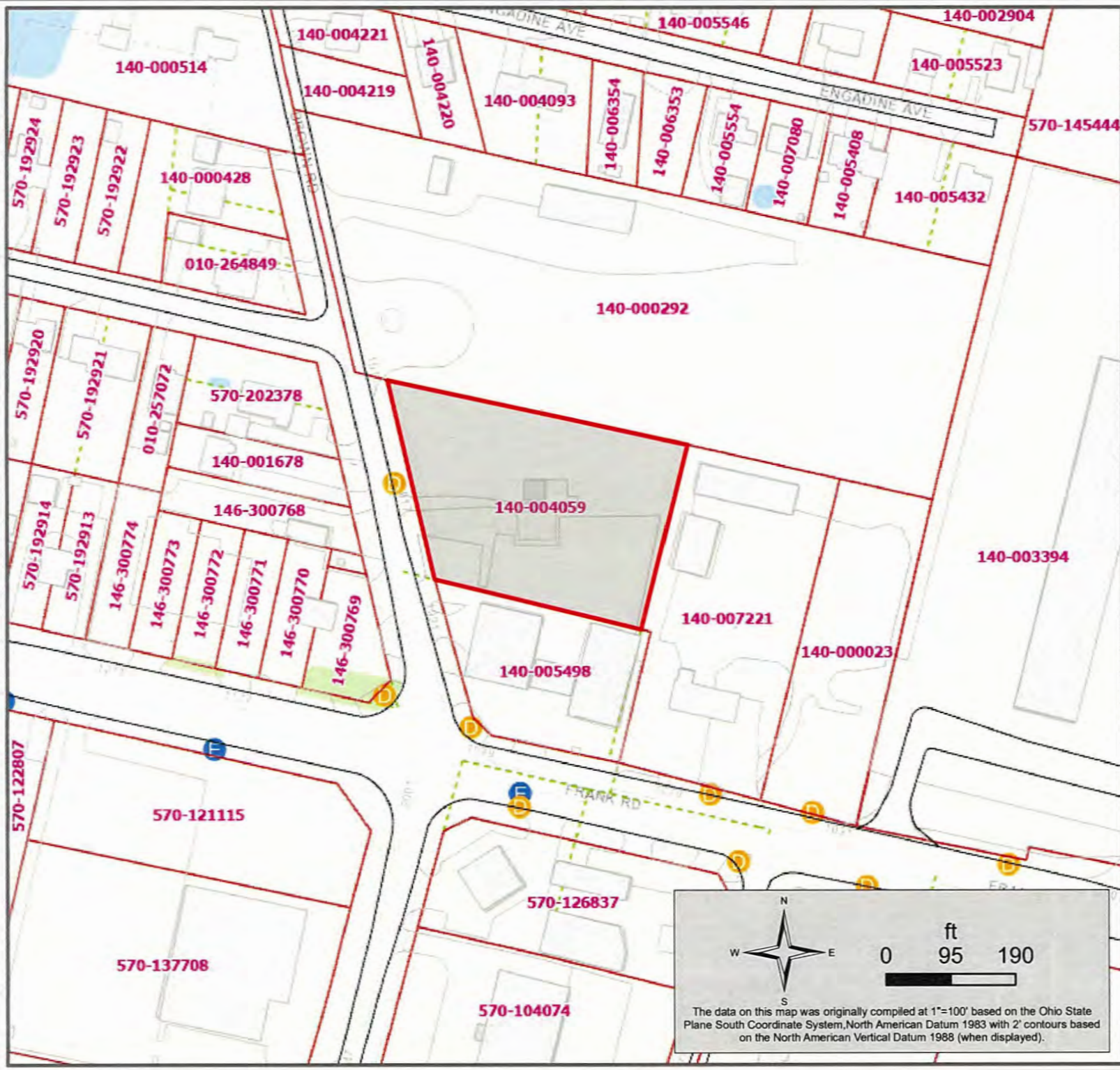
- Index Contour
- Intermediate Contour

#### Appraisal Legend

Source: Franklin County Auditor & Engineer

- Parcel IDs
- Parcel Dimensions
- Lot Numbers
- Site Address
- Parcel Boundary
- Subdivision Boundary
- Condominium Boundary
- County Boundary
- City or Village Boundary
- Tax District Boundary
- School District Boundary
- Zip Code Boundary

The information on this web site is prepared from the real property inventory maintained by the Franklin County Auditor's Office. Users of this data are notified that the primary information source should be consulted for verification of the information contained on this site. The county and vendors assume no legal responsibilities for the information contained on this site. Please notify the Franklin County Auditor's Real Estate Division of any discrepancies.



The data on this map was originally compiled at 1"=100' based on the Ohio State Plane South Coordinate System, North American Datum 1983 with 2' contours based on the North American Vertical Datum 1988 (when displayed).



## LEGAL DESCRIPTION

Situated in the State of Ohio, County of Franklin and the Township of Franklin:

Situated in Virginia Military Survey No. 717, Township of Franklin County of Franklin and State of Ohio. Being the remainder of a 4.227 acre tract as conveyed to Walter S. Stout, Sr. and Christine Stout as recorded in Deed Book 2003, page 230, Franklin County, Ohio records and more particularly described as follows:

For reference, beginning at a P.K. Nail in the center of Brown Road at the northwest corner of said original 4.227 acre tract, Deed Book 2003, page 230. Said point being North 11 deg. 01' 10" West, a distance of 444.83 feet, measured along the centerline of said Brown Road from the intersection of centerlines of Brown Road and Frank Road. Thence South 75 deg. 15' 11" East a distance of 40.39 feet along the Northerly line of said original 4.227 acre tract to an iron pin at the Northeast corner of a 0.217 acre tract conveyed to the County of Franklin, Deed Book 3293 page 446, for additional right of way to Brown Road, and being the true point of beginning of this conveyance. Thence from said point of beginning South 75 deg. 15' 00" East a distance of 342.40 feet along the North line of said original 4.227 acre tract, Deed Book 2003, page 230, to an iron pin, found. Said last course being also along the Southerly line of a 4.693 acre tract as conveyed to Panco, Inc., Deed Book 1289, page 155. Thence South 17 deg. 33' 56" West a distance of 213.12 feet along the Westerly line of a 1.491 acre tract as conveyed to Olentangy, Inc., Deed Book 3466, page 799, to an iron pin, found. Thence North 75 deg. 17' 10" West a distance of 229.10 feet along the Northerly line of a 0.670 acre tract as conveyed to Karlton J. Rothgeb and Charles C. Nash, Deed Book 3566, page 408, to an iron pin on the Easterly new right of way of Brown Road, Deed Book 3293, Page 446. Thence North 11 deg. 01' 10" West a distance of 326.53 feet along the Easterly new right of way of Brown Road, to the place of beginning, containing 1.397 acres.

## Rachel Andersen

---

**From:** Rayfield, Barrett H. <BHRayfield@columbus.gov>  
**Sent:** Monday, August 28, 2023 11:51 AM  
**To:** Rachel Andersen  
**Cc:** Rostan, Marc J.  
**Subject:** RE: 1908 Brown Road Sewer and Water availability  
**Attachments:** Type 2 Annexation Process Outline\_2022.pdf

Good morning Rachel,

Thank you for your email.

Unfortunately, we are not able to produce a letter verifying those services are available, as our office does not oversee these utilities. Annexation to the City of Columbus is required to obtain water service for this site, as no service agreement applies to the parcel. Sewer service without annexation would be possible because there is a sewer contract in place.

I have attached a PDF outlining the annexation process, which typically takes 6 months from start to finish due to the necessary approvals set forth by ORC. If you would like to proceed, please let me know and I can provide information on the next steps to begin.

Best,

Hunter Rayfield, AICP  
ASSOCIATE PLANNER

He | Him  
{ hun-ter ray-field }

Department of Development – Planning Division  
City of Columbus

Michael B. Coleman Government Center  
111 N. Front Street, Third Floor  
Columbus, OH 43215

[bhrayfield@columbus.gov](mailto:bhrayfield@columbus.gov)

**From:** Rachel Andersen [mailto:rachel@northwest.law]  
**Sent:** Friday, August 25, 2023 9:35 AM  
**To:** Annexation Inquiries <annexationinfo@columbus.gov>  
**Subject:** [EXTERNAL] 1908 Brown Road Sewer and Water availability  
**Importance:** High

Good morning, our client at the above address is applying to obtain a lot split and Franklin County is requiring us to obtain a letter verifying that sewer and water services exist and that the applicant will have access to such services, if they choose to. City of Columbus Sewer and Water referred me to you because this is a vacant lot and the owners do not have an account for sewer or water at the current time.

Is this something you can assist me with? Time is of the essence and your prompt attention is appreciate.

Thank you,

Rachel



**Rachel Andersen**

Legal Assistant  
1160 Dublin Road, Ste. 500, Columbus, OH 43215  
Office: 614.610.4000 | Direct: 614-610-9784  
[northwest.law](http://northwest.law)



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**Rachel Andersen**

---

**From:** Curt Knapp  
**Sent:** Friday, August 25, 2023 10:45 AM  
**To:** Rachel Andersen  
**Subject:** RE: Water and Sewer for 1908 Brown Road, Columbus, Ohio

I think this will suffice.

Thank you



**Curt Knapp**  
Senior Attorney  
Direct: 614-610-9918

**PLEASE NOTE: Our offices will be CLOSED on Monday, September 4<sup>th</sup> in observance of Labor Day.**

FOR READER: THE INFORMATION CONTAINED IN THIS COMMUNICATION IS CONFIDENTIAL AND SUBJECT TO ATTORNEY-CLIENT, WORK PRODUCT, OR OTHER LEGAL PRIVILEGE. THIS COMMUNICATION IS INTENDED ONLY FOR THE USE OF THE INDIVIDUAL OR ENTITY NAMED AS RECIPIENT. IF THE READER OF THIS COMMUNICATION IS NOT THE INTENDED RECIPIENT, YOU ARE HEREBY NOTIFIED THAT ANY DISSEMINATION, DISTRIBUTION OR COPYING OF THIS COMMUNICATION IS STRICTLY PROHIBITED.

FOR CLIENTS OF OUR FIRM: IT IS RECOMMENDED THAT YOU USE YOUR PERSONAL EMAIL ACCOUNT TO CORRESPOND WITH US, AS YOUR WORK EMAIL ACCOUNT MAY BE SUBJECT TO REVIEW AND ACCESS BY YOUR EMPLOYER, WHICH CAN COMPROMISE THE ATTORNEY-CLIENT PRIVILEGE.

**From:** Rachel Andersen <rachel@northwest.law>  
**Sent:** Friday, August 25, 2023 10:35 AM  
**To:** Curt Knapp <curt@northwest.law>  
**Subject:** FW: Water and Sewer for 1908 Brown Road, Columbus, Ohio

See below.

I also reached out to Annexation for City of Columbus as that is where I was directed to get more information. Will attaching this to the application for lot split be sufficient or would we also need something from the City?

Rachel



**Rachel Andersen, Legal Assistant**  
Office: 614.610.4000 | Direct: 614.610.9784

**From:** Renner, Stephen A. <sarenner@franklincountyohio.gov>  
**Sent:** Friday, August 25, 2023 10:30 AM  
**To:** Rachel Andersen <rachel@northwest.law>  
**Subject:** RE: Water and Sewer for 1908 Brown Road, Columbus, Ohio

Good Morning Ms Anderson,

I apologize for the delay on this. Providing a letter as such is not a normal process of what we actually do for properties that are not yet connected to any services. And this one in particular is complicated.

First, please know that while this property is within our sewer service area, we do not have rights to serve it water. Water is provided by the City of Columbus. There is water in that area by the City of Columbus, but any discussions of access should be directed to the City of Columbus.

Regarding sewer, there is a city main across the street, and they would need permission from the City of Columbus to access. By contract with the city, we are the entity that would provide the permit and inspection.

Normally it's not this complicated, but this one is. Please let me know if there is anything else I can do.

Thanks  
Stephen

Stephen A. Renner, Director  
Franklin County Dept of Sanitary Engineers  
280 E. Broad Street, Suite 201  
Columbus, Ohio 43215-4520  
614-525-5850 direct  
614-525-3940 main office  
614-525-5210 fax  
<http://cleanwater.franklincountyohio.gov/>  
<http://twitter.com/FranklinCoOhio>



**From:** Rachel Andersen <[rachel@northwest.law](mailto:rachel@northwest.law)>  
**Sent:** Friday, August 25, 2023 9:44 AM  
**To:** Renner, Stephen A. <[sarenner@franklincountyohio.gov](mailto:sarenner@franklincountyohio.gov)>  
**Subject:** FW: Water and Sewer for 1908 Brown Road, Columbus, Ohio

Good morning Mr. Renner, I am following up on my request below. If there is someone else I should be contacting, please let me know.

Thank you!

Rachel



**Rachel Andersen, Legal Assistant**  
Office: 614.610.4000 | Direct: 614.610.9784

**From:** Rachel Andersen  
**Sent:** Tuesday, August 15, 2023 1:05 PM  
**To:** [sarenner@franklincountyohio.gov](mailto:sarenner@franklincountyohio.gov)  
**Subject:** Water and Sewer for 1908 Brown Road, Columbus, Ohio

Good afternoon Mr. Renner,

I am looking for a letter of sewer and water services for this above mentioned address for our application for a lot split to the Franklin County Planning Commission. Are you the person I reach out to or is there another email address?

Rachel



**Rachel Andersen**

Legal Assistant  
1160 Dublin Road, Ste. 500, Columbus, OH 43215  
Office: 614.610.4000 | Direct: 614-610-9784  
[northwest.law](http://northwest.law)



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Franklin County Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

RECEIVED

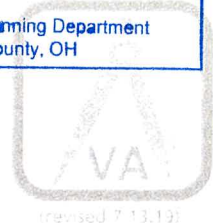
SEP 13 2023

Franklin County Planning Department  
Franklin County, OH

# Application for Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 1 of 7



### Property Information

Site Address: 4754 OPOSSUM RUN RD.  
 Parcel ID: 230-000913-00 Zoning District: RURAL  
 Lot Acreage: 2.219 Township: PLEASANT

### Property Owner Information

Name: SCOTT DIMPFL  
 Address: 475 OPOSSUM RUN RD,  
 G.C OH 43123  
 Phone # \_\_\_\_\_ Fax # \_\_\_\_\_  
 Email: \_\_\_\_\_

### Applicant Information

Same as property owner

Name: SHAWN DAVIS  
 Address: 4394 BROADWAY  
 G.C OH 43123  
 Phone # 614-878-9388 Fax # \_\_\_\_\_  
 Email: ACCOUNTING@AISRENOVATIONS.COM

### Agent Information

Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone # \_\_\_\_\_ Fax # \_\_\_\_\_  
 Email: \_\_\_\_\_

### Staff Use Only

Case # VA-4082  
 Date Filed: 9/13/23  
 Received By: Kayla  
 Fee Paid: \$350  
 Receipt Number: 2303580  
 Hearing Date: 10/16/2023  
 Technical Review: 9/26/2023  
 Zoning Compliance #:  
 R7-23-203

### Checklist

- Completed Application
- Fee Payment (checks only)
- Auditor's Map (8.5"x11")
- Site Map (max 11"x17")
- Covenants and deed
- Notarized signatures
- Proof of water/wastewater supply
- Copy of denied Zoning Certificate
- Copy of denial letter

### Water & Wastewater

#### Water Supply

- Public (Central)
- Private (On-site)
- Other

#### Wastewater Treatment

- Public (Central)
- Private (On-site)
- Other



# Zoning Variance



Case# VA-

**Variance(s) Requested:**

Section: 650.162(a)

Description: CONSTRUCTION

Section: 650.162(b)

Description: DREDGING OR DUMPING

Section:

Description:

**Describe the project:**

REMOVE EXISTING BUMP OUT ON THE HOUSE AND REPLACE WITH A LARGER ADDITION, PLUS ADD ON TO EXISTING GARAGE. ADDITIONALLY, THE PROJECT WILL REPLACE THE EXISTING ENTRYWAY PORCH WITH A MUDROOM AND ENTRYWAY ADDITION.

**NOTE:** To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.

THE PROPERTY LIES IN THE RURAL ZONING DISTRICT AND THE BIG DARBY CREEK RIPARIAN SETBACK. THE PROPERTY DOES HAVE SPECIAL CONDITIONS & CIRCUMSTANCES THAT DO NOT APPLY TO OTHER PROPERTIES IN THE RURAL ZONING DISTRICT. WITHIN THE BIG DARBY CREEK RIPARIAN SETBACK HOWEVER, THE PROPERTY DOES NOT HAVE ANY SPECIAL CONDITIONS OR CIRCUMSTANCES THAT DO NOT APPLY TO OTHER PROPERTIES WITHIN THE SETBACK.



