



Technical Review Committee Agenda

Franklin County Engineer's Office
970 Dublin Road
Columbus, OH 43215

November 26, 2019
1:30 p.m.

1. New Business

A. Planning Commission

i. ZON-19-07 Brad Fisher

| | |
|-------------------|--|
| Owner: | Agape Community Fellowship |
| Applicant: | Kalen Swan |
| Township: | Norwich Township |
| Site: | 3912 Alton Darby Creek Rd. (PID #200-003681) |
| Acreage: | 5.000-acres |
| Zoning: | Rural |
| Request: | Requesting to rezone from the Rural district to the Select Commercial Planned District (SCPD) to allow for a church and child care center. |

ii. JACK-19-07 Brad Fisher

| | |
|-------------------------|--|
| Owner/Applicant: | James King |
| Township: | Jackson Township |
| Site: | 3606 Jackson Pike (PID #160-002135) |
| Acreage: | 19.152-acres |
| Zoning: | Rural Residential (RR) |
| Request: | Requesting to rezone from the Rural Residential (RR) district to the Planned Industrial (PI) district. |

iii. PLAIN-19-08 Brad Fisher

| | |
|-------------------|---|
| Applicant: | Plain Township Zoning Commission |
| Township: | Plain Township |
| Request: | Requesting to amend Sections 406, 412, 455, definitions and the Legislative Authority and Guidance of the Plain Township Zoning Resolution to restrict the use of recreational vehicles, amend accessory building text, and amend provisions for Agritourism. |

iv. 710-V Brad Fisher

| | |
|-------------------|--|
| Owner: | James Stevenson |
| Applicant: | Alec Land |
| Agent: | Kimberly Land |
| Township: | Madison Township |
| Site: | 7000 Lithopolis Rd. (PID #180-000382) |
| Acreage: | 130.520-acres |
| Request: | Requesting a Variance from Section 302.04(2) of the Franklin County Zoning Resolution to allow the creation of a lot that would not meet the minimum lot width requirement in an area zoned Rural. |

v. 711-V Brad Fisher

| | |
|-------------------------|--|
| Owner/Applicant: | Lincoln Echo/Continental Village, LLC |
| Township: | Prairie Township |
| Site: | 4780 W. Broad Street (PID #240-004958) |
| Acreage: | 3.940-acres |
| Utilities: | Public water and sewer |
| Request: | Requesting a Variance from Section 501.05 of the Franklin County Subdivision Regulations to allow a lot split that would exceed the maximum permitted depth to width requirements and have a side lot line beyond 5 degrees of being perpendicular to the roadway. |

B. Board of Zoning Appeals

i. VA-3954 – Brad Fisher

| | |
|-------------------------|--|
| Owner/Applicant: | John Whitaker |
| Township: | Pleasant Township |
| Site: | 5231 Denton Rd. (PID #230-000186) |
| Acreage: | 1.950-acres |
| Utilities: | Private water and wastewater |
| Zoning: | Rural |
| Request: | Requesting a Variance from Section 512.02(2) of the Franklin County Zoning Resolution to allow the expansion of an accessory building that fails to meet the minimum property line setback requirement in an area zoned Rural. |

ii. VA-3955 – Brad Fisher

| | |
|-------------------|--|
| Owner: | James Stevenson |
| Applicant: | Alec Land |
| Agent: | Kimberly Land |
| Township: | Madison Township |
| Site: | 7000 Lithopolis Rd. (PID #180-000382) |
| Acreage: | 130.520-acres |
| Request: | Requesting a Variance from Section 302.04(2) of the Franklin County Zoning Resolution to allow the creation of a lot that would not meet the minimum lot width requirement in an area zoned Rural. |

iii. VA-3956 – Brad Fisher

| | |
|-------------------------|---|
| Owner/Applicant: | Sedalia Drive, LLC |
| Agent: | Thomas Hart |
| Township: | Madison Township |
| Site: | 3425-3431 Olde Cape East (PID #180-004671) |
| Acreage: | 5.560-acres |
| Utilities: | Public water and sewer |
| Zoning: | Community Service District |
| Request: | Requesting Variances from section 610.081(1) of the Franklin County Zoning Resolution and sections 4.1-2(1), 4.1-2(3) and 4.2-1(A(1)) of the Franklin County Special Resolution NFIP Regulation to allow for construction of an apartment building in the floodplain with materials that are not resistant to flood damage. |

2. Adjournment of Meeting to December 24, 2019.



Franklin County
Board of Commissioners

**ECONOMIC DEVELOPMENT
& PLANNING**

Economic Development & Planning Department
James Schimmer, Director

Application for
Rezoning
Page 1



Property Information

Site Address: 3912 Alton Darby Creek Road

Parcel ID(s): 200-003681-00

Total Acreage: 5.00 Township: Norwich

Property Description

Acres to be rezoned: 5.00

Current Land Use: 685 - Exempt Property Owned by Churches

Surrounding Land Uses:

| | |
|-------|--------------------------------------|
| North | 511 - One-Family DWLG UNPLT:0-9.99AC |
| South | 503 - VAC UNPLT RES LAND: 20-29.99AC |
| East | 503 - VAC UNPLT RES LAND: 20-29.99AC |
| West | 511 - One-Family DWLG UNPLT:0-9.99AC |

Rezoning Request

Current Zoning: Rural

Proposed Zoning: Select Commercial Planned District

Proposed Land Use: Rural District Permitted Uses (Church) and Child Care Business

Purpose for Request:

The applicant wants to expand the current land use to allow for a child care center to be used on the site as well as current church operations.

Staff Use Only

Case #
ZON-19-07

Date Filed: 11/19/19

Fee Paid: \$1,400

Receipt # 19-04334

Received By: BMF

Technical Review Date: 11/26/19

Big Darby Panel Date: 12/10/19

Planning Commission Date: 12/11/19

Rural Zoning Commission Date: 12/19/19

Commissioners Date: 1/14/20

Checklist

- Fee Payment (checks only)
- Completed Application
- Notarized Affidavit
- Legal description of property
- Location/Area map
- Water/Wastewater Information
- Development Plan (if a planned district request)

Water & Wastewater

Water Supply

Public (Central)

Private (On-site)

Other

Wastewater Treatment

Public (Central)

Private (On-site)

Other



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Rezoning Page 2



Property Owner Information

Name: Terry Rohrer, President Agape Community Fellowship

Address: 3912 Arton Darby Rd
Hilliard, OH 43026

Phone # 614-204-3873 Fax #

Email: terry@themailparl.com

Applicant Information

Same as property owner

Name: Kalen Swan

Address: 2984 Papin Street
Columbus, OH 43228

Phone # (614)285-1055 Fax #

Email: admin@growtogetherlearning.com



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Rezoning Page 3



Signatures

To the best of my/our knowledge and belief, information and materials submitted as a part of this Rezoning application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes. We understand that delays or tablings may impact the hearing schedule.

Applicant

Date

[Handwritten Signature]

Property Owner (Signature must be notarized)

Nov 18, 2019

Date

N/A

Property Owner (Signature must be notarized)

N/A

Date



[Handwritten Signature]
Christina J Kruse
Notary Public
11/18/2019



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Rezoning

Page 4



Rezoning/Text Amendment Application

General Application Requirements

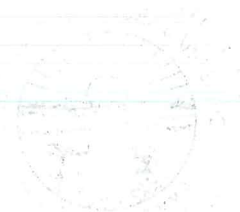
Any applicant who requests a zoning change is solely responsible for filing all materials required by the application in its entirety. Please consult with the Economic Development and Planning Department to obtain a copy of pertinent development standards prior to filing a rezoning request.

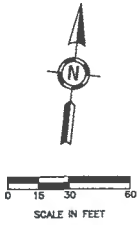
The following items are required with each application:

1. The completed application form.
2. The notarized affidavit with current property owner signature.
3. Legal description of the property. Current property survey to include acreage, all bearings and distances, and referencing an established beginning point.
4. Location/Area map. Engineering base maps to scale (example: 1"=100') are required. You can obtain this information from the Franklin County Auditor's website, <https://www.franklincountyauditor.com/>
5. All information that pertains to sanitary services and water supply must be provided. If services are to be provided by a private or public entity, a letter must be provided verifying that the services exist and that the applicant will have access to such services. If an on-lot septic system and/or well are proposed, information from the Franklin County Board of Health (or appropriate agency) must be provided.
6. Any additional information or exhibits deemed necessary for proper consideration of the application.

Note: When a planned district is requested, a development plan must be prepared by a registered architect, engineer, surveyor or landscape architect. The development plan must include all information identified in the Franklin County Zoning Resolution for the applicable planned zoning district being requested. This plan is to demonstrate the engineering feasibility of the proposed project. The Rural Zoning Commission makes no exceptions to these requirements. All other issues in the performance standards must be addressed, even if they do not appear to pertain to your particular site.

An incomplete application will not be placed on an agenda until it is determined to be complete, having all relevant issues addressed in plan or text form.



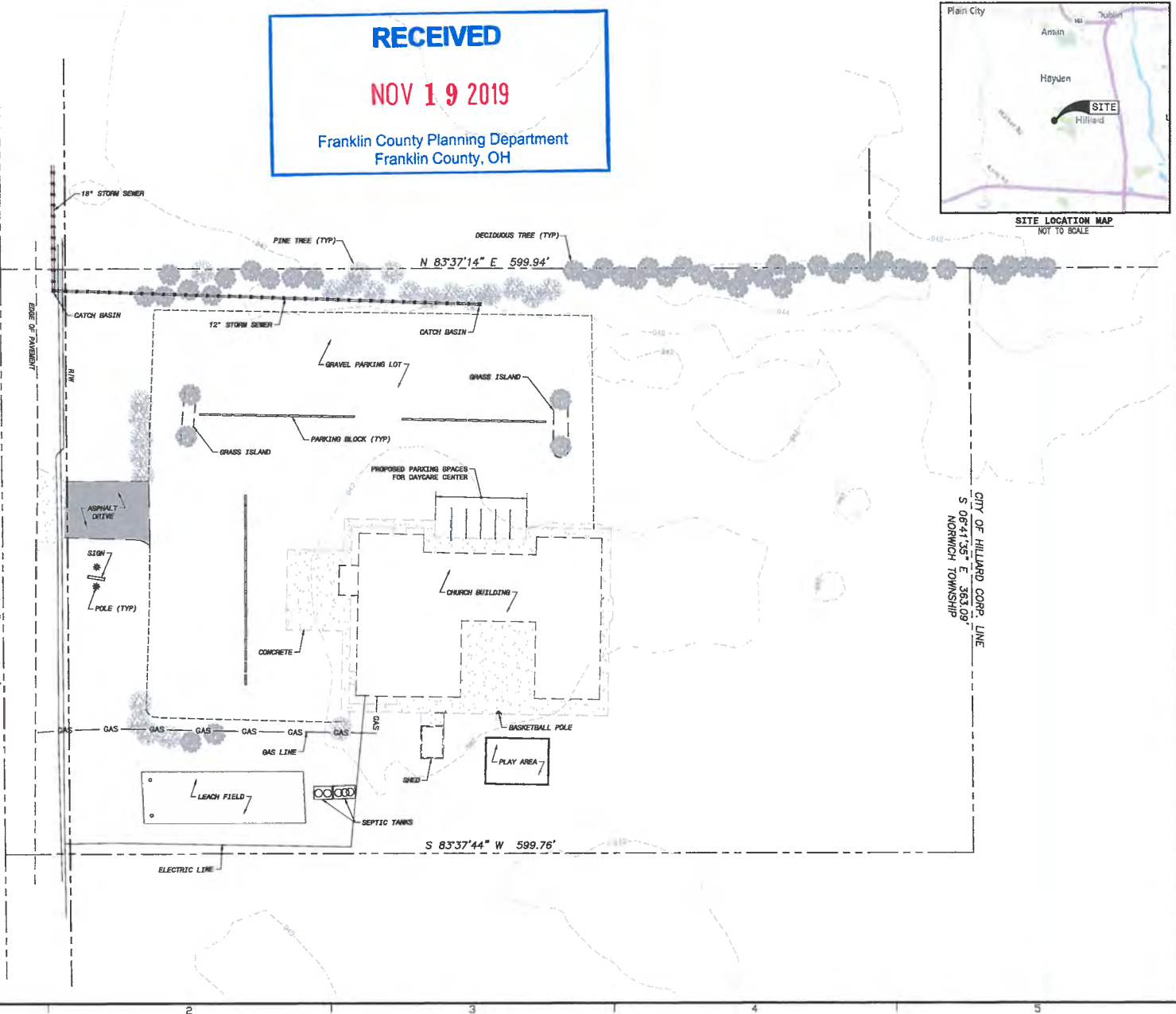


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NOV 19 2019
 Franklin County Planning Department
 Franklin County, OH




Site Engineering Solutions
 3967 Healee Grove Road
 Norwalk, Ohio 43062
 Phone: (614) 262-4368
 www.siteengr.com

ALTON & DARBY CREEK ROAD (CR-272)



AGAPE COMMUNITY FELLOWSHIP
 DEVELOPMENT PLAN
 3912 ALTON DARBY CREEK ROAD
 FRANKLIN COUNTY
 HILLIARD, OHIO

GROWING TOGETHER
LEARNING CENTER

This drawing is copyrighted and is the sole property of Site Engineering Solutions.

It is provided for use by the project owner. Reproduction or other use of this drawing or the information contained herein without the written permission of Site Engineering Solutions is strictly prohibited.

All rights reserved.
Change 0/01

| Mark | Description | Date |
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|--------------|---------------|
| Project No.: | AGP01 |
| Plot Date: | 11/16/2019 |
| Layout By: | JOS |
| Drawn By: | JOS |
| Scale: | AS NOTED |
| Issue Date: | NOVEMBER 2019 |

DEVELOPMENT
PLAN

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NOV 19 2019

Franklin County Planning Department
Franklin County, OH

SELECT COMMERCIAL PLANNED DISTRICT
(SCPD)

NORWICH TOWNSHIP

3912 ALTON DARBY CREEK ROAD

AGAPE COMMUNITY FELLOWSHIP

ZON No. 19-07

BACKGROUND:

The subject property is located on the east side of Alton Darby Creek Road. The property is currently a 5.000± acre lot zoned Rural. The property has agricultural lands zoned Rural to the east and south in the City of Hilliard, to the west is a single family home across Alton Darby Creek Road in Norwich Township to the north is a rurally zoned property with a single family home in Norwich Township.

PERMITTED USES:

The property shall be used for Rural District Permitted Uses and Child Care Business Use as allowed in Franklin County Zoning Resolution Section 322.022(73) and SIC Section 73.

There are no proposed developments.

DEVELOPMENT STANDARDS:

Unless otherwise indicated in the submitted development plan or in the written text, the applicable standards for the site shall be those standards contained in Section 322.04 Suburban Office and Institutional District (SO) of the Franklin County Zoning Code.

LIGHTING:

The subject property shall maintain the current lighting as identified on the development plan.

SIGNAGE AND GRAPHICS:

The subject property shall maintain the current signage as identified on the development plan.

ENVIRONMENTAL TREATMENT:

The premises shall be maintained as it is currently with respect to the evergreens and deciduous trees depicted on the development plan.

SITE PLAN:

- A. The property shall be used in accordance with the submitted development plan. The attached development plan illustrates where the existing building(s) and parking areas are located.
- B. Parking requirements shall conform as submitted in the development plan.

ARCHITECTURAL DESIGN:

The subject property shall maintain the current architectural designs as identified on the development plan.

STORMWATER DRAINAGE:

The subject property shall maintain the current stormwater drainage as identified on the development plan.

SEWAGE DISPOSAL AND WATER SUPPLY:

The sewage disposal and water supply currently used on the subject property will be properly maintained and operational in accordance with pertinent state and local regulations.

POLLUTION:

- A. Smoke: No smoke shall be emitted from any structure in the SCPD.

- B. Odor: No odorous gases or other odorous matter shall be permitted at any point beyond the SCPD boundary.

- C. Noise: The noise level shall be no greater than sixty (60) decibels at the lot line.