Franklin County  
Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

Application for

# Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 3 of 7



Case# VA-

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

YES, A LITERAL INTERPRETATION WOULD DEPRIVE THE APPLICANT THE RIGHTS COMMONLY ENJOYED BY OTHERS. THIS INCLUDES THE ABILITY TO MODIFY THE FORM & FUNCTION OF THE RESIDENCE, WHICH COULD NEGATIVELY IMPACT ENJOYMENT OF THE PROPERTY AS WELL AS FUTURE MARKETABILITY.

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

THE SPECIAL CONDITIONS WERE NOT A RESULT OF ACTION BY THE APPLICANT, BUT RATHER CHANGES TO THE ZONING REQUIREMENTS OVER THE LIFE OF THE IMPACTED STRUCTURES.

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

NO SPECIAL PRIVILEGE WOULD BE CONVEYED IF APPROVED. AS EVIDENCE, THE TWO ADJACENT PROPERTIES WERE RECENTLY DEVELOPED AND MODIFIED, AND ARE BOTH SUBJECT TO THE SAME ZONING REQUIREMENTS.

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

NO. THE PROPERTY USE IS NOT CHANGING, THE PROPOSED CHANGES ARE MINIMAL, AND DO NOT IMPINGE ON SETBACKS, EASEMENTS OR ROW.

6. Can there be any beneficial use of the property without the variance?

THE PROPERTY IS ALREADY BEING PUT TO BENEFICIAL USE AS A RESIDENCE BY THE OWNER. THE VARIANCE IS BEING REQUESTED SO THAT THE STRUCTURES CAN CONTINUE PROVIDING THESE BENEFICIAL USES WELL INTO THE FUTURE.





# Zoning Variance



Case# VA-

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

APPROX 1,130 SQFT IN ADDITIONS AND APPROX 335 SQFT OF REMOVALS. OVERALL  
THE NET IMPERMEABLE ADDITIONS EQUATE TO AN INCREASE OF 20% TO THE  
EXISTING HOUSE AND GARAGE, AND AN INCREASE OF LESS THAN 1% OF THE 2.219 ACRES.

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

NO, THE PROPOSED ADDITIONS ALIGN WITH THE CHARACTER OF THE NEIGHBORHOOD AND RURAL  
ZONING DISTRICT. ADJOINING PROPERTIES ARE NOT NEGATIVELY IMPACTED DUE TO ADHERANCE  
TO PROPERTY SETBACKS AND OPPOSITION ROAD'S DRAINAGE CULVERT THAT DIVERTS  
MOST RUNOFF AROUND THE PROPERTY & PROPOSED ADDITIONS.

9. How would the variance adversely affect the delivery of governmental services? (e.g., water, sewer, garbage, fire, police - Verification from local authorities - i.e. fire might be required)

THERE WOULD BE NO CHANGE TO THE DELIVERY OF GOVERNMENT SERVICES. WATER  
AND SEWER DO NOT SERVE THE PROPERTY. POLICE, FIRE, GARBAGE AND POSTAL  
ALL CURRENTLY SERVE THE PROPERTY AND WILL NOT REQUIRE CHANGES.

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

THE EXTENT OF THE ZONING RESTRICTIONS WERE UNKNOWN AT THE TIME OF PURCHASE  
SINCE THE PURCHASE WAS CONCURRENT WITH ZONING AMENDMENT. THE PROPERTY  
CLOSED JUNE 20, 2006, THE ZONING RESOLUTION WAS PUBLISHED JUNE 11, 2006.

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

NO. THE PROPERTY LIES FULLY WITHIN THE RIPARIAN SETBACK PER THE  
ZONING COMMISSION'S PUBLISHED MAPS, THE ONLY METHOD AVAILABLE TO THE  
OWNER IS TO OBTAIN A VARIANCE.

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

YES, THE OWNER SUPPORTS THE SPIRIT AND INTENT OF THE ZONING REQUIREMENTS  
ALONG THE BIG DAWY CREEK, AND BELIEVES THIS WILL BE MAINTAINED IF THE  
VARIANCE IS APPROVED. THIS IS A CURRENTLY DEVELOPED PROPERTY WHICH EXISTED  
PRIOR TO THE ACCORD, THE PROPOSED CHANGES ARE MINIMAL AND SUPPORT  
THE ORIGINAL PURPOSE OF THE DWELLING, AND DO NOT REPRESENT A  
SIGNIFICANT CHANGE TO THE WATERSHED.



Franklin County Board of Commissioners

# ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department  
James Schimmer, Director

Application for

# Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 5 of 7



Case# VA-

### Affidavit \*\*

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form and all applicable requirements of the Franklin County Zoning Resolution. The affiant further acknowledges that a Certificate of Zoning Compliance may only be issued for an approved Variance within the period of one (1) year from the date of final approval by the Board of Zoning Appeals; if an approved Variance has not been used within one (1) year of its date of issuance, meaning there has not been active and substantial improvement to a property in accordance with a valid Variance, then the Variance shall expire and no work may commence or continue without either renewing the Variance or receiving a new Variance approval from the Board of Zoning Appeals in accordance with Section 810 of the Franklin County Zoning Resolution.

[Signature]  
Applicant/Authorized Agent

9/12/2023  
Date

[Signature]  
Property Owner (signature must be notarized)

9/12/2023  
Date

\_\_\_\_\_  
Property Owner (signature must be notarized)

\_\_\_\_\_  
Date

- \*Agent must provide documentation that they are legally representing the property owner.
- \*\*Approval does not invalidate any restrictions and/or covenants that are on the property.

STATE OF OHIO  
COUNTY OF Licking

Sworn to (or affirmed) and subscribed before me  
this 12 day of Sept., 2023, by Scott Simpson

[Signature] Notary Public's Signature      Joel Kessler Notary Name  
Personally Known  OR  
Type of Identification Produced \_\_\_\_\_



**JOEL KEGLER**  
Notary Public, State of Ohio  
Commission #: 2023-RE-658341  
My Commission Expires 01-11-28



**Application Instructions**

Please submit the following:

- SAD ✓ 1. Application Form  
 Completed application form with notarized signatures
- 2. Fee - non refundable \*Please refer to our most current fee schedule by visiting [www.franklincountyohio.gov/edp](http://www.franklincountyohio.gov/edp)  
 Checks only payable to *Franklin County Treasurer*
- SAD ✓ 3. Covenants or deed restrictions  
 Provide a copy of your deed with any deed restrictions  
 You can access and print a copy by visiting: [www.franklincountyohio.gov/recorder](http://www.franklincountyohio.gov/recorder)
- SAD ✓ 4. Auditor's Tax Map  
 Provide a map showing the subject property and all land within 500 feet of the property.  
 You can access and print a copy of the map by visiting: [www.franklincountyohio.gov/auditor](http://www.franklincountyohio.gov/auditor)
- 5. Site Map - Refer to Page 7
- SAD ✓ 6. Proof of utility service  
 Provide proof from the provider of your water and wastewater services

*Note: If centralized water and/or sewer services are provided by a private/public entity, you must provide a letter or current bill verifying that services are provided or access is available. If you're proposing an on-lot septic system or well, please provide information from the Franklin County Board of Health (or appropriate agency).*







## Site Plan Requirements

- The site plan must be prepared by a design professional (i.e. registered surveyor, engineer and/or architect) and include all items required under Sections 705.022 and 810.022 of the Franklin County Zoning Resolution
  - *Site plans which are incomplete and/or not drawn to scale will not be accepted.*
- Two (2) copies - minimum size of 8.5"x11" paper, maximum size of 11"x17" paper \*Larger size copies are acceptable in addition to the min./max. sizes required
- North arrow and appropriate scale (i.e. 1 inch = 20 feet)
- Property lines, with the exact dimensions of the lot labeled
- Street right-of-way boundaries including street centerline
- The exact dimensions and location of all existing buildings (principal and accessory), structures (decks, patios, pools, paved parking areas, courtyards, etc.) and driveways/access points, indicating setbacks of each from property lines with measurements/distances labeled
- The exact dimensions, height and location of all proposed buildings, structures, additions, or modifications to the property, indicating setbacks from property lines with measurements/distances labeled
- Landscaping details - provide the quantity, location, size and plant species (Ohio Native Non-Invasive Only) used
- All open space areas including calculations (percentage) of impervious vs. pervious surface
- Building elevations and/or architectural renderings
- Parking layout with required parking calculations provided
- Lighting details - location, type of fixture (illustration), height and strength (footcandles/lumens)
- Existing and intended uses of all buildings and structures
  - *If multiple uses are being conducted within one building, the site plan must reflect the area of the building being occupied by each individual use*
- All easements and above/below ground utilities
- Regulatory floodplain (Floodway and Floodway Fringe) and riparian setback boundaries, when applicable
- All existing and proposed above and below ground drainage and stormwater features
  - *Refer to the Franklin County Stormwater Drainage Manual*
- Site topography (two (2) ft. contour intervals)
- Details regarding the location, height, maintenance and screening for any existing or proposed trash dumpster
- Screening details - *Refer to Section 521 of the Franklin County Zoning Resolution*
- Provisions for water and sanitary services including the the exact location, dimensions and setbacks from property lines and structures of all private/public water and wastewater treatment facilities
  - *If public water and sewer services are provided, proof of services must be submitted*
- All areas of disturbance, including grading, filling, clearing, excavating, etc.
- Erosion and sediment control plan
- All fence locations, indicating height and material(s) used
- Any other information with regard to the lot or neighboring lots which may be necessary to determine and provide for the enforcement of the Franklin County Zoning Resolution
  - *Please note that the requirements mentioned above, or portions of, may be waived by the Administrative Officer when, in his/her opinion, the applicant has satisfactorily demonstrated that all aspects relative to the above have been suitably addressed*

SEP 13 2023



Franklin County  
Best of Both Worlds

ECONOMIC DEVELOPMENT  
& PLANNING

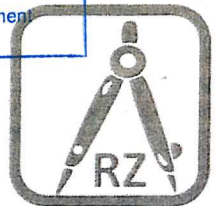
Economic Development & Planning Department  
James Schimmer, Director

Application for

Franklin County Planning Department  
Franklin County, OH

Certificate of  
Zoning Compliance

Residential Construction  
Page 1 of 3



(revised 10.11.21)

Property Information

Site Address: 475 HOPOSSUM RUN RD

Parcel ID(s): 230-000913-00	Zoning District: Rural (R)
Lot Acreage: 2.219	Township: PLEASANT

Property Owner Information

Name: SCOTT DIMPFL  
 Street: 475 HOPOSSUM RUN RD  
 City: GROVE CITY State: OH Zip: 43123  
 Phone # \_\_\_\_\_ Fax # \_\_\_\_\_  
 Email: \_\_\_\_\_

Applicant Information

Name: SHAWN DAVIS  Same as property owner  
 Street: 4394 BROADWAY  
 City: GROVE CITY State: OH Zip: 43123  
 Phone # 614-878-9588 Fax # \_\_\_\_\_  
 Email: ACCOUNTING@SHAWNRENOVATIONS.COM

Development Proposal

<input type="checkbox"/> New Residence	<input checked="" type="checkbox"/> Room Addition 1100 Sq Ft.
<input type="checkbox"/> Patio/Deck	<input type="checkbox"/> Swimming Pool
<input type="checkbox"/> Detached structure (pole barn, shed, etc.)	<input type="checkbox"/> Home Occupation
<input type="checkbox"/> Pond	<input type="checkbox"/> Driveway, parking pad, etc.
<input type="checkbox"/> Interior remodel, fire rehab, etc.	<input type="checkbox"/> Land Disturbance (grading, filling, etc.)
<input type="checkbox"/> Roofing, siding and/or window replacement	<input type="checkbox"/> Minor Subdivision (lot split, etc.)
<input type="checkbox"/> Community Garden	<input type="checkbox"/> Apiaries
<input type="checkbox"/> Other (please describe):	

Applicant Signature

I, Shawn Davis (Print Name), hereby certify that all information provided is true and accurate and is submitted to induce the issuance of a Certificate of Zoning Compliance. I agree to be bound by all provisions of the Franklin County Zoning Resolution. I further agree to complete all work in accordance with all applicable Federal, State and local laws and regulations

Shawn Davis  
Applicant's Signature

8/15/23  
Date

Staff Use Only

RZ# 23-283

Date Filed: 08/18/2023

Fee Paid: \$75.00

Receipt #: 23-03324

Received By: Austin W.

Water Supply

- Public (Central)
- Private (On-site)
- Other

Wastewater Supply

- Public (Central)
- Private (On-site)
- Other

Submittal Checklist

- Completed Application Form
- Fee Payment (check/money order only)
- Site Plan (max. 11"x17") see pg. 2
- Proof of Public Water/Wastewater
- Supporting Documents (Home Occupation, Pond, Apiaries, etc.)





## Site Plan Requirements

\*\*\* Site plans which are incomplete and/or not drawn to scale will not be accepted\*\*\*

### • Preparation & Submittal

- The site plan must be prepared by a design professional (i.e. registered surveyor, engineer and/or architect) for all new home builds, accessory buildings larger than 200 ft<sup>2</sup>, any project involving grading work within 30 ft of a lot line, and any other project deemed necessary by the Administrative Officer as provided for in Section 705.022 of the Franklin County Zoning Resolution
- Two (2) copies: Minimum size = 8.5" x 11" paper, Maximum size = 22" x 34" paper
  - Plans larger than 11" x 17" must be accompanied by a digital copy in PDF format

### • Basic Content

- North arrow and appropriate scale (i.e. 1 inch = 20 feet)
- Property lines labeled with dimensions. (Dimensions must be precise to 0.01' for professionally prepared plans and 1' for personally prepared plans.)
- Street right-of-way boundary and street centerline

### • Show all existing site conditions (label as "Existing"):

- Location and dimensions of all existing buildings, structures\* and landscaping
- Driveways, parking pads and other parking areas labeled with the dimensions and associated surface material
- On-site water and sanitary system location and dimensions. Provide proof of public water and/or sewer otherwise
- Existing use(s) of all buildings with associated gross floor area (GFA)
- All easements and utilities (*above and below ground*). Easement information available at the County Recorder's office.
- Existing above and below ground drainage and stormwater features

*\*Structures may include but are not limited to swimming pools, ponds, sports courts, patios, porches, decks, overhangs and fences*

### • Show all proposed development (label as "Proposed"):

- Location and dimensions of all proposed buildings, structures, additions, modifications to buildings/structures, and geothermal systems.
- Setback distance of all proposed development from the house, street centerline and all property lines
- Building elevations and/or architectural renderings (*if applicable*)
- Impervious surface locations and dimensions with total lot coverage calculations provided
- Grading and drainage plan showing proposed above and below ground drainage and stormwater features. (existing and proposed 1' contours, and discharge outlets for downspouts, sump pumps and discharging geothermal systems)
- Area (ft<sup>2</sup>) of disturbance (i.e. grading, filling, clearing and excavating, etc.) drawn and labeled
- Label buildings and/or structures to be demolished or removed (TBR) from the property

### • Additional Content

- Regulatory floodplain and riparian setback boundaries (*if applicable*)
- Erosion and sediment control plan (*if applicable*)

*Please note that the requirements mentioned above, or portions of, may be waived by the Administrative Officer when, in his/her opinion the applicant has satisfactorily demonstrated that all aspects relative to the above have been suitably addressed.*





# Certificate of Zoning Compliance

Residential Construction

Page 3 of 3

**RZ#** RZ-23-283

## Staff Use Only

### Development Standards

Zoning District:	Rural (R)	
Subdivision Name		
Non-Conforming:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Floodplain:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Riparian Setbacks:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
VA/CU Required:	<input type="checkbox"/> Yes, Case #:	<input type="checkbox"/> No

	Required	Proposed
Lot Width:	ft	ft
Road Frontage:	ft	ft
Lot Area:	acre/s	2.30 acre/s
Lot Coverage:	%	4.76 %
Front Yard:	20 ft	114 ft
Side Yard (Left)*:	20 ft	42 ft
Side Yard (Right)*:	20 ft	135 ft
Rear Yard:	20 ft	265 ft
Distance from house	10 ft	31 ft
Building Height:	25 ft	ft
Parking Setback:	ft	ft

\*As viewed from the street

### Area Calculations

Principal Structure:	1571.81	ft <sup>2</sup>
Accessory Structure:	550	ft <sup>2</sup>
Accessory Structure:	1616.58	ft <sup>2</sup>
Accessory Structure:		ft <sup>2</sup>
Proposed Structure:	550	ft <sup>2</sup>
Proposed Structure:	485.5	ft <sup>2</sup>
Area of Disturbance:	.1096	acre/s

### Technical Agencies

<b>Public Health/OEPA</b>	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Date Submitted:		
Date of Action:		
<b>County Engineer</b>	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Date Submitted:		
Date of Action:		
<b>FSWCD</b>	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Date Submitted:		
Date of Action:		
<b>ODOT</b>	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Date Submitted:		
Date of Action:		
	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Date Submitted:		
Date of Action:		

### Staff Action

Approved     Approved with Conditions     Denied

Signature Kayla Johnson

Date 9/7/2023

### Comments/Conditions of Approval

Height cannot exceed 25 feet. The entire property is within the Big Darby Watershed Riparian setback. Applicant can apply for a variance for prohibited construction in the riparian setback (section 650.162(a) of the Franklin County Zoning Resolution).