OUTSIDE STORAGE:

Outside storage shall consist of a shed as established and depicted on the SCPD. No rubbish or debris of any kind shall be placed or permitted to accumulate any portion of the parcel except in any enclosed dumpster or enclosed storage area.

TRAFFIC & CIRCULATION:

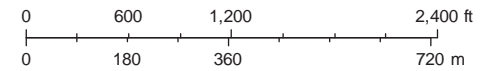
The proposed use addition shall incur no dramatic increase in traffic as a result of childcare services being provided throughout the week.

ZON-19-07



November 19, 2019

1:8,928



Franklin County Auditor
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

Franklin County Auditors Office
Copyright 2015

Fee Paid by Cash / Check # 3984, \$ 400.00

Application # 1 - 1022019

ZONING COMMISSION APPLICATION

REQUEST FOR HEARING BEFORE ZONING COMMISSION

3756 Hoover Road Grove City, OH 43123 614-875-2742

Property Owner: James B. King Applicant: (Same)

Address: P.O Box 801 Grove City Ohio 43123 Zoned: SR-Semi Residential

Property Location: 3606 Jackson Pike

PID: 160- 002135-00 Area/Acres: 19.152 Floodplain: _____

(Home): _____ (Work): 614 443-4888 (Cell): 614 406-0709

Email Address: Jking4478@gmail.com

Summary of Zoning Commission: It is the responsibility of the Zoning Commission to review and recommend a change in how land is zoned as well as the specific regulations and requirements of the Township Zoning Resolution. It is the responsibility of applicants appearing before the Zoning Commission to have all required site plans, drawings, descriptions and all facts ready for public review and discussion. The schedule of required hearings may be extended by actions of continuance at any step in the procedures.

To the Township Zoning Commission, the applicant requests the following:

- Re-Zoning / PUD
- Map/Text Amendment
- Exceptional Use

A change in zoning from the existing _____ District to the proposed P-1 District

A change in use from the existing SIC _____ to the proposed SIC _____

General Description of the Request

- Describe in specific detail the proposed request noting special and unique conditions of the proposed use. Attach development text as required.

See Attached

RECEIVED

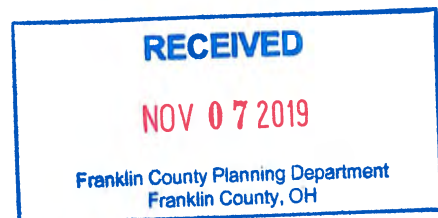
NOV 07 2019

Franklin County Planning Department
Franklin County, OH

Why now? Why use 3606 Jackson Pike
as a sales site for Mid State Truck Sales
now, rather than a few years earlier.

Mid State Truck Sales was started in January
of 1979 as a very small business and grew to be
quite large. By 2018, we were using 7 or 8
acres with more than 100 vehicles.

Sold property in April of 2018 and decided
to down size. Now Jackson Pike will accommodate
our needs.



JACK-19-07

APPLICANT'S AFFIDAVIT

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NOV 07 2019

Franklin County Planning Department
Franklin County, OH

JALC-19-07

STATE OF OHIO
COUNTY OF FRANKLIN

I/We J.B. King (ON SCIOTO RIVER)
(Name)

3606 Jackson Pike G.C Ohio Home: _____
(Address) (City, State, Zip Code) 43123 (Phone)

(P.O. Box 801 Grove City Ohio 43123) Cell: 614 406-0709 Business: 614 443-4888
(Phone) (Phone)

" the above named Owner / Applicant being duly sworn, depose and say that I/We are the owner(s) of the land included in the application and that the foregoing statement herein contained and attached, and information or attached exhibits thoroughly and to the best of my ability. By filing this application, I/We do hereby grant permission to Jackson Township and its employees to enter upon my property and to observe, photograph and document all conditions observed therein and to post all application materials upon the Township's website for public information purposes."

J.B. King
(Owner Signature)

(Co-Owner Signature)

Subscribed and sworn before me this 1 day of November 2019
(Day) (Month) (Year)



Tonya Ralston
(Notary Signature)

ACTION BY TOWNSHIP

Application Received & Accepted by: _____ Date: _____

Hearing Date: _____ 7:00pm at the Jackson Township Hall, Grove City, Ohio

DISPOSITION OF MONEY RECEIPT

Date: 11-1-19

Disposition To: Fiscal Officer Other: _____

Amount: \$ 400.00 Receipt # _____

Check # 3984 Cash _____ Credit Card _____

Purpose:

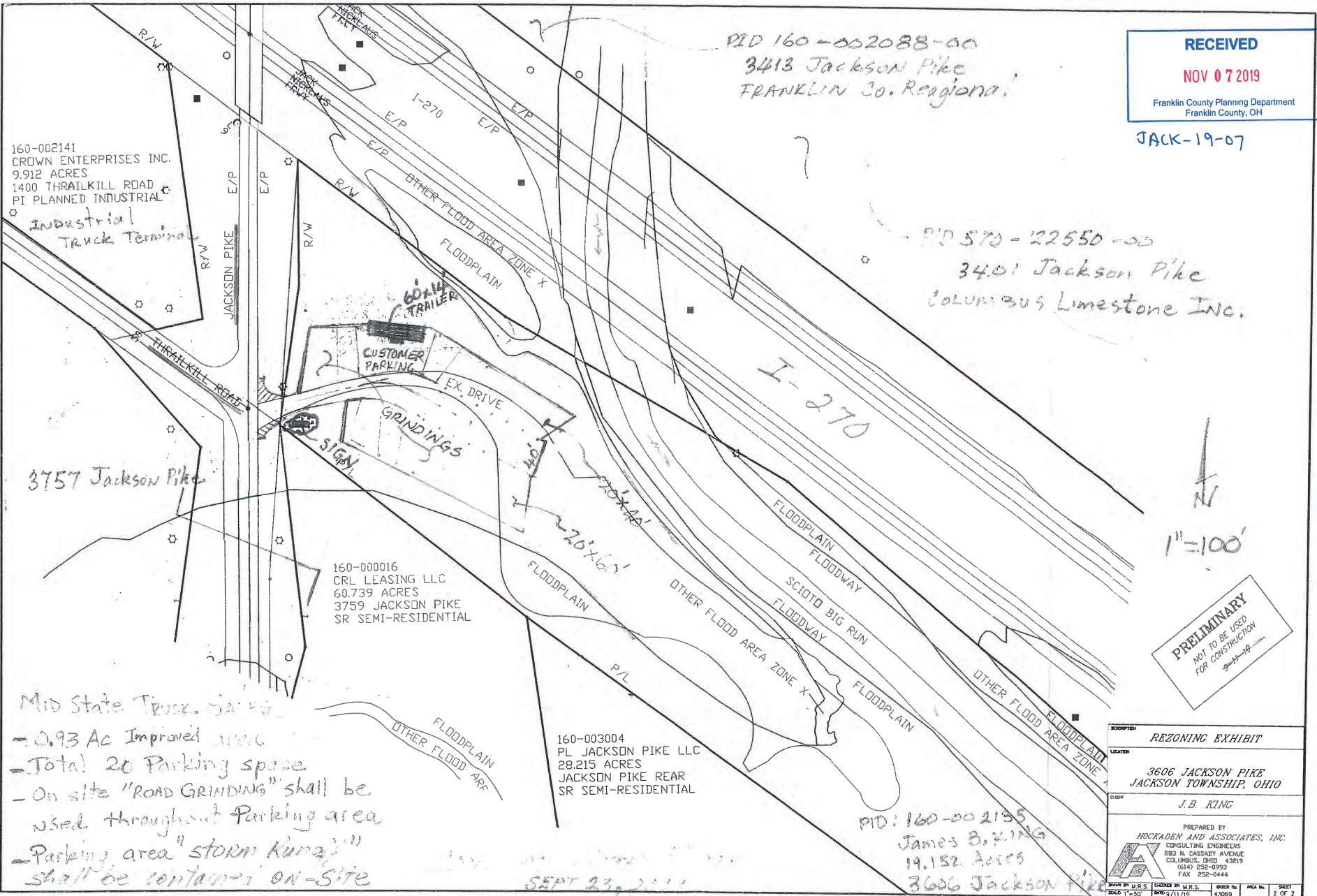
_____ Zoning Compliance Rezoning
_____ Variance _____ Conditional Use
_____ Address Signs and Numbers: _____
_____ Other: _____

Submitted by: James King
Address: 3606 Jackson
Grove City 43123

For: _____
Address: _____



JACK-19-07



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 Franklin County Planning Department
 Franklin County, OH

JACK-19-07

160-002141
 CROWN ENTERPRISES INC.
 9.912 ACRES
 1400 THRAILKILL ROAD
 PI PLANNED INDUSTRIAL

PID 160-002088-00
 3413 Jackson Pike
 FRANKLIN Co. Regional

PID 570-22550-00
 3401 Jackson Pike
 COLUMBUS Limestone Inc.

160-000016
 CRL LEASING LLC
 60.739 ACRES
 3759 JACKSON PIKE
 SR SEMI-RESIDENTIAL

160-003004
 PL JACKSON PIKE LLC
 28.215 ACRES
 JACKSON PIKE REAR
 SR SEMI-RESIDENTIAL

PID: 160-002155
 James B. KING
 19.152 Acres
 3606 Jackson Pike
 SR SEMI Residential

Mid State Truck Sales
 - 0.93 Ac Improved area
 - Total 20 Parking space
 - On site "ROAD GRINDING" shall be used throughout parking area
 - Parking area "storm Runoff" shall be contained on-site

1"=100'
 N

PRELIMINARY
 NOT TO BE USED FOR CONSTRUCTION

| |
|---|
| REZONING EXHIBIT |
| 3606 JACKSON PIKE JACKSON TOWNSHIP, OHIO |
| J.B. KING |
| PREPARED BY HOCKADEN AND ASSOCIATES, INC. CONSULTING ENGINEERS 683 N. CASSADY AVENUE COLUMBUS, OHIO 43219 614 252-0393 FAX 252-0444 |
| DATE BY M.R.S. 9/19/19 |
| CHECKED BY M.R.S. 4/06/19 |
| AREA NO. 43069 |
| SHEET 2 OF 2 |

SEPT 23, 2019

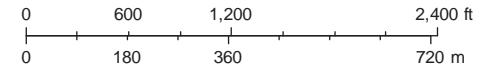
JACK-19-07



November 19, 2019

- | | | |
|------------------|-------------------------------|---|
| Parcel IDs | — Cross-Sections | Special Floodway |
| — Pavement | — Other Boundaries | Area of Undetermined Flood Hazard |
| — Street Network | — Limit Lines | 0.2% Annual Chance Flood Hazard |
| Waterbodies | SFHA / Flood Zone Boundary | Future Conditions 1% Annual Chance Flood Hazard |
| Tax Parcel | 1% Annual Chance Flood Hazard | Area with Reduced Risk Due to Levee |
| FIRM Panels | Regulatory Floodway | ImageryExtent2017 |

1:8,928



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

**PLAIN TOWNSHIP
ZONING AMENDMENT
NUMBER 11-14-2019**

NOVEMBER 14, 2019

PLAIN TOWNSHIP ZONING RESOLUTION

PROPOSED TEXT AMENDMENTS

November 14, 2019

SECTION 412 OFF-STREET PARKING AND LOADING

412.05.2 Recreational Vehicles, Boats, Camping Trailers and Boat or Utility Trailers. Recreational vehicles, boats, camping trailers or boat or utility trailers parked on a lot for a period exceeding seven (7) days during any one (1) month or any consecutive two (2) months shall meet the following locational requirements and size criteria:

1. It shall be placed in accordance with the locational requirements for Accessory Structures.
2. No recreational vehicle, boat, camping trailer or other trailer shall be parked between a street and a principal structure unless enclosed in a permitted accessory structure.
3. No recreational vehicle, boat, camping trailer, or boat or utility trailer shall be parked in front of the principal structure on the lot or in front of a building line established by any residential structure on an adjacent lot ~~which~~that fronts on the same street as the subject lot.
4. Recreational vehicles, camping trailers and similar recreational vehicles and equipment, shall not be used as a dwelling unit or for living, sleeping or house purposes outside an approved recreational park/campground area.

SECTION 406 ACCESSORY USES, STRUCTURES AND BUILDINGS

Unless otherwise specifically provided, accessory uses, structures or buildings shall only be permitted on a lot in association with a principal use or structure.

406.01 Accessory Use and Structure Defined. An accessory use or structure shall be defined as a subordinate use or structure which is in association with, and is incidental to, a principal use or structure and which is customarily required or provided for the principal use or structure.

406.02 Location, Number and Size of Accessory Uses, Structures and Buildings Permitted.

1. Unless otherwise permitted by this Zoning Resolution, a lot zoned Rural or Residential as listed in Article II, Sections 206, 208, 210, 212 or 214, shall contain no more than two (2) accessory buildings, only one of which may contain more than 144 square feet of gross floor area.
2. The maximum permitted size of an single accessory building, or combined square footage of detached accessory buildings on a lot, placed on a lot zoned Rural or Residential shall be based on the following lot categories on which the accessory building is to be located.

Table of Accessory Building Development Standards

| LOT SIZE | MAXIMUM SIZE OF ACCESSORY BUILDINGS** | MAXIMUM HEIGHT | SET-BACK FROM PROPERTY LINES |
|---|--|-------------------------------|-------------------------------------|
| One (1) acre or less | 720 square feet | 18 feet* for < 2 <u>acres</u> | 10 feet for < 2 <u>acres</u> |
| Two (2) acres | 1320 square feet | 18 feet* for < 3 <u>acres</u> | 15 feet for < 3 <u>acres</u> |
| Three (3) acres | 1920 square feet | 21 feet* for < 4 <u>acres</u> | 15 feet for < 4 <u>acres</u> |
| Four (4) acres | 2520 square feet | 25 feet* for < 5 <u>acres</u> | 25 feet for < 5 <u>acres</u> |
| Equal to or greater than five (5) acres | 3120 square feet | 25 feet* | 25 feet |

*From floor surface to peak of the roof

**Per formula in Section A

- A. **Standards for the Size of Residential Accessory Buildings** – In addition to the other provisions of this section governing the maximum height and setbacks of residential accessory buildings, the following standards shall apply to the size of the structures for lots that contain fractions of acres greater than one:

- i. **Residential lots of one (1) acre or less** - shall be permitted an accessory structure not to exceed 720 square feet.
- ii. **Residential lot of greater than one acre** - The size of the accessory building shall be determined by scaling the building size to the existing lot size in accordance with the following provisions:

- a. The maximum permitted size of an accessory building is determined by multiplying the acreage of the lot times six hundred (600) square feet with the base of 720 square feet for the first acre. The resulting number shall be expressed in square feet.

$$(\# \text{ of acres}) \times (600 \text{ sq. ft}) + 120 = \text{-(maximum permitted size of accessory structure in square feet)}$$

Example: (3.5 acres) X (600 sq. ft) + 120 = (2,220 square feet maximum permitted for 3.5 acres, with the base first acre being 720 square feet)

- B. The maximum permitted size of an accessory structure shall not exceed 3,120 sq. ft regardless of lot size.
- C. An accessory structure or building shall be located completely to the rear of the principal structure and shall be no closer than ten (10) feet from any part of the principal structure.
- D. A permitted accessory building shall ~~not observe the setbacks from all property lines as set forth in the table above, or as otherwise indicated in the zoning district development guidelines, and no accessory building shall not~~ be placed closer than ten (10) feet to a side or rear lot line. In no case shall an accessory structure or building be located within a recorded easement.
- E. In order to protect property values and encourage neighborhood stability, an accessory building shall have an exterior that is compatible in appearance to the principle building on the parcel or lot.
- F. Accessory buildings shall not infringe on sanitary or water systems. The location of accessory buildings shall comply with all applicable Franklin County Board of Health and/or Ohio Environmental Protection Agency regulations.
- G. Accessory buildings shall be appropriately guttered and graded so as not to adversely ~~effect~~ impact property owners.
- H. No commercial uses shall be permitted from an accessory building unless otherwise approved as part of a home occupation or commercial/industrial rezoning request.