RECEIVED

SEP 13 2023

Franklin County Planning Department  
Franklin County, OH

GENERAL NOTES

A. GENERAL REQUIREMENTS

- 1. GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS AND SHALL BE READ IN CONJUNCTION WITH THE GENERAL STRUCTURAL AND ARCHITECTURAL NOTES AND THE DRAWINGS. THE MOST RECENT REVISED SHALL GOVERN.
2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
3. DIMENSION CODES: STRIPES INDICATE AS SET FORTH BY CURRENT 2019 RESIDENTIAL CODE OR 2020.

B. GENERAL STRUCTURAL REQUIREMENTS

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA table with columns for WIND SPEED, SNOW LOAD, SEISMIC, etc.

- 1. STRUCTURAL MEMBERS DESIGN CRITERIA
A. 40 PSF LIVE LOAD IN ALL LIVING AREAS
B. 10 PSF DEAD LOAD IN ALL LIVING AREAS
C. 15 PSF DEAD LOAD IN ALL LIVING AREAS
D. 20 PSF DEAD LOAD IN ALL LIVING AREAS
E. 15 PSF DEAD LOAD IN ALL LIVING AREAS
F. 10 PSF DEAD LOAD IN ALL LIVING AREAS
G. 5 PSF DEAD LOAD IN ALL LIVING AREAS
H. 10 PSF DEAD LOAD IN ALL LIVING AREAS
I. 15 PSF DEAD LOAD IN ALL LIVING AREAS
J. 20 PSF DEAD LOAD IN ALL LIVING AREAS
K. 25 PSF DEAD LOAD IN ALL LIVING AREAS
L. 30 PSF DEAD LOAD IN ALL LIVING AREAS
M. 35 PSF DEAD LOAD IN ALL LIVING AREAS
N. 40 PSF DEAD LOAD IN ALL LIVING AREAS
O. 45 PSF DEAD LOAD IN ALL LIVING AREAS
P. 50 PSF DEAD LOAD IN ALL LIVING AREAS
Q. 55 PSF DEAD LOAD IN ALL LIVING AREAS
R. 60 PSF DEAD LOAD IN ALL LIVING AREAS
S. 65 PSF DEAD LOAD IN ALL LIVING AREAS
T. 70 PSF DEAD LOAD IN ALL LIVING AREAS
U. 75 PSF DEAD LOAD IN ALL LIVING AREAS
V. 80 PSF DEAD LOAD IN ALL LIVING AREAS
W. 85 PSF DEAD LOAD IN ALL LIVING AREAS
X. 90 PSF DEAD LOAD IN ALL LIVING AREAS
Y. 95 PSF DEAD LOAD IN ALL LIVING AREAS
Z. 100 PSF DEAD LOAD IN ALL LIVING AREAS

C. CARPENTRY/FRAMING

- 1. FURNISH ALL LABOR, MATERIALS & EQUIPMENT NECESSARY TO COMPLETE CARPENTRY WORK AS SHOWN ON THE CONSTRUCTION DOCUMENTS AND/OR SPECIFIED HEREIN AND LISTED BELOW.
2. ALL STRUCTURAL CONNECTIONS, INCLUDING BUT NOT LIMITED TO FASTENERS, CONCRETE & MASONRY CONNECTIONS, JOIST CONNECTIONS, TRUSS CONNECTIONS, RAFTER CONNECTIONS, GABLE END BRACES, HANGERS, ANGLES, STRAPS, SHALL BE EVALUATED BY A REGISTERED PROFESSIONAL ENGINEER.
3. DIMENSIONAL LUMBER FRAMING SHALL PROVIDE THE DESIGN VALUES EQUAL TO OR EXCEEDING THE FOLLOWING:
MODULUS OF ELASTICITY (E) 1,000,000 PSI
RIBER STRESS IN BENDING (FB) 1,200 PSI
HORIZONTAL SHEAR (FV) 100 PSI
HEADERS:
MODULUS OF ELASTICITY (E) 1,000,000 PSI
RIBER STRESS IN BENDING (FB) 1,200 PSI
HORIZONTAL SHEAR (FV) 100 PSI
LAMINATED VENEER LUMBER (LVL) SHALL PROVIDE THE DESIGN VALUES EQUAL TO OR EXCEEDING THE FOLLOWING:
MODULUS OF ELASTICITY (E) 1,000,000 PSI
RIBER STRESS IN BENDING (FB) 1,200 PSI
HORIZONTAL SHEAR (FV) 100 PSI
PARALLEL STRAND LUMBER (PSL) SHALL PROVIDE THE DESIGN VALUES EQUAL TO OR EXCEEDING THE FOLLOWING:
MODULUS OF ELASTICITY (E) 1,000,000 PSI
RIBER STRESS IN BENDING (FB) 1,200 PSI
HORIZONTAL SHEAR (FV) 100 PSI
4. ROOF & FLOOR TRUSS SYSTEMS SHALL BE DESIGNED BY THE TRUSS MANUFACTURER & PERFORMED UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER.
5. MN BEARINGS ON WOOD OR METAL TO BE 1" X 3" ON MASONRY W/ ALL LOADS SOLID BLOCKED FROM ROOF TO FOUNDATION.
6. RAFTERS SHALL NOT BE CUT, NOTCHED, DRILLED, SPICED OR OTHERWISE ALTERED IN ANY WAY WITHOUT THE APPROVAL OF A REGISTERED DESIGN PROFESSIONAL.
7. RAFTERS SHALL BE CONNECTED TO WALL PLATES BY THE USE OF APPROVED CONNECTIONS HAVING A RESISTANCE TO UPLIFT OF NOT LESS THAN 175 LBS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
8. ALL WOOD PLATES IN CONTACT WITH CONCRETE SHALL BE PRESURE PRESERVATIVE TREATED WOOD.
9. ALL VERTICAL JOINTS OF SHEATHING SHALL OCCUR OVER STUDS.
10. NOT LESS THAN 3 STUDS SHALL BE INSTALLED AT EVERY CORNER OF AN EXTERIOR WALL.
11. STUD SPACING FOR ALL EXTERIOR WALLS AND BEARING WALLS SHALL BE SPACED 16" O.C. UNLESS OTHERWISE NOTED.
12. PROVIDE BRACKETS AS REQUIRED FOR ALL LIGHT FIXTURES, CABINETS, WARDROBES, BRACKETS, HANGERS, GYPSUM BD., ETC.
13. PROVIDE "BOX-OUT" BRACING BEHIND ALL HEAT SUPPLIES IN WALLS COMMON TO GARAGE SPACE SO AS TO ALLOW A FULL 3/4" INCH INSULATION BATT BEHIND THE HEAT SUPPLY DUCT.
14. FIRESTOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE.
15. FRAMING UNDER PARALLEL BEARING PARTITIONS SHALL BE OF ADEQUATE SIZE TO SUPPORT THE LOAD. FRAMING THAT IS SEPARATED TO ALLOW FOR THE INSTALLATION OF PIPING OR VENT SHALL BE FULL DEPTH SOLID BLOCKED WITH LUMBER NOT LESS THAN 1 INCHES IN NOMINAL THICKNESS, SPACED NOT MORE THAN 4' O.C.
16. PROVIDE STUD GUARDS WHERE ANY PIPING IS LESS THAN 1 1/2 INCH FROM STUD FACE.
17. FASTENERS FOR PRESURE PRESERVATIVE TREATED WOOD SHALL BE G105 HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER.
18. ALL OPENINGS UP TO 3'-4" WIDE TO HAVE A MIN. OF 1-1/4" STUD GRADE BPF, JACK STUD UNLESS NOTED OTHERWISE.
19. ALL OPENINGS GREATER THAN 3'-4" WIDE TO HAVE A MIN. OF 2-1/4" STUD GRADE BPF, JACK STUD UNLESS NOTED OTHERWISE.
20. PROVIDE FLASHING AND SHEET METAL REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.
21. GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS AT ALL RAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR AND SPINDLES SHALL BE POSITIONED AS TO NOT ALLOW PASSAGE OF A 4" SPHERE.
22. HANDRAILS HAVE MIN AND MAX HEIGHT OF 34" & 38" MEASURED VERTICALLY FROM THE WORKING OF THE TREAD. TREAD HEIGHT SHALL BE 1 1/4" UNLESS OTHERWISE NOTED. HANDRAILS SHALL NOT HAVE SPACES LESS THAN 1 1/2" BETWEEN THE WALL AND HANDRAIL. THE HANDRAIL PORTIONS SHALL NOT BE MORE THAN 2 1/4" IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT DRIPPING SURFACE.
23. WOOD TRUSSES SHALL BE DESIGNED TO SUSTAIN THE LOADS FOR THE SPANS, TRUSS LOADS SHALL BE SECURELY BRACED BOTH DURING ERECTION & AFTER PERMANENT INSTALLATION IN ACCORDANCE WITH COMMENTARY AND RECOMMENDATIONS AS PUBLISHED BY THE TRUSS MANUFACTURER OR AS SHOWN ON SEALED DRAWINGS.
24. ALL TRUSSES SHALL BE SECURELY BRACED BOTH DURING ERECTION & AFTER PERMANENT INSTALLATION IN ACCORDANCE WITH COMMENTARY AND RECOMMENDATIONS AS PUBLISHED BY THE TRUSS MANUFACTURER OR AS SHOWN ON SEALED DRAWINGS.

H. ELECTRICAL

- 1. ALL ELECTRICAL SHALL COMPLY WITH THE 2019 NEC CODE.
2. METAL CONNECTORS SHALL BE INSTALLED IN DIRECT CONTACT WITH ANY PRESERVATIVE TREATED LUMBER SHALL BE STAINLESS STEEL TYPE 304 OR TYPE 316 OR HAVE A GALVANIZED COATING THAT COMPLES WITH ASTM A153 CONNECTIONS OR A-32 FASTENERS CLASS D STANDARD FOR FASTENERS. MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
3. OUTLETS - ELECTRICAL OUTLETS SHALL BE DISTRIBUTED PER SECTION 100-92 IN THE 2019 EDITION OF THE NEC. NEC 210.52.
4. TAMPER RESISTENT - IN ALL AREAS SPECIFIED IN ARTICLE 210 IN ALL 125 VOLT 15 AMPERE RECEPTACLES SHALL BE LISTED TAMPER RESISTENT RECEPTACLES (NEMA 6-15).
5. GFCI - ALL 120V SINGLE PHASE IN AND 120 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN BATHING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, KITCHENS, HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED GFCI INTERRUPTER - COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT PER NEC (4).
6. GROUND ELECTRIC SYSTEM INSTALLATION - ROD PIPE AND PLATE ELECTRODES SHALL MEET THE REQUIREMENTS OF NEC 250-90(C).
7. SMOKE DETECTORS SHALL BE INSTALLED INSIDE EACH BEDROOM OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND BE HARDWIRED WITH BATTERY BACKUP AND CONNECTED TOGETHER ALL SMOKE ALARMS TO A SINGLE AND PHOTOELECTRIC TECHNOLOGY ON ALL LEVELS. SMOKE ALARMS OUTSIDE OF BEDROOMS TO BE PHOTOELECTRIC TECHNOLOGY.
8. WEATHER RESISTANT SHEATHING PAPER ASPHALT SATURATED FELT OR OTHER WEATHER RESISTANT MATERIAL COMPLYING WITH ASTM D 715 SHALL BE APPLIED OVER WALL SHEATHING AND SHALL RUN CONTINUOUS BEHIND ALL ROOF TO WALL INTERSECTIONS.
9. MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION-RESISTANT METAL TIES.
10. VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 12 U.S. GAUGE BY HORIZONTAL, VERTICAL AND BE SPACED NOT MORE THAN 24" O.C. FEET OF WALL AREA ABOVE TIES AT 36" O.C. AROUND ALL OPENINGS WITH 12" OF OPENING. THERE SHALL BE 12" OF CLEAR SPACE BEHIND VENEER.
11. MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF VENEER ABOVE.
12. VENEER ABOVE OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED ON PLANS.
13. LENGTH OR BEARING SHALL NOT BE LESS THAN 4 INCHES.
14. MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND VENEER SUPPORTED BY HOT ROLLED STEEL ON THE FOUNDATION.
15. FLASHING SHALL BE INSTALLED PER SECTION 100.19 AND 100.9 OF THE CURRENT 2019 RESIDENTIAL CODE OF OHIO. (IF STUCCO VENEER, SECTION 100.21.1 OF THE CURRENT 2019 RESIDENTIAL CODE OF OHIO. (IF STUCCO VENEER, SECTION 100.21.1 OF THE CURRENT 2019 RESIDENTIAL CODE OF OHIO.
16. AN ICE BARRIER SHALL BE PLACED FROM THE SAVE EDGE TO A MINIMUM OF 24" FROM INSIDE FACE OF THE EXTERIOR WALL. USE 2 LAYERS OF 24" MINIMUM THICKNESS GEL-REINFORCED POLYMER MODIFIED BITUMEN SHEET.
17. ROOF SLOPED FROM 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL TWO LAYERS OF UNDERLAYMENT SHALL BE INSTALLED PER SECTION 100.21.1 OF THE 2019 R200 USE OF SINGLE LAYER OF 30 LB FELT UNDERLAYMENT IS EQUIVALENT TO DOUBLE LAYER OF 15 LB FELT DIRECT SUBSTITUTION IS ALLOWED).
18. THE TOTAL NET FREE AREA OF ROOF VENTING SHALL BE NOT LESS THAN 1 TO 150 OF THE AREA OF SPACE TO BE VENTILATED. TOTAL NET FREE AREA IS PERMITTED TO BE REDUCED TO 1 TO 200 PROVIDED AT LEAST 50% AND NOT MORE THAN 40% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED. THE BALANCE OF THE REQUIRED VENTILATING AREA SHALL BE PROVIDED AT THE EAVES.
19. INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1 INCH AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF THE VENT.
20. AN ATTIC ACCESS HAVING A VERTICAL HEIGHT OF 30 INCHES OR GREATER SHALL BE PROVIDED TO ATTIC AREAS EXCEEDING 30 SF. THE ROUGH FRAMED OPENING OF NOT LESS THAN 22 IN. X 22 IN. SHALL BE LOCATED IN A READILY ACCESSIBLE LOCATION. A 30 INCH UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT SOME POINT ABOVE THE ACCESS.
21. ALL OUTLETS TO BE 4 INCH, 90° GAUGE ALUMINUM WITH BAKED ENAMEL FINISH. OUTER DOWNSPOUTS SHALL BE 4 INCH, 20 GAUGE ALUMINUM WITH BAKED ENAMEL FINISH. CONNECT NEW DOWNSPOUTS TO EXISTING DRAIN PIPE SYSTEM.
22. AIR BARRIER & INSULATION INSTALLATION TO COMPLY WITH 2019 R200 TABLE 100.4.11.

E. ENERGY EFFICIENCY

- 1. ALL JOINTS, BEAMS, PENETRATIONS, OPENINGS BETWEEN WINDOWS AND DOORS AND THEIR RESPECTIVE FRAMING, AND OTHER SOURCES OF AIR LEAKAGE INfiltration OR EXfiltration THROUGH THE BUILDING ENVELOPE SHALL BE CALKED, GASKETED, WEATHERSTRIPPED, UNWRAPPED OR OTHERWISE SEALED.
2. INSULATION EXPOSED TO ATTIC, CRAWL SPACE OF DUELING UNIT SHALL HAVE MAXIMUM PERMITTED RATING OF 15 AND MAX. SPOKE DEVELOPMENT FACTOR OF 450 PER CODE SECTION 306.9.
3. ENCLOSED INSULATED RAFTER SPACES SHALL BE PROVIDED WITH CROSS VENTILATION OR VAPOR BARRIER.
4. COMBUSTIBLE INSULATION SHALL BE SEPARATED BY A MINIMUM DIMENSION OF 3 INCHES FROM NEARBY LIGHTING FIXTURES, FAN MOTORS AND ALL OTHER HEAT PRODUCING DEVICES.
5. INSULATION MATERIALS NOTALLED WITHIN FLOOR CEILING ASSEMBLIES, CRAWL SPACES AND ATTIC SHALL A FLAME SPREAD INDEX NOT TO EXCEED 75 WITH A ACCOMPANYING SMOKE DEVELOPMENT INDEX NOT EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E84.