- I. Accessory buildings in excess of 144 square feet shall be subject to building and zoning review and must have a permanent frost-free foundation as required by the Franklin County Building Code.

SECTION 455 AGRITOURISM

455.01 In the interest of the public health and safety, no agritourism operation shall be granted a zoning permit unless the following conditions have been satisfied:

1. The agritourism provider shall provide evidence that the farm on which the agritourism operation is proposed is comprised of ten (10) acres or more in area devoted to agricultural production. If such farm is less than ten (10) acres, evidence shall be provided that such farm is currently enrolled in the Current Agricultural Use Value (CAUV) program or produces an average yearly gross income of at least twenty-five hundred dollars (\$2,500) from agricultural production.
2. The agritourism provider shall identify the educational, entertainment, historical, cultural and/or recreational relationship of the agritourism operation to the existing agricultural use of the property and the surrounding agricultural community in general.
3. The agritourism provider shall submit a site plan that includes the following:
 - a. All structures including dimensions and height.
 - b. floor plan of the structure to be used primarily for agritourism activities and a site plan of the property illustrating all structures, Setbacks from property lines for all structures.
 - c. sOff-street parking lots and parking areas.
 - d. Drives, common drives and all points of ingress and egress.
and
 - e. -aAny existing or proposed well and/or on-site wastewater disposal system area(s) on the property.
 - 3.f. Location of all public right-of-waysrights-of-way and private streets.

455.02 The size and setback for any structure, whether permanent or temporary, used primarily for agritourism activities shall meet the following requirements:

1. All structures used primarily for agritourism activities shall be subject to the standard minimum front, side and rear yard setbacks for principal structures for the applicable zoning district regardless of the size of such structure. When applicable, more restrictive setback requirements set forth in Section 455. shall the standard district setbacks.

1. All structures used primarily for agritourism shall be set back no less than fifty (50) feet from any public right-of-way or highway easement.
2. All structures used primarily for agritourism shall be set back from all property lines and any existing residential structure in accordance with the following table:
2.

| <u>Size of Agritourism Structure</u> | <u>Setbacks from Existing Residential Structure</u> |
|---|---|
| <u>Up to 54,000 square feet</u> | <u>50 feet from property lines and 200 feet from any habitable residential structuresingle family dwelling</u> |
| <u>1,000 to 3,000Up to 10,000 square feet</u> | <u>50 feet from property lines and 300 feet from any habitable residential structure single family dwelling</u> |
| <u>3,000 to 5,000Up to 15,000 square feet</u> | <u>50 feet from property lines and 400 feet from any habitable residential structure single family dwelling</u> |
| <u>Up to Over 25,000 square feet</u> | <u>50 feet from property lines and 500 feet from any habitable residential structure</u> |

455.03 The maximum permitted size of a structure or combined square footage of structures used primarily for agritourism shall be based on the following formula: lot size on which the structure is to be located.

1. The maximum permitted size of an agritourism structure is determined by multiplying the acreage of the lot times six hundred (600). The resulting number shall be expressed in square feet.

$$\frac{\text{(# of acres)} \times (600)}{\text{maximum permitted size of agritourism structure in square feet}}$$

$$\text{Example: } \frac{(10.0 \text{ acres}) \times (600)}{\text{maximum permitted for 10.0 acres}}$$

2. The maximum permitted size of agritourism structures on a parcel or adjacent parcels operated by the same owner or jointly with other owners shall not exceed 25,000 sq. ft regardless of lot size.

3. The maximum permitted height of an agritourism structure shall

not exceed the following:

| <u>Maximum Size of Agritourism Structures</u> | <u>Maximum Height</u> |
|---|-----------------------|
| <u>2,500</u> Up to 5,000 square feet | <u>220</u> feet |
| Up to 10,000 5,000 square feet | <u>252</u> feet |
| Up to 15,000 7,500 square feet | <u>285</u> feet |
| Up to 25 10,000 square feet | <u>30</u> feet |

455.04 The agritourism operator-provider shall provide off-street parking in accordance with the following:

1. Agritourism operations providing educational, entertainment and/or cultural activities in a farm setting and open to the general public, regardless of whether or not an entry fee is charged, shall provide a minimum number of parking spaces as determined by the Zoning Inspector based upon similar uses identified in the off-street parking regulations in Section 412 correlated to the intensity of the use such as peak attendance periods and the size of the structure and/or land area designated for agritourism activities provided in the application.
2. The Zoning Inspector shall not require the parking area to be improved, including any requirements governing drainage, parking area base, parking area paving or other such improvement.

455.05 The agritourism operator-provider shall provide ingress and egress via access points on a public road approved by the Plain Township, County Engineer or Ohio Department of Transportation, depending on the jurisdiction of the road being accessed. Such ingress and egress shall be designed to accommodate emergency vehicle access to the satisfaction of the Fire Department having jurisdiction over the property upon which the agritourism operation is located. Any ingress or egress shall not be located closer than 200 feet to any intersection of two or more public roads. Any ingress or egress shall not be located closer than 50 feet to any driveway located on any adjacent property.

Definitions to add

AGRITOURISM. ~~An~~ Subject to the provisions of R.C. 519.21, as may be amended and supplemented, an agriculturally related educational, entertainment, historical, cultural, or recreational activity, including you-pick operations or farm markets, conducted on a farm that allows or invites members of the general public to observe, participate in, or enjoy that activity.

AGRITOURISM PROVIDER. Anyone who owns, operates, provides, or sponsors an ~~A~~ agritourism activity, whether or not for a fee, including employees at ~~A~~ agritourism activities.

FARM. Land that is composed of tracts, lots, or parcels totaling not less than ten acres devoted to agricultural production~~s~~ or totaling less than ten acres devoted to agricultural production if the land produces an average yearly gross income of at least twenty-five hundred dollars from agricultural production.

AGRICULTURAL PRODUCTION. Commercial aquaculture, algaculture, apiculture, animal husbandry, or poultry husbandry; the production for a commercial purpose of timber, field crops, tobacco, fruits, vegetables, nursery stock, ornamental shrubs, ornamental trees, flowers, or sod; the growth of timber for a noncommercial purpose if the land on which the timber is grown is contiguous to or part of a parcel of land under common ownership that is otherwise devoted exclusively to agricultural use; or any combination of such husbandry, production, or growth; and includes the processing, drying, storage, and marketing of agricultural products when those activities are conducted in conjunction with such husbandry, production, or growth.

Legislative Authority and Guidance

Ohio Revised Code 519.21

(C) Such sections confer no power on any township zoning commission, board of township trustees, or board of zoning appeals to prohibit in a district zoned for agricultural, industrial, residential, or commercial uses, the use of any land for:

(4) Agritourism. However, a board of township trustees, as provided in section [519.02](#) of the Revised Code, may regulate such factors pertaining to agritourism, except farm markets as described in division (C)(1) of this section, as size of a structure used primarily for agritourism. size of parking areas that may be required, setback building lines for structures used primarily for agritourism, and egress or ingress where such regulation is necessary to protect public health and safety.

Nothing in division (C)(4) of this section confers power on a township zoning commission, board of township trustees, or board of zoning appeals to require any parking area to be improved in any manner, including requirements governing drainage, parking area base, parking area paving, or any other improvement.

Nothing in division (C)(4) of this section confers power on a township zoning commission, board of township trustees, or board of zoning appeals to prohibit the use of any land or the construction or use of buildings or structures that are used primarily for vinting and selling wine that are located on land any part of which is used for viticulture as provided in division (A) of this section.

(D)

(2) As used in division (C)(4) of this section, "agritourism" has the same meaning as in section [901.80](#) of the Revised Code.

Ohio Revised Code 929.01

As used in this chapter:

(A) "Agricultural production" means commercial aquaculture, algaculture meaning the farming of algae, apiculture, animal husbandry, or poultry husbandry; the production for a commercial purpose of timber, field crops, tobacco, fruits, vegetables, nursery stock, ornamental shrubs, ornamental trees, flowers, or sod; the growth of timber for a noncommercial purpose if the land on which the timber is grown is contiguous to or part of a parcel of land under common ownership that is otherwise devoted exclusively to agricultural use; or any combination of such husbandry, production, or growth; and includes the processing, drying, storage, and marketing of agricultural products when those activities are conducted in conjunction with such husbandry, production, or growth.

Ohio Revised Code 901.80

(A) As used in this section:

(2) "Agritourism" means an agriculturally related educational, entertainment, historical, cultural, or recreational activity, including you-pick operations or farm markets, conducted on a farm that allows or invites members of the general public to observe, participate in, or enjoy that activity.

(3) "Agritourism provider" means a person who owns, operates, provides, or sponsors an agritourism activity or an employee of such a person who engages in or provides agritourism activities whether or not for a fee.

(4) "Farm" means land that is composed of tracts, lots, or parcels totaling not less than ten acres devoted to agricultural production or totaling less than ten acres devoted to agricultural production if the land produces an average yearly gross income of at least twenty-five hundred dollars from agricultural production.

LaFayette Township, Medina County

| <u>SIZE OF STRUCTURE</u> | <u>SETBACK FROM EXISTING RESIDENCE</u> |
|---|--|
| <u>500 to 1,499 square feet</u> | <u>300 feet</u> |
| <u>1,500 to 2,499 square feet</u> | <u>400 feet</u> |
| <u>Equal to or greater than 2,500 square feet</u> | <u>500 feet</u> |

Pike Township

Setback must be at least 100 feet from any residentially zoned property

Bingham Township

Side and rear setback must be at least 100 feet.

RECEIVED
NOV 14 2019
 Franklin County Planning Department
 Franklin County, OH

Application for
Subdivision Variance
 Page 1



Property Information

| | |
|---|-----------------------|
| Site Address: 7000 Lithopolis Rd, Groveport OH 43125 | |
| Parcel ID(s): 180-000382-00 | |
| Total Acreage: 198.05 Acres (but to split off 9.842- acres from larger lot) | Current Zoning: Rural |
| Township: Madison | Subdivision: |

Staff Use Only

| | |
|---------------|----------|
| Case # | 710-V |
| Date Filed: | 11/14/19 |
| Fee Paid: | \$350 |
| Receipt # | 19-04267 |
| Hearing Date: | 12/11/19 |
| Received By: | BMF |

Requested Variances/Decision or Interpretation Appealed

Section Number(s) of the county subdivision regulations and a brief description of variance(s) requested:

| | |
|----------------|---|
| Section 502.01 | Description The 9.842-acre parcel has no direct access to a publicly maintained street, it only has indirect access through Applicant's currently owned property, Parcel No. 184-001332. We request a limited exception to the direct access requirement in § 502.01. |
| Section | Description |
| Section | Description |

The following shall govern the granting of the variance: (Provide explanation, use separate sheet if needed)

Is the variance detrimental to the public health or safety or is it injurious to other property?

Yes
 No

No. Applicant would use his currently owned Parcel No. 184-001332 to access the 9.842-acre parcel. Applicant has been accessing the 9.842-acre parcel in this manner for almost 20 years. Further, there are no water, sewage, mail or garbage services delivered to the 9.842-acre parcel, nor are such services anticipated in the future considering the 9.842-acre parcel is in the floodplain and cannot be developed.

Are the circumstances of the request unique to the property and not generally applicable to others?

Yes
 No

Yes, because the 9.842-acre parcel, though owned by Property Owner, has been used and accessed by Applicant in the requested manner for about 15 years. Further, Applicant will not develop the 9.842-acre parcel so the immediate need for it to have direct access to a publicly maintained road is minimized. Applicant's goal is to continue to treat the 9.842-acre parcel as it has been treated and farmed for over half a century by the current owner and prior owner.

Due to physical surroundings, shape or characteristics of the property, would a hardship result, as distinguished from an inconvenience, if the strict letter of the Subdivision Regulations were enforced?

Yes
 No

Yes, because the 9.842-acre parcel is land-locked and in the floodplain the best use of the property is to allow Applicant to continue to access the 9.842-acre parcel as he historically has been - through his currently owned property. There is no direct access to the road from the 9.842-acre parcel and to force applicant to build such road would require him to purchase land from persons unrelated to the Applicant and Property Owner.



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Subdivision Variance

Page 2



Property Owner Information

Name: Jim Stevenson

Address: 7000 Lithopolis Rd., Groveport, Ohio 43125

Phone # 614-575-6535

Fax #

Email: dawnlee53@yahoo.com

Engineer/Surveyor Information

Name:

Address:

Phone #

Fax #

Email:

Applicant Information

Same as property owner

Same as engineer/surveyor

Name: Alec Land

Address: 9695 Basil Western Road, Canal Winchester, Ohio 43110

Phone # 614-738-8337

Fax # 614-829-5070

Email: shapiroland@icloud.com

Water & Wastewater

Water Supply

Public (Central)

Private (On-site)

Other: N/A

Wastewater Treatment

Public (Central)

Private (On-site)

Other: N/A

Checklist

Completed Application

Fee Payment (checks only)

Copy of denied application, if applicable

Site plan, max. size 11"x17"

Proof of Water/Wastewater N/A



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Subdivision Variance Page 3



Applicant Signature

To the best of my/our knowledge and belief, information and materials submitted as a part of this Variance application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes.

[Handwritten Signature]
Applicant

11/12/19
Date

Engineer

Date

James N. Stevenson
Property Owner (Signature must be notarized)

11/12/19
Date

Property Owner (Signature must be notarized)

Date



Traci L. Glavovich
TRACI L. GLAVOCICH
Notary Public, State of Ohio
My Commission Expires
February 4, 2024

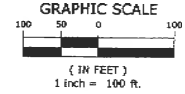
PLAT OF SURVEY

9.842 ACRES

SITUATED IN THE
SOUTHEASTERLY QUARTER OF
SECTION 26, TOWNSHIP 11, RANGE 21
CONGRESS LANDS (MATTHEWS SURVEY)
MADISON TOWNSHIP, FRANKLIN COUNTY, OHIO

NORTHERLY LINE OF THE S.W. 1/4
OF SECTION 26
ORIGINAL $\frac{1}{2}$ OF GROVEPORT ROAD

REFERENCE POINT
9.842 ACRE TRACT
N.E. COR. OF THE S.W. QTR.
OF SECTION 26
ALUMINUM DISK IN CONC.
FRANKLIN CO. GEODETIC SURVEY
MONUMENT #3307 (FCGS 3307)
3' NORTH OF NORTH E/P



BASIS OF BEARINGS:

BEARINGS SHOWN HEREON ARE BASED ON A BEARING
OF SOUTH 4° 34' 31" WEST FOR THE EASTERLY LINE
OF THE SOUTHEASTERLY QUARTER OF SECTION 26 AS
DERIVED FROM GPS OBSERVATIONS USING THE OHIO
STATE PLANE COORDINATE SYSTEM, SOUTH ZONE,
NORTH AMERICAN DATUM OF 1983 (COGS 96).

NOTES:

1. ALL PERTINENT DOCUMENTS USED FOR THIS
BOUNDARY SURVEY ARE AS SHOWN HEREON.
2. IN GENERAL, ALL EVIDENCE OF OCCUPATION
FOUND ALONG BOUNDARY LINES AGREES WITH
THE LINES CITED IN THE DEEDS.

LEGEND:

- IRON PIN FOUND
- MONUMENT FOUND
- 5/8" X 30" IRON PIN SET
W/PLASTIC CAP INSCRIBED
JOHN B. ADCOCK S-8461.

RECEIVED

NOV 14 2019

Franklin County Planning Department
Franklin County, OH

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAT OF SURVEY IS
BASED ON AN ACTUAL FIELD SURVEY PERFORMED IN
JANUARY 2019 AND MEETS ALL OF THE
REQUIREMENTS FOR A BOUNDARY SURVEY AS SET
FORTH IN THE OHIO ADMINISTRATIVE CODE CHAPTER
4733-37.