F. DOORS & WINDOWS

- 1. ALL PATIO DOORS SHALL HAVE THE OPERABLE LEAF TO THE INSIDE.
2. PROVIDE IMPERMEABLE GLAZING IN ALL AREAS DEEMED HAZARDOUS BY SECTION 308.4 OF THE CURRENT RES. BUILDING CODE OF OHIO.
3. ALL SAVED SLIDING GLASS DOORS, ENTRANCE DOORS AND BOTTOM PLATES SHALL BE CALKED (ALL SIDES OF OPENING) AND ALL WINDOW AND DOOR HEADS SHALL BE FLASHEED.
4. EMERGENCY AND ESCAPE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SF AND BE 20" X 24" AFF MAX.
5. EMERGENCY AND ESCAPE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING HEIGHT OF 24 INCHES AND WIDTH OF 20 INCHES.
6. OPENING SEPARATING GARAGE AND RESIDENCE SHALL BE SEPARATED WITH 20 MIN. RATED FIRE DOORS.
7. ANY WINDOW WITH 1" O.C. OR A DOOR, ALL Sidelites & SHOWER DOORS TO BE IMPERMEABLE PER CODE SECTION 308.9.
8. EXTERIOR DOORS SHALL HAVE A LANDING ON EACH SIDE THAT WILL NOT BE LESS THAN THE DOOR BEING SERVED WITH A MIN. OF 36" IN EACH DIRECTION PER CURRENT R200, SECTION 311.2.

G. HEATING & VENTILATION

- 1. ALL INTERIOR EXHAUST FANS SHALL DISCHARGE DIRECTLY TO THE EXTERIOR. DUMPING OF EXHAUSTED AIR TO ATTIC SPACES IS PROHIBITED.
2. CRAWL SPACE VENTILATION SHALL BE PROVIDED BY MECHANICAL VENTILATION AT A RATE OF 1.0 CFM FOR EACH 50 SQUARE FEET. INSTALL BLEEDER VALVE.
3. ALL HYAC SHALL COMPLY WITH 2019 CM2.
4. EXHAUST DUCTS SHALL BE EQUIPPED WITH A BACK DRAFT DAMPER. MECH. VENTILATION SHALL HAVE GRAVITY DAMPERS THAT CLOSE WHEN SYSTEM IS NOT IN OPERATION.
5. ALL HYAC EQUIPMENT SHALL BE INDIVIDUALLY SWITCHED.
6. ALL INTERIOR EXHAUST FANS SHALL DISCHARGE DIRECTLY TO THE EXTERIOR. DUMPING OF EXHAUSTED AIR TO ATTIC SPACES IS PROHIBITED.
7. BATHROOM AND POWDER ROOM EXHAUST FANS SHALL BE SIZED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND SHALL BE PROVIDED WITH A SUITABLE CAP AND BACK DRAFT DAMPER.
8. PROVIDE INDIVIDUAL GAS SHUTOFF VALVES TO RANGE, WATER HEATER, DRYER AND FURNACE IF APPLICABLE.
9. DUCTS ARE INSULATED WITH AT LEAST R-8 INSULATION WHERE LOCATED OUTSIDE THE THERMAL ENVELOPE.
10. CRAWL SPACE VENTILATION SHALL BE PROVIDED BY MECHANICAL VENTILATION AT A RATE OF 1.0 CFM FOR EACH 50 SQUARE FEET.

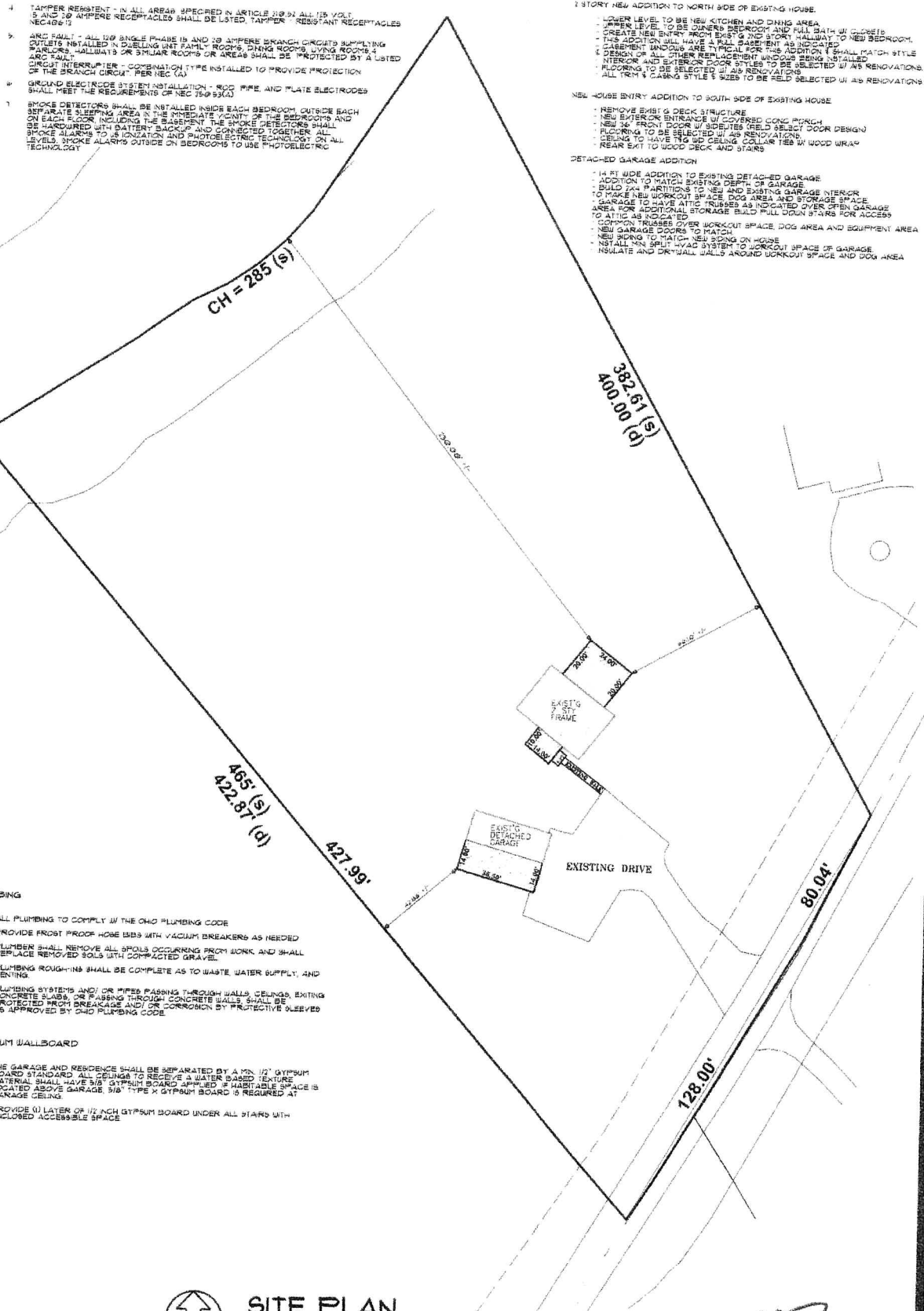
SCOPE OF WORK

- EXISTING HOUSE
- REMOVE EXISTING KITCHEN AND 1ST BR. BEDROOM AS INDICATED
- REPLACE ALL EXISTING WINDOWS (FELD VERIFY SIZE FOR REPLACEMENT)
- REMOVE EXISTING BRICK VENEER FELD SELECT PAINT COLOR
- REPLACE EXISTING SIDING AS NEEDED
- REMOVE EXISTING WINDOW B. LARGER THAN EXISTING WINDOW VERIFY ADEQUATE HEADER SIZE AND SPAN
- REMOVE EXISTING HYAC SYSTEM (SEE HYAC AND CONTRACTOR FOR SIZE AND PLACEMENT)
- ADD NEW WINDOWS AS INDICATED (FINISH TO MATCH)
- ADD NEW WINDOWS TO THE FRONT OF EXISTING HOUSE AS INDICATED

- 1 STORY NEW ADDITION TO NORTH SIDE OF EXISTING HOUSE
- LOWER LEVEL TO BE NEW KITCHEN AND DINING AREA
- FINISH LEVEL TO BE OVERS. BEDROOM AND FULL BATH W/ CLOSET
- CREATE NEW ENTRY FROM EXISTING 2ND STORY WALKWAY TO NEW BEDROOM
- THIS ADDITION SHALL HAVE A FULL BASEMENT AS INDICATED
- BASEMENT WINDOWS ARE TYPICAL FOR THIS ADDITION & SHALL MATCH STYLE EXTERIOR OF ALL OTHER REPLACEMENT WINDOWS BEING INSTALLED
- INTERIOR AND EXTERIOR DOOR STILES TO BE SELECTED W/ AS RENOVATIONS
- FLOORING TO BE SELECTED W/ AS RENOVATIONS
- ALL TRIM & CASING STILES & SIZES TO BE FIELD SELECTED W/ AS RENOVATIONS

- NEW HOUSE ENTRY ADDITION TO SOUTH SIDE OF EXISTING HOUSE
- REMOVE EXISTING DECK STRUCTURE
- NEW 24' FRONT ENTRY W/ COVERED CONC. PORCH
- NEW 36' FRONT DOOR W/ SIDELITES (FELD SELECT DOOR DESIGN)
- FLOORING TO BE SELECTED W/ AS RENOVATIONS
- BELONG TO HAVE TNG SIDING COLLAR TIES W/ WOOD URAM NEAR SET TO WOOD DECK AND STAIRS

- DETACHED GARAGE ADDITION
- 14 FT WIDE ADDITION TO EXISTING DETACHED GARAGE
- ADDITION TO MATCH EXISTING DEPTH OF GARAGE
- BUILD 24' PARTITIONS TO NEW EXISTING GARAGE INTERIOR
- GARAGE TO HAVE ATTIC TRUSSES AS INDICATED OVER OPEN GARAGE AREA
- ADDITIONAL STORAGE BUILT FULL DEPTH STAIRS FOR ACCESS TO ATTIC AS INDICATED
- CONFORM TRUSSES OVER WORKOUT SPACE, DOG AREA AND EQUIPMENT AREA
- NEW GARAGE DOORS TO MATCH EXISTING
- NEW FINISH W/ SIDING ON HOUSE
- INSTALL MN SPLIT HYAC SYSTEM TO WORKOUT SPACE OF GARAGE
- INSULATE AND CRITICAL WALLS AROUND WORKOUT SPACE AND DOG AREA



SITE PLAN SCALE: 1/4" = 1'-0"