John B. Adcock 8461 1/19/19
JOHN B. ADCOCK, Ohio P.S. No. _____ Date:



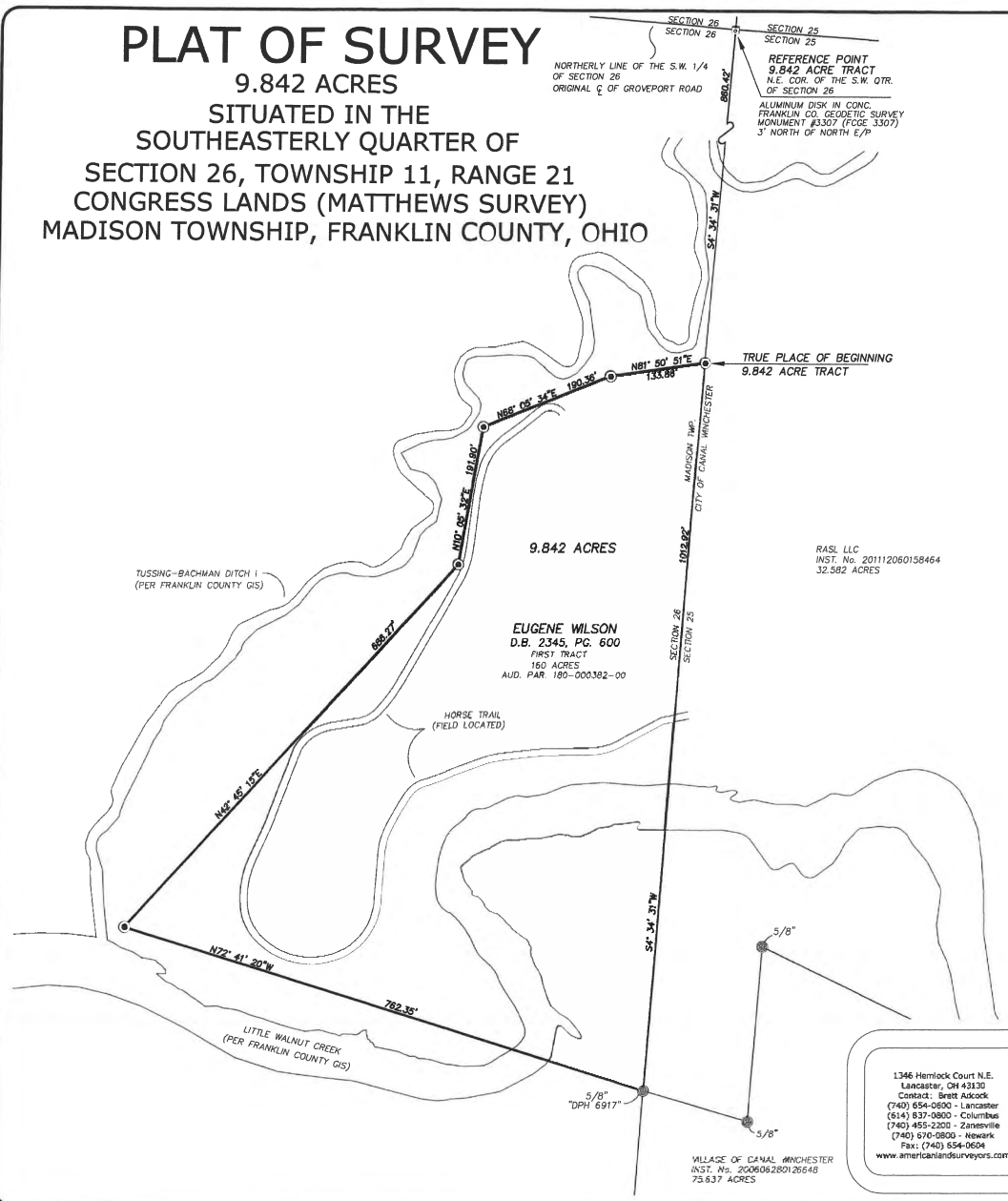
1346 Hemlock Court N.E.
Lancaster, OH 43130
Contact: Brett Askack
(740) 654-0600 - Lancaster
(614) 637-0800 - Columbus
(740) 455-2203 - Zanesville
(740) 670-0800 - Newark
Fax: (740) 654-0604
www.americanlandsurveyors.com

ALS AMERICAN LAND SURVEYORS

Focused
on
Excellence

| FIELD | DRAFT | CHECK |
|----------|------------------|-------|
| JBA | JBA | JBA |
| JOB NO.: | 19-003 | |
| DATE: | JANUARY 24, 2019 | |
| SCALE: | 1"=100' | |

WILLAGES OF CANAL WINCHESTER
INST. No. 220608280126248
73.637 ACRES



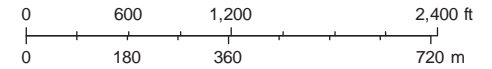
038-19-LLD



November 4, 2019

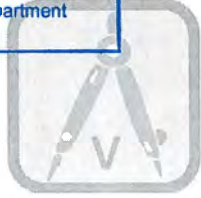
- Parcel IDs
- Pavement
- Street Network
- Waterbodies
- Tax Parcel
- ImageryExtent2017

1:8,928



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

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NOV 18 2023
 Franklin County Planning Department
 Franklin County, OH



Application for
**Subdivision
 Variance**
 Page 1

| Property Information | |
|--|---|
| Site Address: 4782 W. BROAD STREET, COLUMBUS, OHIO | |
| Parcel ID(s): 240-004958-00 | |
| Total Acreage: 3.94 +/- | Current Zoning: "GB" GENERAL BUSINESS |
| Township: PRAIRIE | Subdivision: N/A |

| Staff Use Only | |
|----------------|-----------------|
| Case # | 711-V |
| Date Filed: | 11/18/19 |
| Fee Paid: | |
| Receipt # | |
| Hearing Date: | 12/11/19 |
| Received By: | BMF |

| Requested Variances/Decision or Interpretation Appealed | |
|---|--|
| Section Number(s) of the county subdivision regulations and a brief description of variance(s) requested: | |
| Section | Description |
| 501.05 | REQUEST VARIANCE FROM REQUIREMENT THAT SIDE LOT LINE BE WITHIN 5 DEGREES OF BEING PERPENDICULAR TO STREET CENTERLINE. |
| Section | Description |
| 501.05 | REQUEST VARIANCE FROM REQUIREMENT THAT LOT DEPTH TO WIDTH NOT EXCEED 4 TO 1. |

The following shall govern the granting of the variance: (Provide explanation, use separate sheet if needed)

Is the variance detrimental to the public health or safety or is it injurious to other property?

Yes
 No

Are the circumstances of the request unique to the property and not generally applicable to others?

Yes
 No

SEE ATTACHMENT

Due to physical surroundings, shape or characteristics of the property, would a hardship result, as distinguished from an inconvenience, if the strict letter of the Subdivision Regulations were enforced?

Yes
 No

SEE ATTACHMENT



Franklin County Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Subdivision Variance

Page 2



Property Owner Information

Name: ECHO/CONTINENTAL LINCOLN VILLAGE, LLC

Address: 222 E. 115 AVENUE
COLUMBUS, OHIO 43201
ATTN: TODD DILLON

Phone # (614) 291-2600 Fax # _____

Email: TODD@HOMETEAMPROPERTIES.NET

Engineer/Surveyor Information

Name: SANDS DECKER

Address: 1495 OLD HENDERSON ROAD
COLUMBUS, OHIO 43220
ATTN: STEVE NEWELL

Phone # (614) 459-6992 XT 243 Fax # _____

Email: SNEWELL@SANDSDECKER.COM

Applicant Information

Same as property owner Same as engineer/surveyor

Name: _____

Address: _____

Phone # _____ Fax # _____

Email: _____

Water & Wastewater

Water Supply

Public (Central)

Private (On-site)

Other: _____

Wastewater Treatment

Public (Central)

Private (On-site)

Other: _____

Checklist

Completed Application

Fee Payment (checks only)

Copy of denied application, if applicable

Site plan, max. size 11"x17"

Proof of Water/Wastewater



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

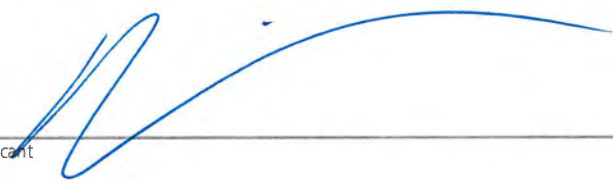
Economic Development & Planning Department
James Schimmer, Director

Application for Subdivision Variance Page 3



Applicant Signature

To the best of my/our knowledge and belief, information and materials submitted as a part of this Variance application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes.