SSD 7/27/2023

R. A. Long Design Services

DIMPFL RESIDENCE  
4754 OPOSSUM RUN RD  
GROVE CITY OH 43123

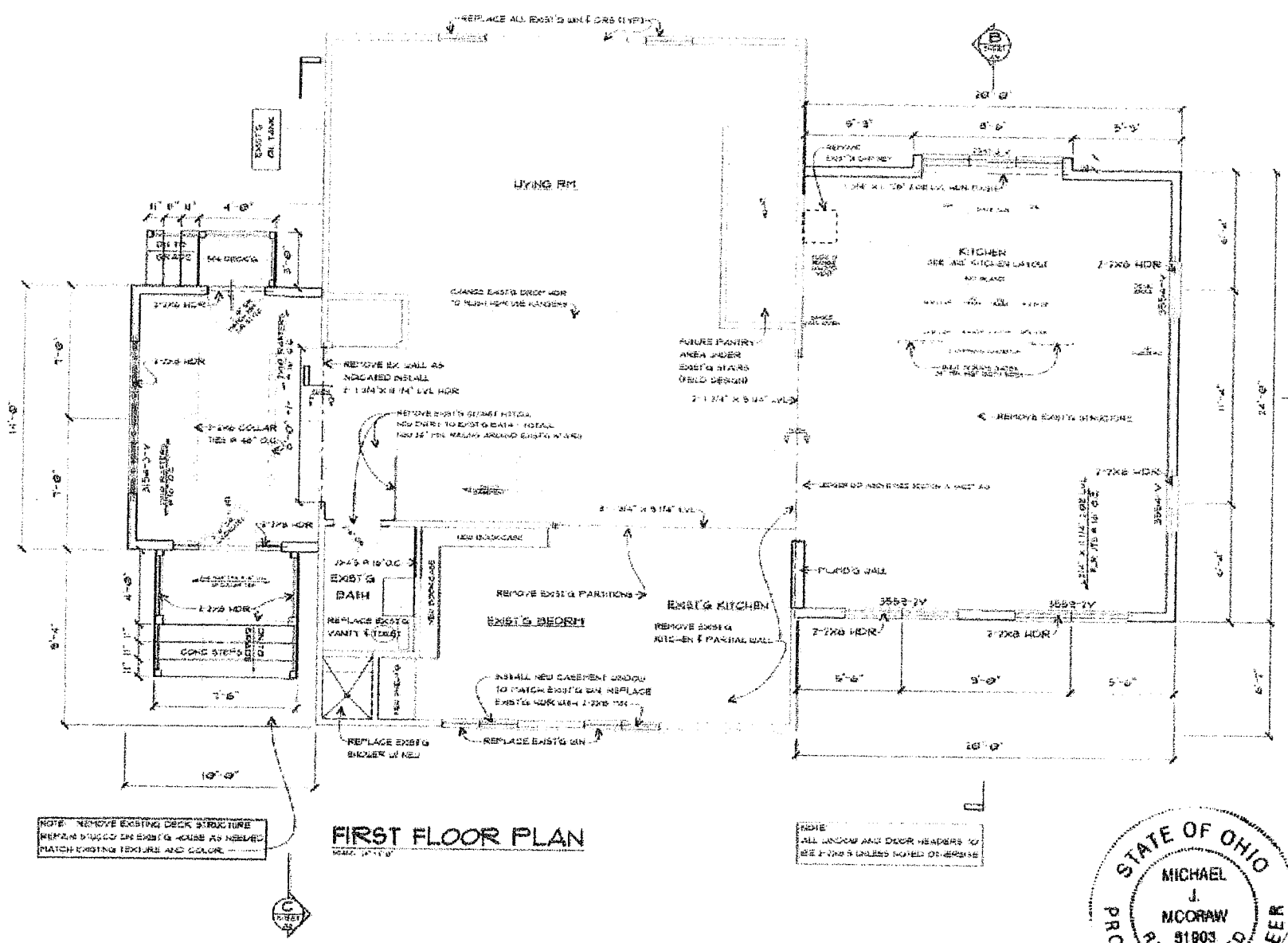
SCALE: 1" = 1'-0"  
R200 DATE: 7/11/23

DATE: 5/16 PLAN

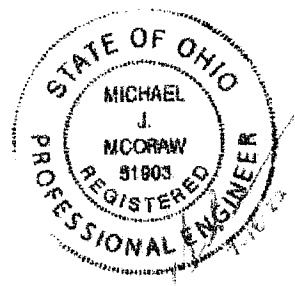
S-1







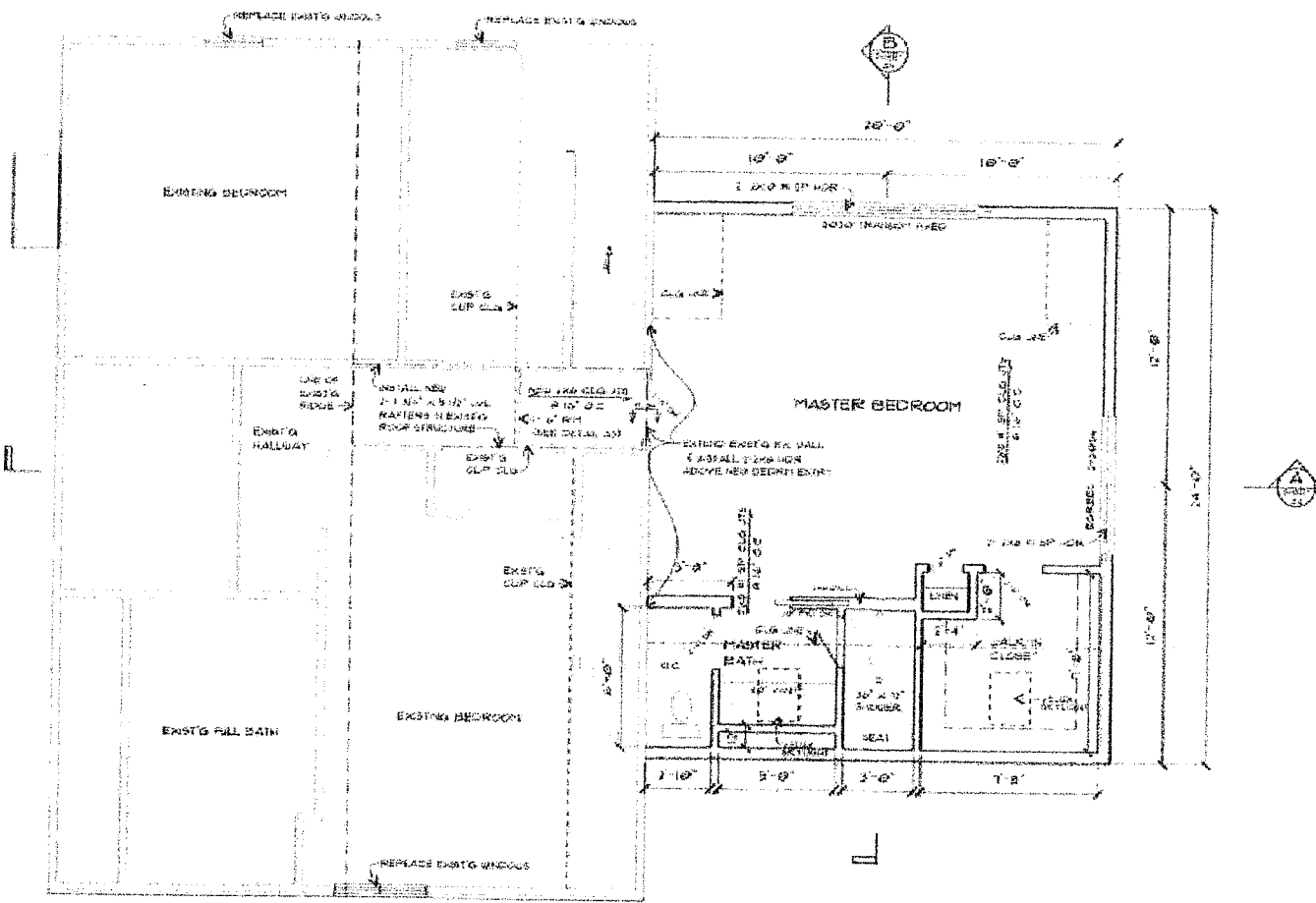
FIRST FLOOR PLAN



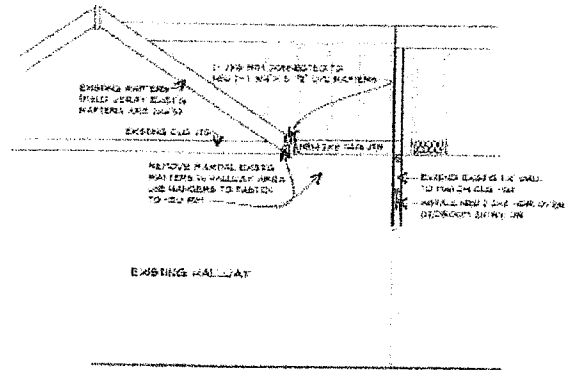
SSD  
7/27/2023





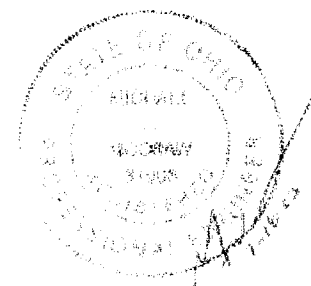


**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



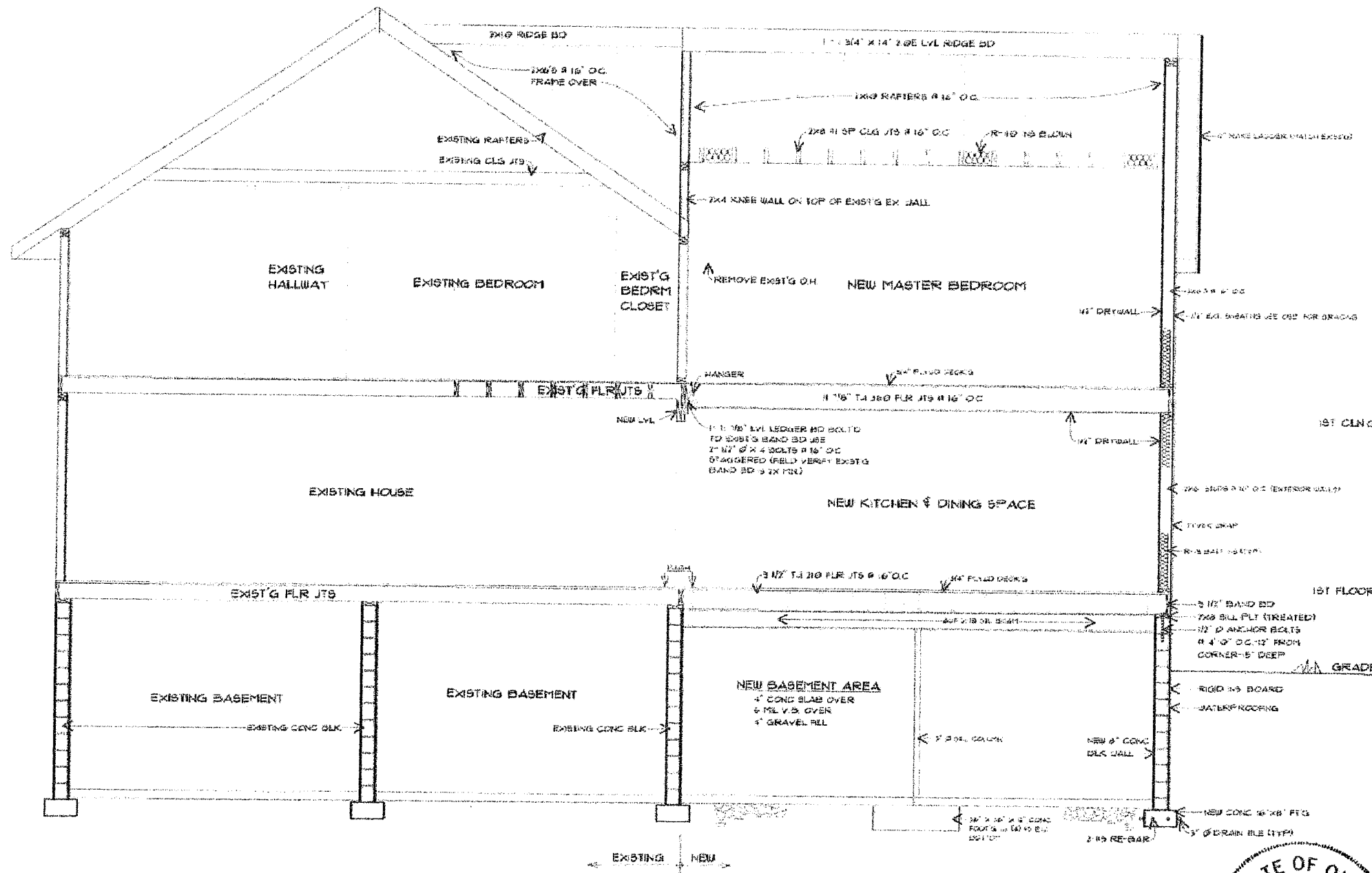
**A3 RAFTER DETAIL**  
SCALE: 1/4" = 1'-0"

NOTE:  
ALL WINDOW AND DOOR HEADERS TO  
BE 2x10'S UNLESS NOTED OTHERWISE



R. A. King Design Services 10000 W. 10th Ave., Suite 100 Denver, CO 80202	
<b>DIMPFL RESIDENCE</b> 4784 OROSBUM RUN RD GROVE CITY OH 43123	
SCALE: 1/8" = 1'-0"	SHEET: A3
DATE: 7/21/2023	

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7/21/2023



**BUILDING SECTION**

NOTE:  
FIELD VERIFY EXISTING PITCH & MATCH EXIST'G



1500 0455 7/1/23

ASS

H. A. Long Design Services

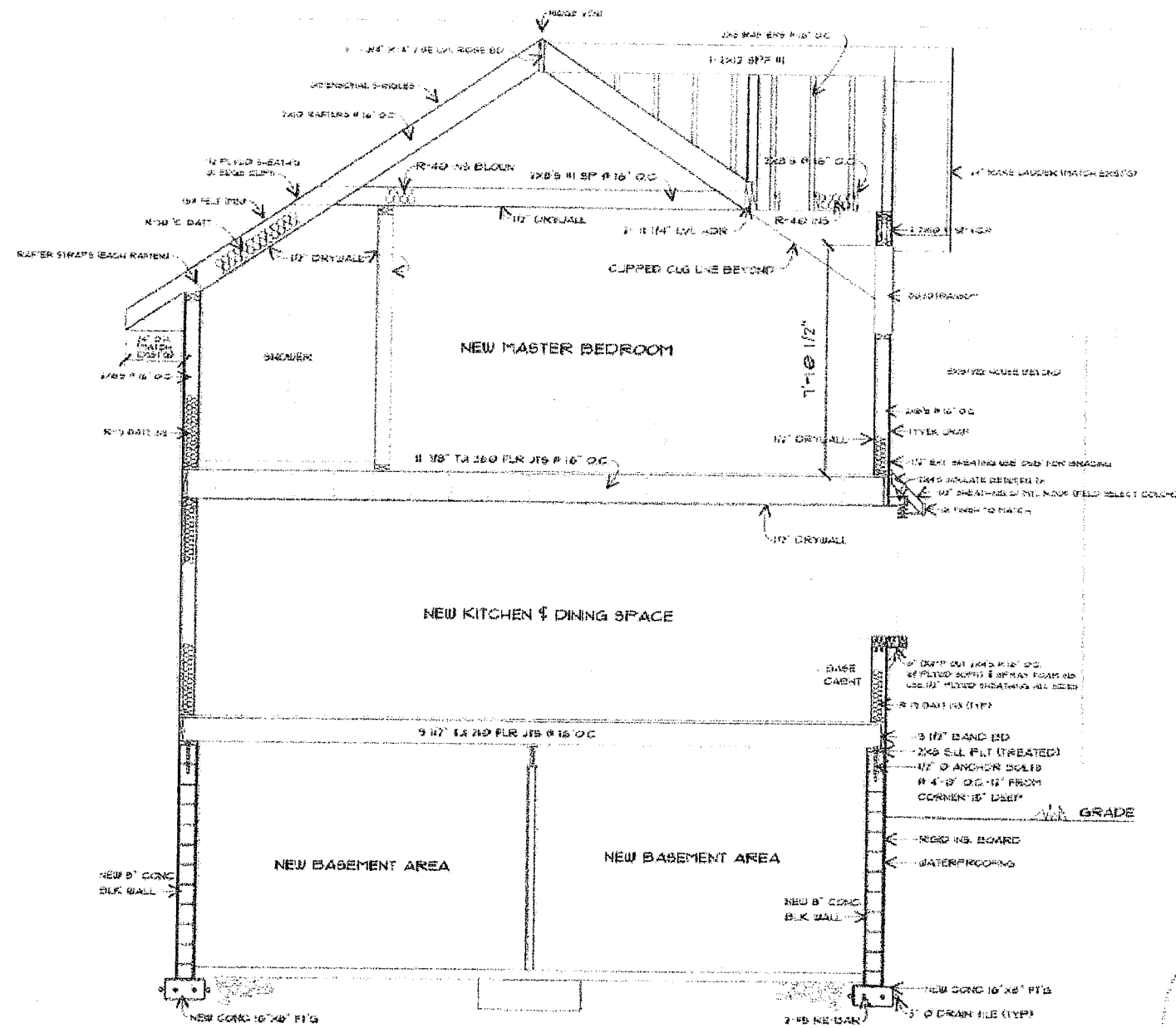
**DIMFEL RESIDENCE**  
4154 OPOSSUM RUN RD  
GROVE CITY OH 43123

SCALE: 3/8"

DATE: 7/21/23

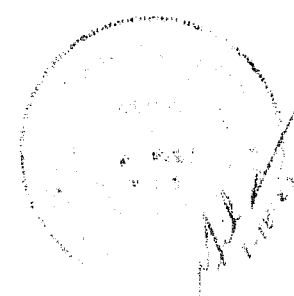
**A4**

SSD  
7/21/2023



**B BUILDING SECTION**  
SCALE: 1/8" = 1'-0"

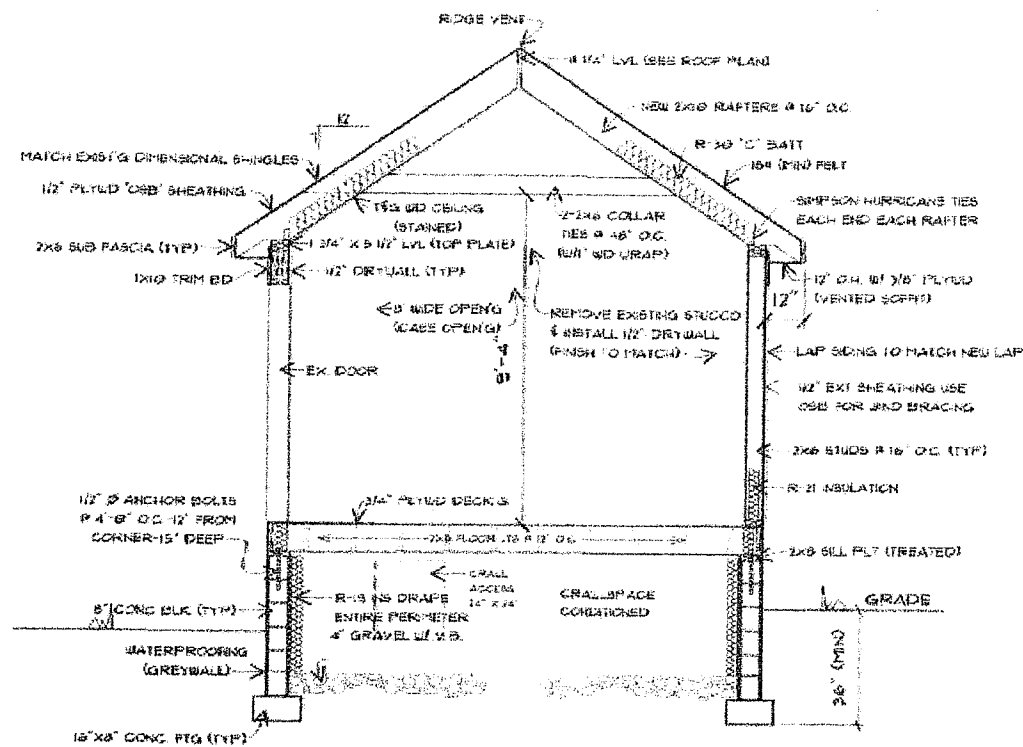
NOTE:  
 FIELD VERIFY EXISTING PITCH & MATCH EXIST'G



15004 DATE: 7/14/23
315
R. A. Long Design Services
4754 CROSBUM RUN RD GROVE CITY OH 43123
DIMPFL RESIDENCE
4754 CROSBUM RUN RD GROVE CITY OH 43123
SCALE: 3/8" = 1'-0"
SHEET SECTION
A5

*SSD*  
*7/27/2023*



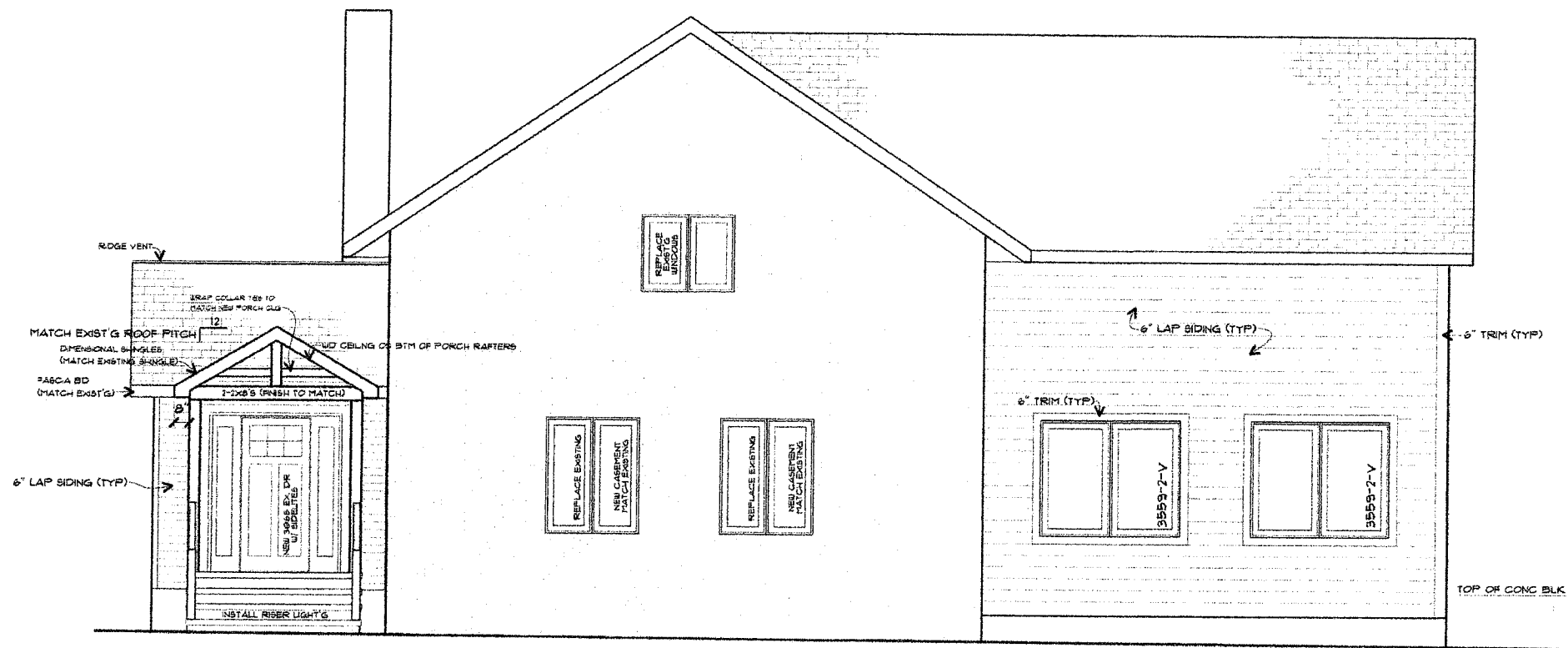


**C BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

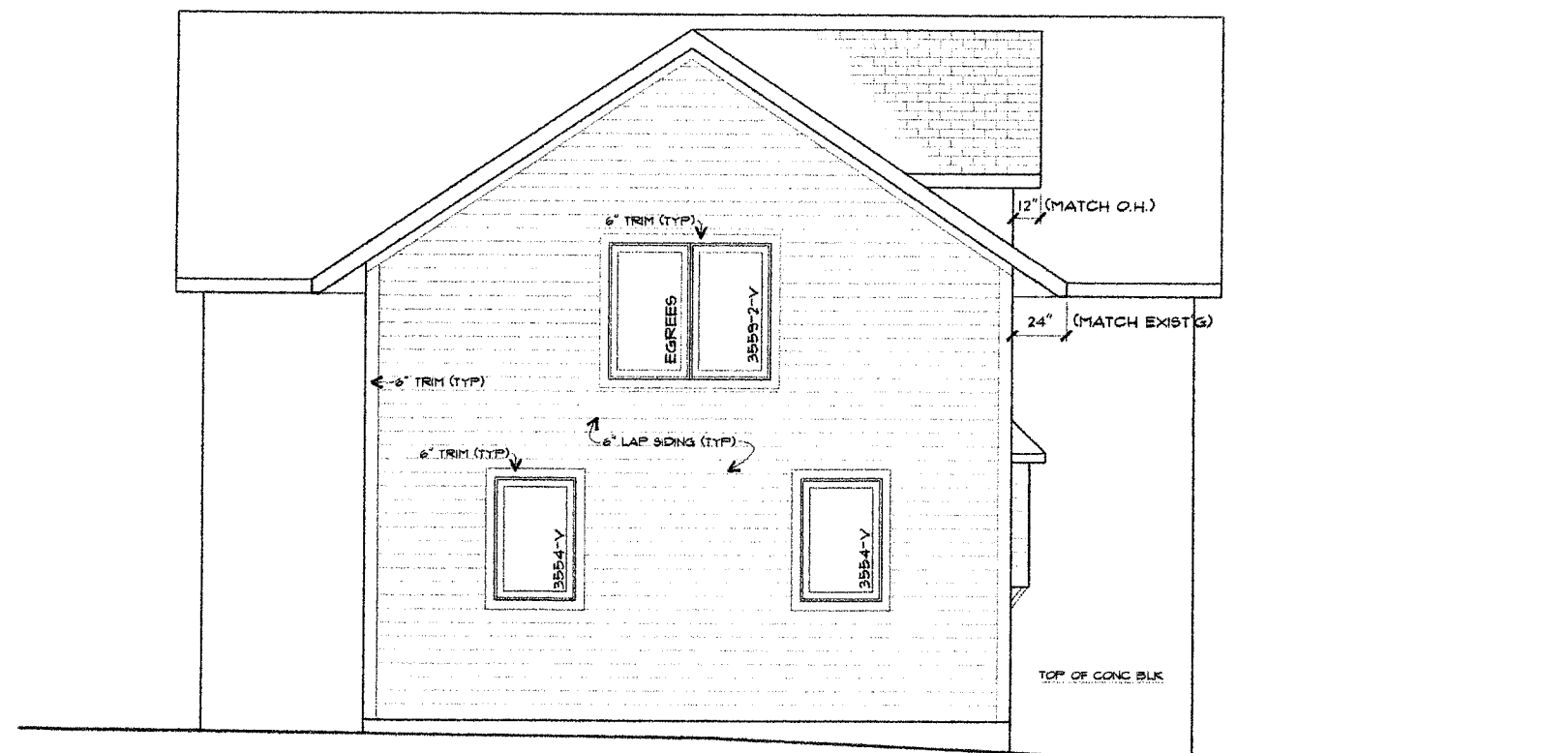


1844 042421/23 R. A. Long Design Services
<b>DIMPFL RESIDENCE</b> 4754 CROSSBURN RUN RD GROVE CITY OH 43122
SCALE: 3/8" SHEET: SECTION
A6

*SHD*  
7/27/2023



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

*Handwritten:* CJD  
7/27/2023

10506 04167/11/23

**ATS**

R. A. Long Design Services  
SUNBURY, OH 43074  
614-462-3291

**DIMPFL RESIDENCE**  
4154 OPOSSUM RUN RD  
GROVE CITY OH 43123

SCALE: 1/4"

SHEET:  
FRONT ELEVATION  
ELEVATIONS

**A7**



R. A. Long Design Services



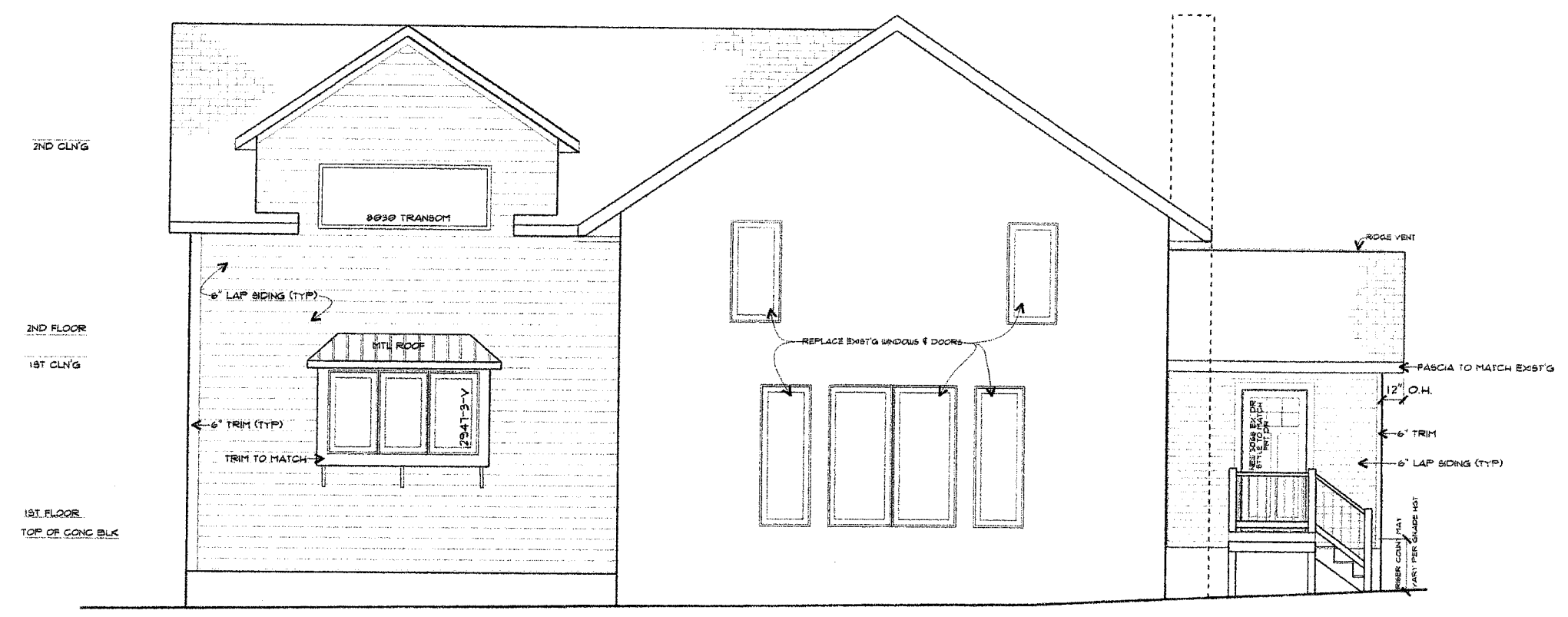
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4154 OPOSSUM RUN RD  
GROVE CITY OH 43123

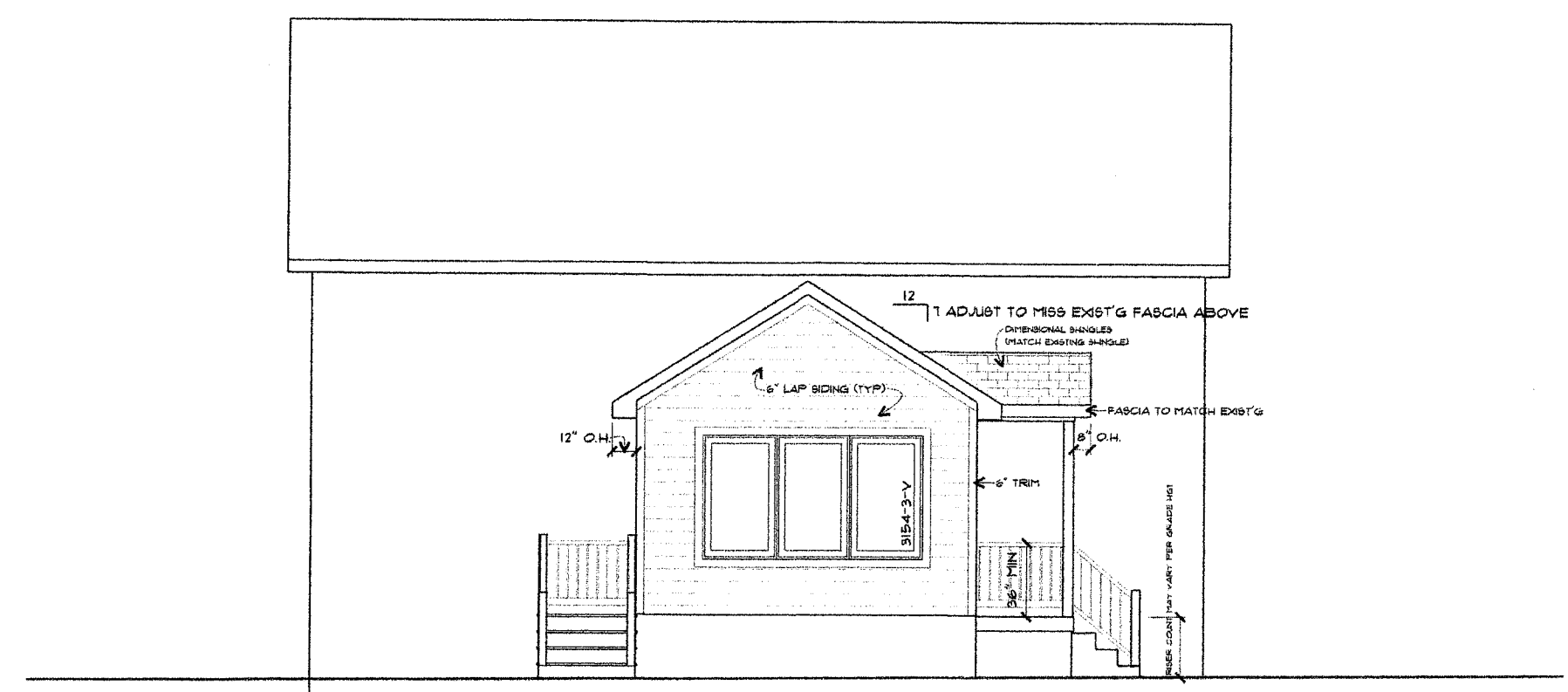
SCALE: 1/4"

SHEET:  
SIDE ELEVATIONS

A8



REAR ELEVATION  
SCALE: 1/4" = 1'-0"

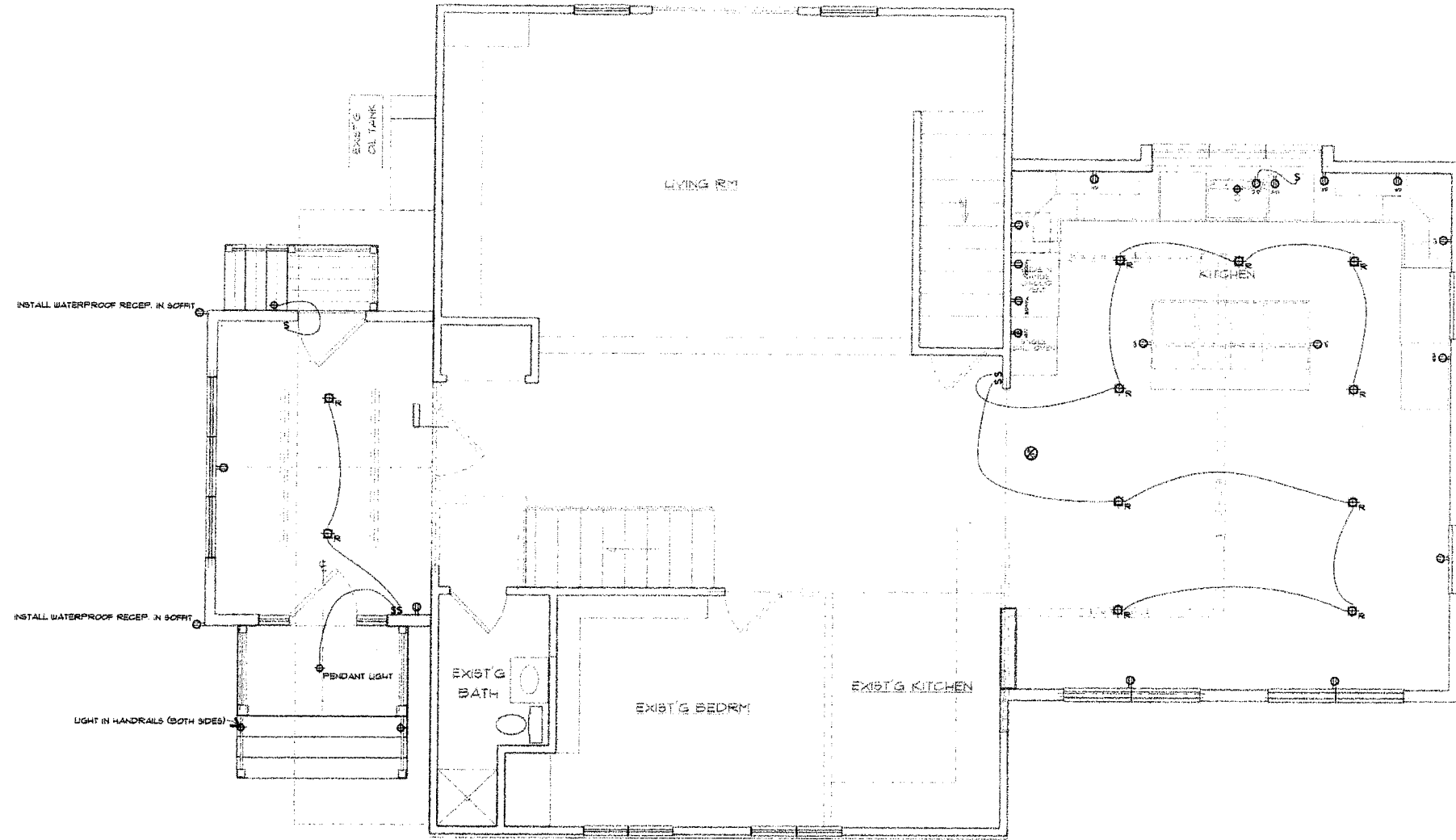


LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

SSD  
7/27/2023



ELECTRICAL LEGEND	
⊙	CEILING OR WALL MOUNTED LIGHT FIXTURE
⊙	CEILING OR WALL MOUNTED FULL CHAIN LIGHT FIXTURE
⊙	RECESSED LIGHT FIXTURE
⊙	110V. DUPLEX RECEPTACLE - 14" ABOVE FLOOR
⊙	220V. RECEPTACLE
⊙	110V. DUPLEX RECEPTACLE - GFI OUTLET
⊙	SINGLE POLE SWITCH - 52" A.F.F. (TYP)
⊙	THREE WAY SWITCH - 52" A.F.F. (TYP)
⊙	FOUR WAY SWITCH - 52" A.F.F. (TYP)
⊙	THERMOSTAT - 60" A.F.F. (TYP)
⊙	EXHAUST FAN W/UGHT
⊙	SMOKE DETECTOR (HARDWIRED)
⊙	SMOKE & CARBON MONOXIDE DETECTOR



**FIRST FLOOR ELECTRICAL**

SCALE: 1/4" = 1'-0"

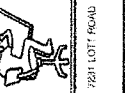
ISSUE DATE: 7/11/23



R. A. Long Design Services

01-480-2486

5180 W. 130th St.



7281 LOTT ROAD

DIMPFL RESIDENCE

4154 OPOSSUM RUN RD  
GROVE CITY OH 43123

SCALE: 1/4"

SHEET:  
ELECTRICAL PLAN

A9

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7/27/2023



R. A. Long Design Services



DIMPFL RESIDENCE

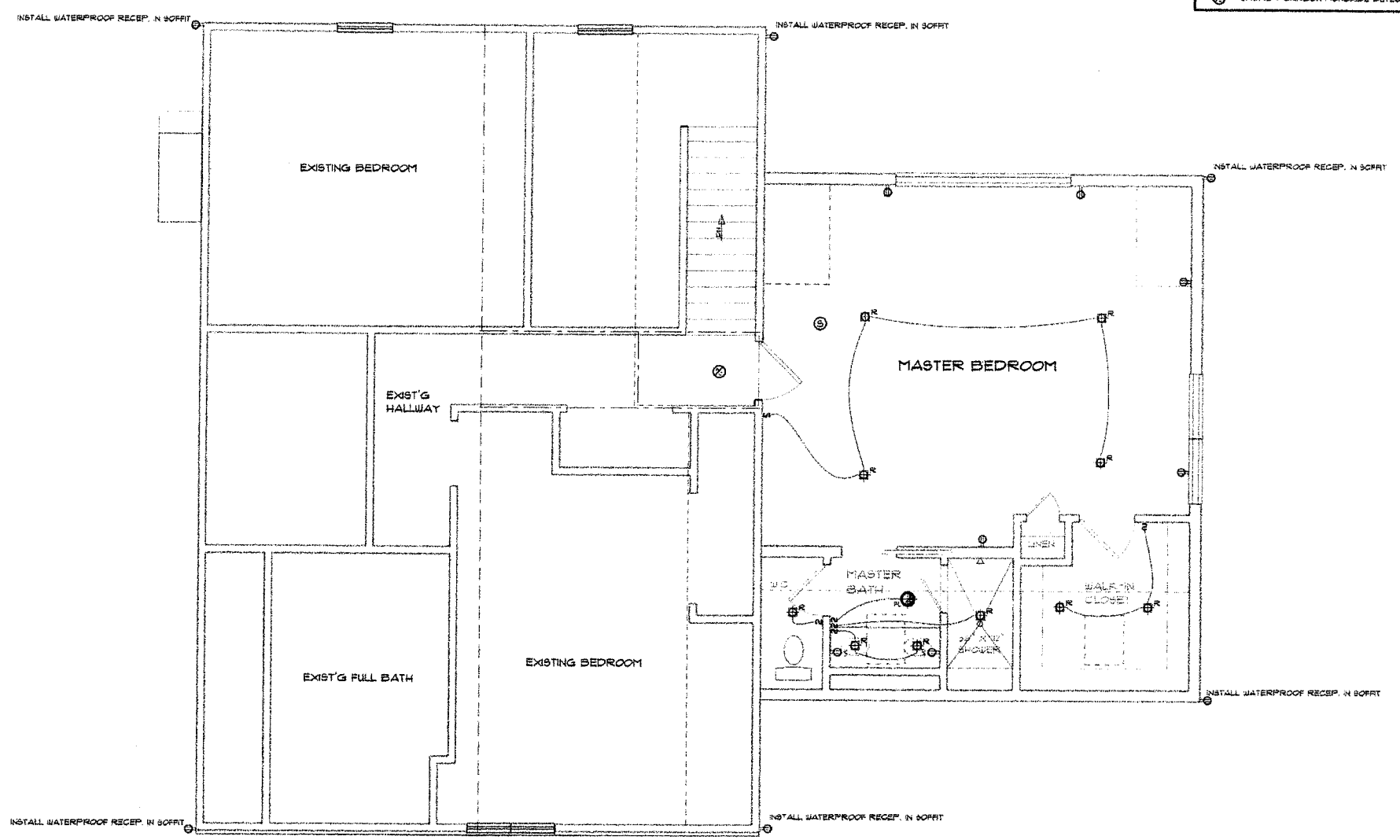
4154 OPOSSUM RUN RD  
GROVE CITY OH 43123

SCALE: 1/4"

SHEET:  
ELECTRICAL PLAN

A10

ELECTRICAL LEGEND	
⊙	CEILING OR WALL MOUNTED LIGHT FIXTURE
⊕	CEILING OR WALL MOUNTED FULL CHAN LIGHT FIXTURE
⊖	RECESSED LIGHT FIXTURE
⊕⊖	110V. DUPLEX RECEPTACLE - 14" ABOVE FLOOR
⊕⊖	220V. RECEPTACLE
⊕⊖	110V. DUPLEX RECEPTACLE - GR. OUTLET
⊕	SINGLE POLE SWITCH - 52" A.F.F. (1TP)
⊖	THREE WAY SWITCH - 52" A.F.F. (1TP)
⊕⊖	FOUR WAY SWITCH - 52" A.F.F. (1TP)
⊕	THERMOSTAT - 60" A.F.F. (1TP)
⊖	EXHAUST FAN W/LIGHT
⊕	SMOKE DETECTOR (HARDWIRED)
⊕⊖	SMOKE & CARBON MONOXIDE DETECTOR



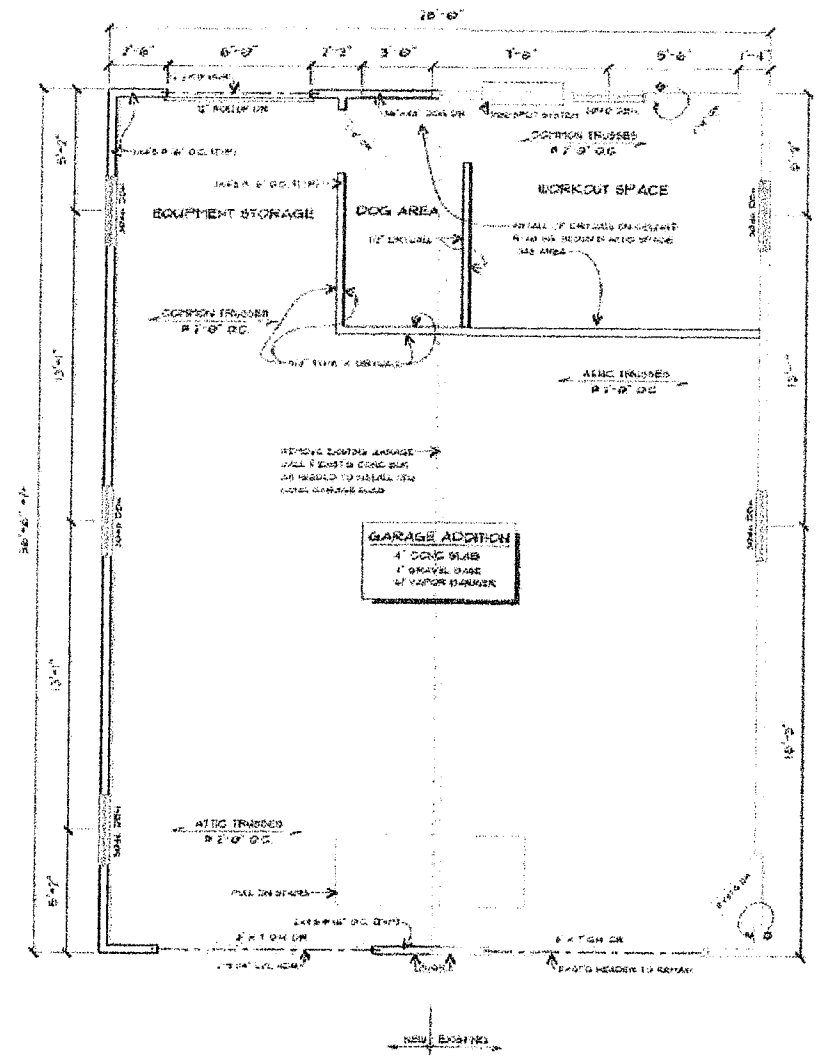
### SECOND FLOOR ELECTRICAL

SCALE: 1/4" = 1'-0"

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7/27/2023

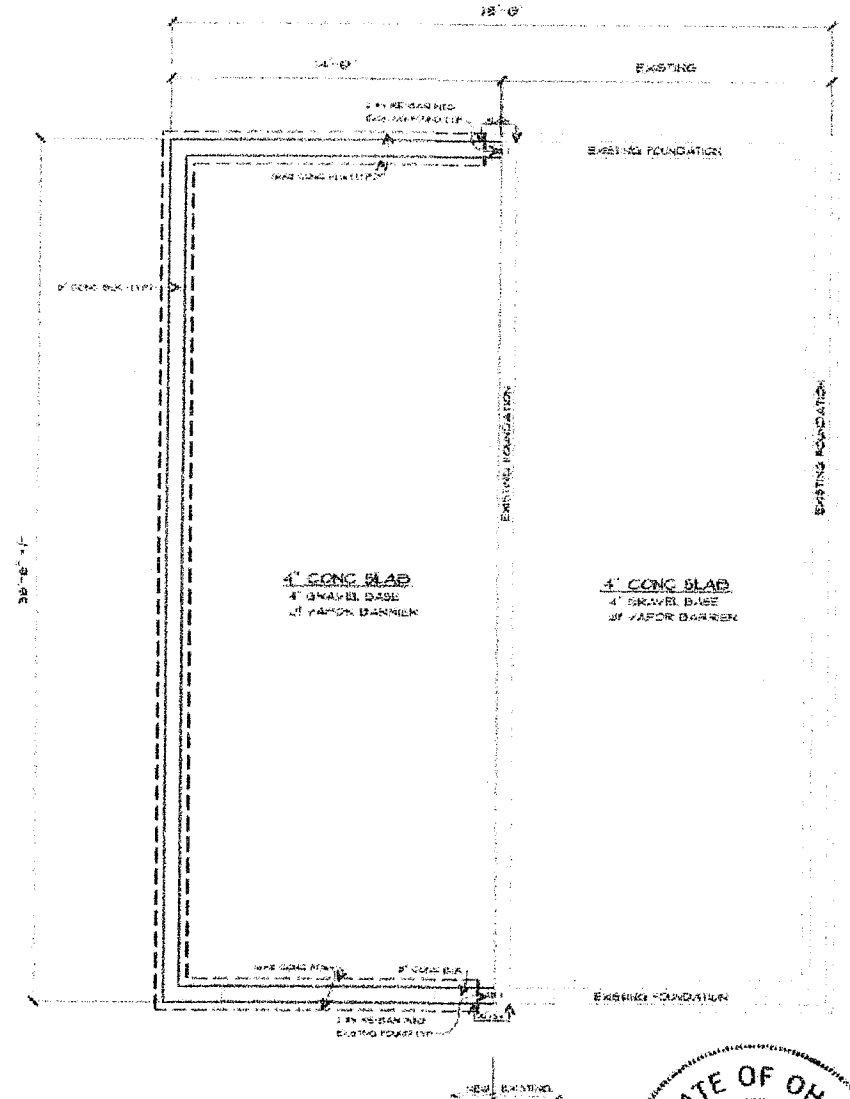




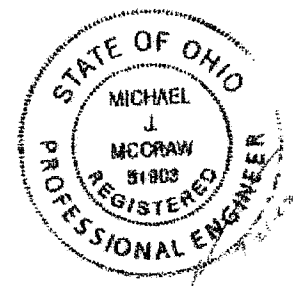


**FLOOR PLAN**

NOTE:  
 ALL WINDOWS AND DOOR HEADERS TO BE 2x8S UNLESS OTHER INDICATED



**FOUNDATION PLAN**



10000 20/21/22/23

H. A. Long Design Services

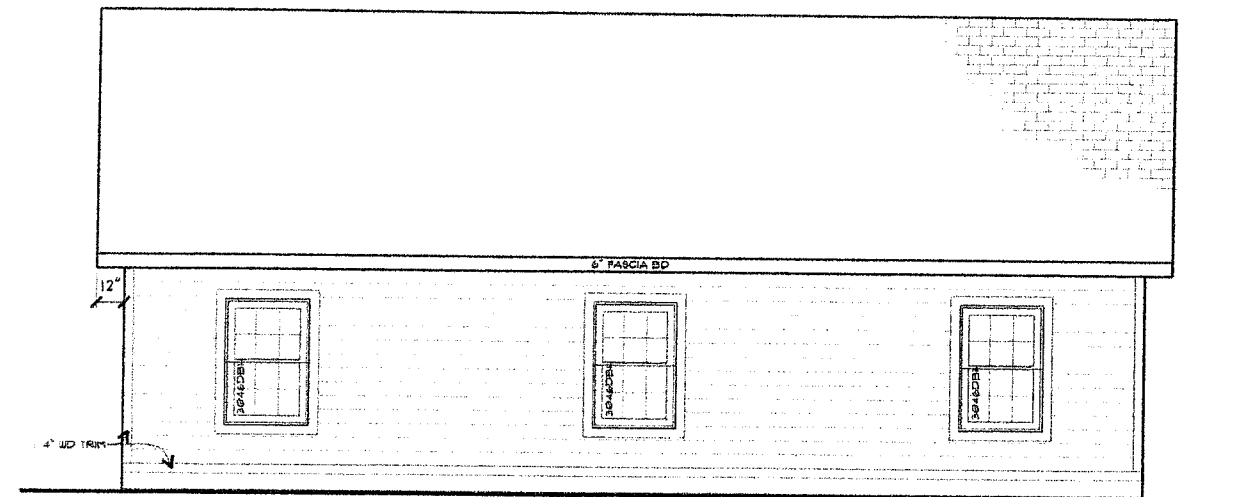
**DIMPLE RESIDENCE**  
 4754 CROSBUM RUN RD  
 GROVE CITY OH 43123

SCALE: 1/4"

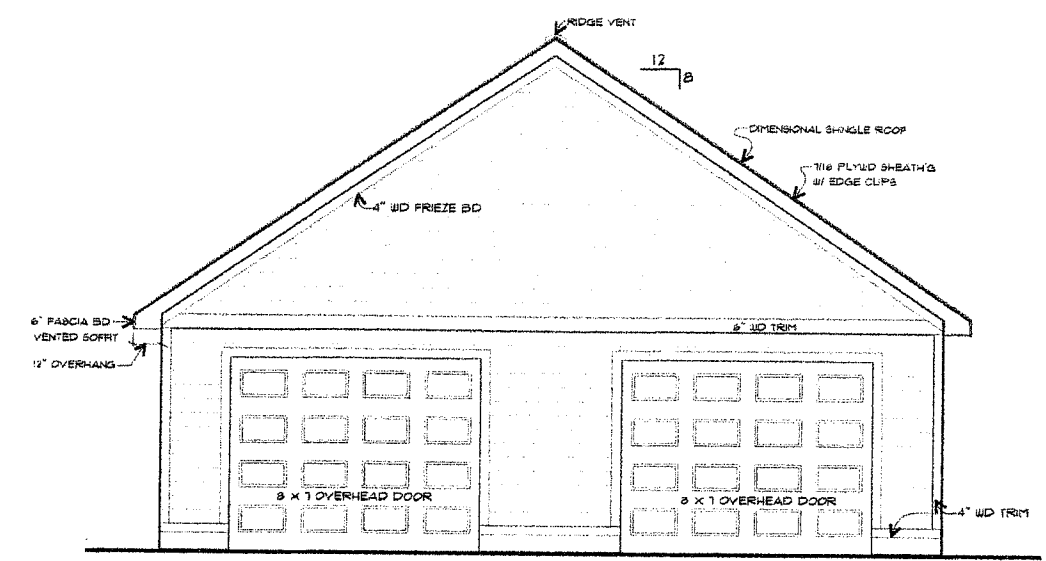
DATE: 7/27/2023

**G1**

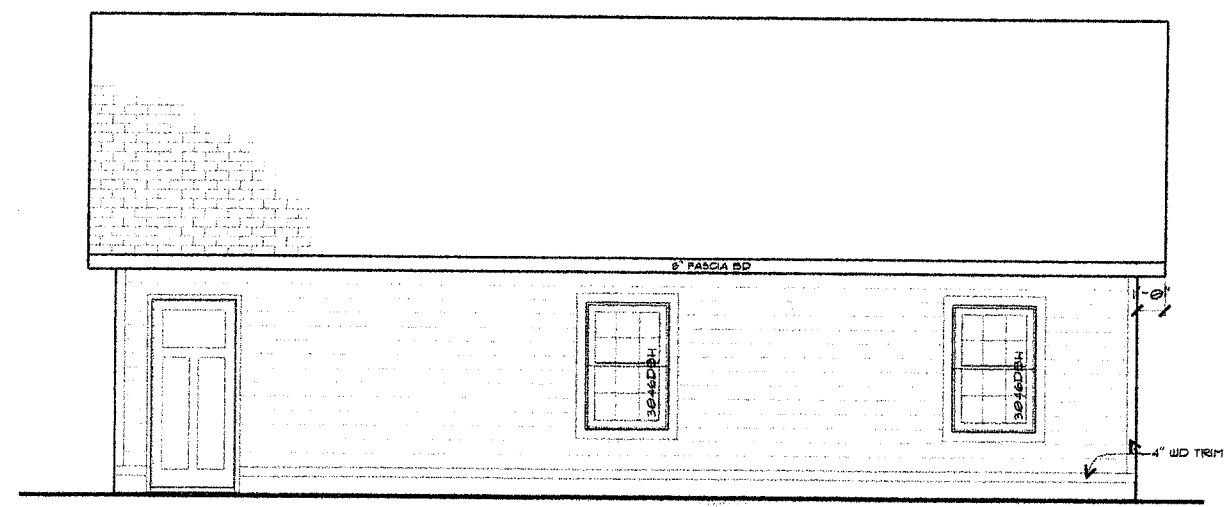
557  
 7/27/2023



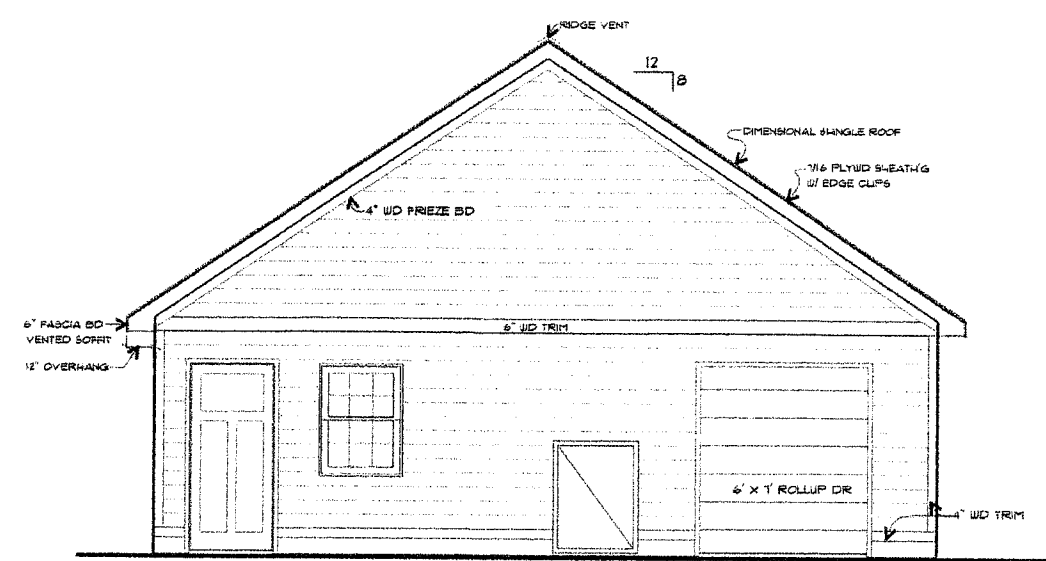
**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

SLD  
7/27/2023



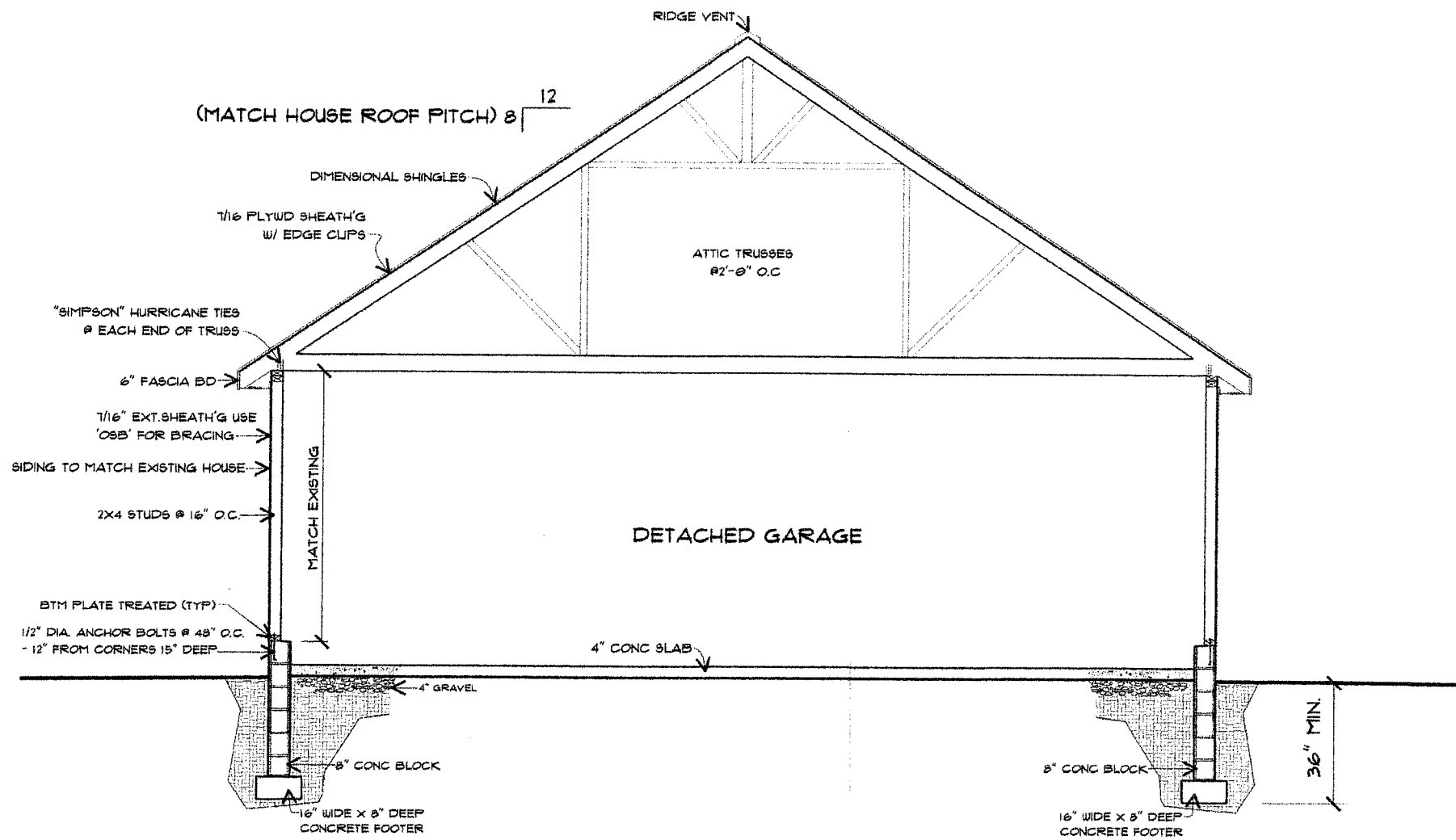
DIMPFL RESIDENCE

4154 OPOSSUM RUN RD  
GROVE CITY OH 43123

SCALE: 3/8"

SHEET:  
GARAGE SECTION

G3

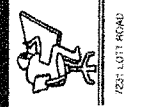


**A BUILDING SECTION**  
SCALE: 3/8" = 1'-0"

SSD  
7/27/2023



R. A. Long Design Services  
SUNBURY, OHIO 43084  
7227 LOTT ROAD



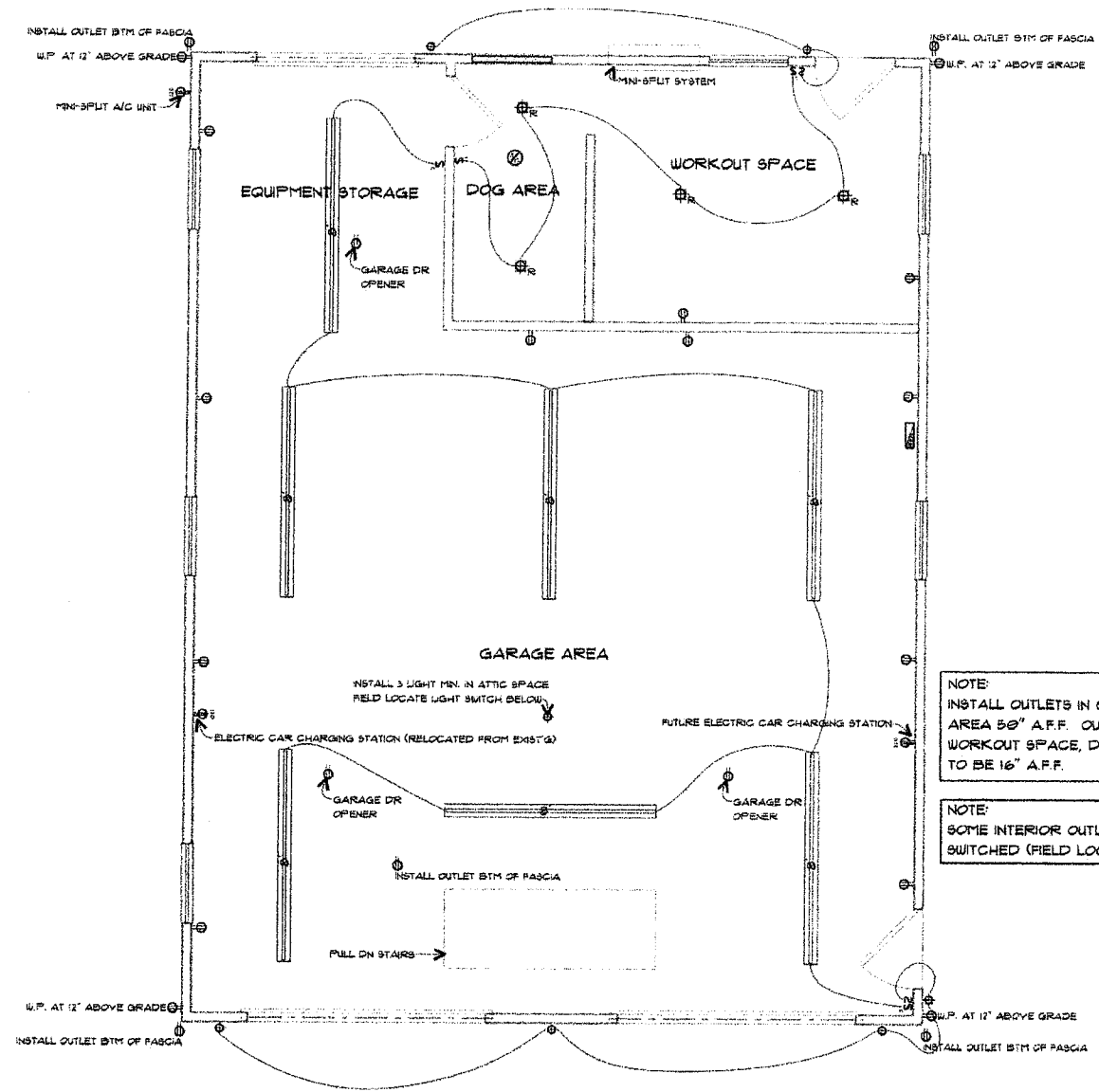
DIMPFL RESIDENCE  
4154 OFOSSUM RUN RD  
GROVE CITY OH 43123

SCALE: 1/4"

SHEET:  
DETACHED GARAGE  
ELECTRICAL PLAN

G4

ELECTRICAL LEGEND	
⊙	CEILING OR WALL MOUNTED LIGHT FIXTURE
⊕	CEILING OR WALL MOUNTED PULL CHAIN LIGHT FIXTURE
⊖	RECESSED LIGHT FIXTURE
⊗	110V. DUPLEX RECEPTACLE - 14" ABOVE FLOOR
⊘	220V. RECEPTACLE
⊙	110V. DUPLEX RECEPTACLE - GR. OUTLET
⊖	SINGLE POLE SWITCH - 52" A.F.F. (TYP)
⊗	THREE WAY SWITCH - 52" A.F.F. (TYP)
⊘	FOUR WAY SWITCH - 52" A.F.F. (TYP)
⊙	THERMOSTAT - 50" A.F.F. (TYP)
⊕	EXHAUST FAN W/BLT
⊗	SMOKE & CARBON MONOXIDE DETECTOR
⊖	ELECTRICAL PANEL
⊕	FLUORESCENT FIXTURE 5 FT LED PUSH MOUNT



NOTE:  
INSTALL OUTLETS IN GARAGE  
AREA 50" A.F.F. OUTLETS IN  
WORKOUT SPACE, DOG AREA  
TO BE 16" A.F.F.

NOTE:  
SOME INTERIOR OUTLETS TO BE  
SWITCHED (FIELD LOCATE OUTLETS)

557  
7/27/2023



Factory Authorized Dealer  
Nayadic, Multi-Flo  
Enviro-Guard, Sybr-Aer  
Service Contracts Available

The Finest in Aeration Install, Repair, Sales and Maintenance

P O Box 356 Grove City, OH 43123

(614) 539-9934

Licensed, Bonded and Insured

www.EvercleanAeration.com

## HEALTH DEPARTMENT REQUIRED - ANNUAL SERVICE AGREEMENT

This Service Agreement will be in effect for twelve (12) months following receipt of the Agreement cost of \$265.00 or \$430.00 for 2 years (24 months). We will provide service for original manufacturer's equipment only (OEM). This Agreement also includes checking of accessory items such as, but not limited to, lift stations, pre-tanks, ET and Mound Systems that may have been installed as part of your system. If the property is sold, the Agreement will transfer to the new owner. Inspections will be completed every 6 months for residential septic/aeration systems.

County: Franklin Inspection Dates: March 2025, and Aug. 2025 *March 2024 + Aug. 2024* *\*2 Year Agreement\**  
 Name: Scott Dimpfl Email Address: sdimpfl@columbus.rr.com  
 Address: 4754 Oppossum Run Road City, State, Zip: Grove City, Ohio 43123  
 Mobile #: 402-850-9564 Home #: 614-769-5802  
 Customer #: 1638 Aeration System Type: Multi-Flo Discharge: Creek

### Technical and functional inspections including labor for the following:

- Inspection of filter function, including gravel and sand filters if present and replacement of Nayadic/Gast compressor filters
- An effluent quality inspection consisting of a visual check for color, solids and examination for odors
- Inspection and adjustment of manufacturer's mechanical and electrical components
- Motor and shaft inspection to clear debris for Jet and Norweco motors
- Examine surge bowl gasket to determine condition, when applicable
- Check of Salcor disinfection unit including UV bulb and electrical components and chlorine tablet feeder. Will add tablet(s) if applicable during inspection.
- Rotation of leach lines at the distribution box where applicable
- Adding a De-Foamer agent when needed
- This Agreement does not cover the cost of pumping services or the cost of changing filters (socks) for Multi-Flo systems
- This Agreement will cover labor charges for the replacement of the aeration motor
- Your Local Health Department will be sent a copy of this signed Service Agreement
- Working with your local health department which includes providing a copy of your inspection(s)
- This Service Agreement replaces having a health department permit. Except for Union County.

*9-1-23*

This Service Agreement does not cover the cost of service calls, labor or materials outside of the scope listed above during an inspection or which are required due to regular maintenance, clogs, weather conditions, or "mis-use or abuse" of the system. Failure to maintain electrical power to the system; sewage flows exceeding the hydraulic/organic design capabilities; disposal of non-biodegradable materials, chemicals, solvents, grease, oil, paint, etc.; or any usage contrary to the requirements listed in the owner's manual or as advised by your authorized service provider, Everclean Aeration Services.

Non-waste materials do not degrade in an on-site treatment system and will cause build-up of solids which leads to system malfunction, clogging or increased pump and filter change frequency including destruction of aeration motor and/or system.

If additional services are required such as but not limited to jetting, drain cleaning, main line clearing, electrical work, timer repair/replacement, rehab of system and others, an estimate for work will be provided to you and completed upon your approval.

We appreciate your support of this local small business. We strive to ensure all our customers are provided the best service with the upmost honesty and regard. We are here to extend our knowledge to you and keep your system running at its best for a long time. From our family to yours, thank you for allowing us to serve you.

Today's Date: 9-1-2023

Agreement Period: 9-1-2023 / 8-31-2025

*Renewed over the phone*

*Signature on File*

Customer Name (Please Print)

430.00 cc6316

Amount Paid: \$ 430.00 Check #: cc6316

Customer Signature

Authorized By: *[Signature]*

Everclean Aeration Authorized Representative

For Credit Card processing, please call the office

Credit Card Processed:  Yes  No  
(circle one)