Applicant

11-18-19

Date

Engineer

Date

Property Owner (Signature must be notarized)

Date

Property Owner (Signature must be notarized)

Date

The circumstances of the request are unique to the property and not generally applicable to others, and, due to the physical surroundings, shape or characteristics of the property, a hardship would result, for the following reasons:

The proposed lot-split is out of a larger parcel currently under lease to Giant Eagle, which leases and occupies an adjacent building. Giant Eagle's consent is required in order to permit the construction and operation of a new "Chipotle" Mexican food restaurant on the proposed lot-split parcel. As part of that consent, Giant Eagle requires the "jog" on the proposed east property line in order to include within the lot-split parcel certain existing parking stalls that Giant Eagle require to be within such lot-split parcel for purposes of maintenance, use and payment of real estate taxes that would otherwise be included within the Giant Eagle remainder parcel. An easement over the "jog" area was discussed with Giant Eagle which, if accepted by Giant Eagle, would have done away with the non-conforming "jog"; however, that idea was rejected by Giant Eagle



NORTH

GRAPHIC SCALE



1" = 50'

SURVEYOR'S NOTES

- 1) BASED ON RECORDS ON FILE AT THE FRANKLIN COUNTY RECORDER'S OFFICE AND THE FRANKLIN COUNTY ENGINEER'S OFFICE.
- 2) REFERENCES: DOCUMENTS NOTED HEREON.
- 3) BEARINGS ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM - OHIO SOUTH ZONE (NAD83) BY GPS OBSERVATION, WITH THE BEARING FROM THE POINT OF BEGINNING TO FRANKLIN COUNTY MONUMENT NRMM 264 OF S87°08'15"W AS THE BASIS OF BEARINGS FOR THIS SURVEY.
- 4) ALL IRON PINS SET ARE 3/4" INSIDE DIAMETER IRON PIPES, 30" IN LENGTH WITH A 1" DIAMETER YELLOW CAP STAMPED "SANDS DECKER."

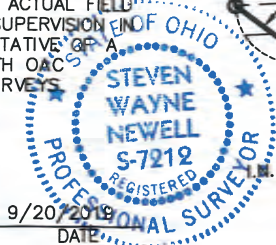
- IRON PIN FOUND
- IRON PIN SET
- ▲ MAG NAIL SET
- △ FRANKLIN COUNTY MONUMENT

CERTIFICATION

THIS DRAWING IS REPRESENTATIVE OF AN ACTUAL FIELD SURVEY PERFORMED UNDER MY DIRECT SUPERVISION IN APRIL, 2019. THIS DRAWING IS REPRESENTATIVE OF A BOUNDARY SURVEY IN CONFORMANCE WITH OAC 4733-37 STANDARDS FOR BOUNDARY SURVEYS

SANDS DECKER CPS

STEVEN W. NEWELL
OHIO PROFESSIONAL
SURVEYOR 7212



9/20/2019
DATE

**SURVEY EXHIBIT OF PROPOSED
1.039 ACRE TRACT**
PART OF LAND OF ECHO/CONTINENTAL LINCOLN VILLAGE, LLC
TOWNSHIP OF PRAIRIE, COUNTY OF FRANKLIN, STATE OF OHIO
PART OF RESERVE L OF LINCOLN VILLAGE

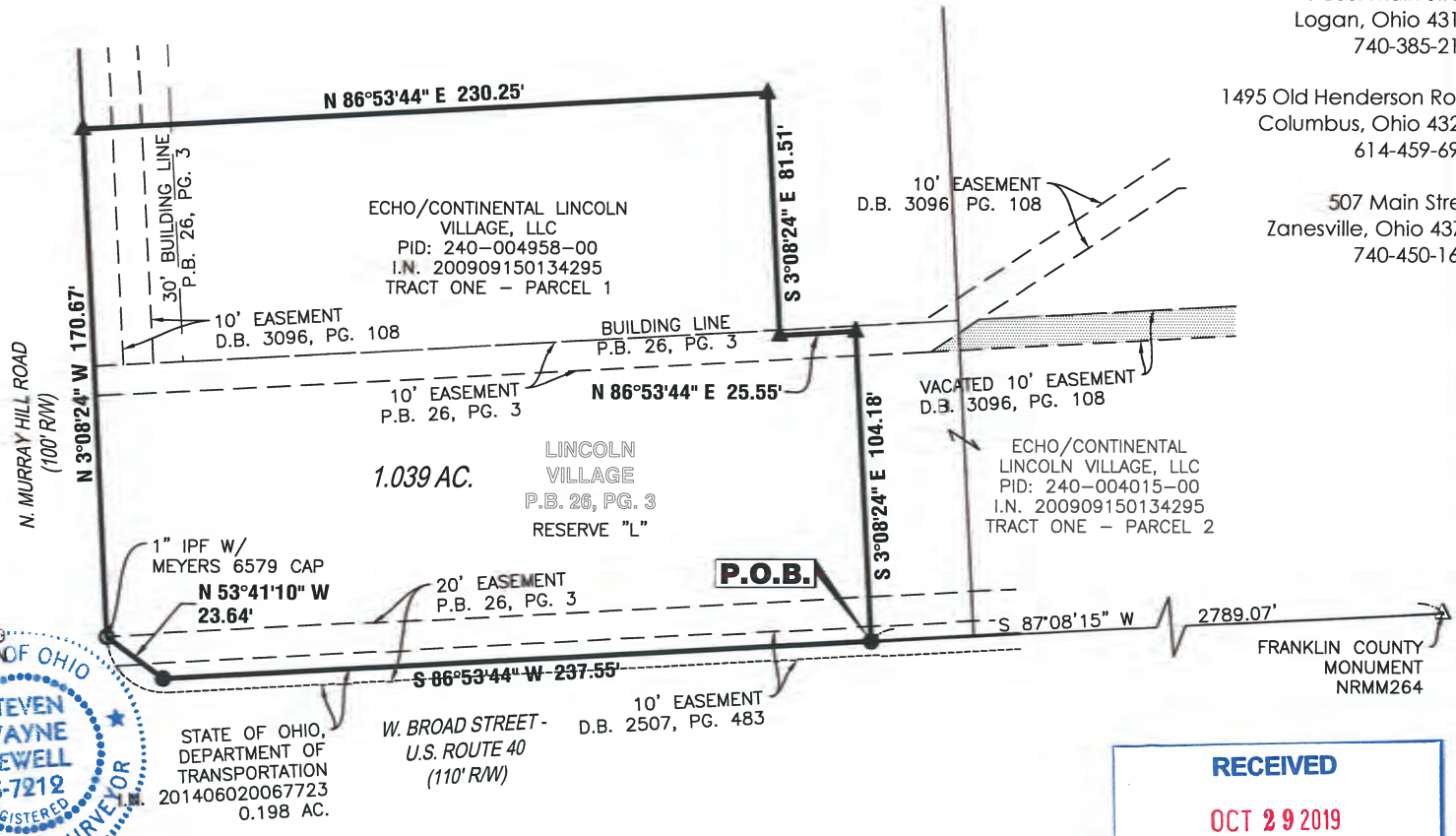


OFFICES

128 East Main Street
Logan, Ohio 43138
740-385-2140

1495 Old Henderson Road
Columbus, Ohio 43220
614-459-6992

507 Main Street
Zanesville, Ohio 43701
740-450-1640



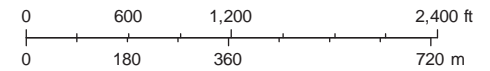
036-19-LS

036-19-LS



October 29, 2019

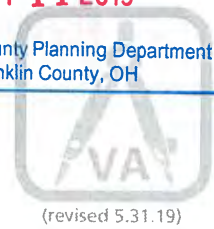
1:8,928



Franklin County Auditor
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

Application for
Zoning Variance
 Pursuant to Section 810 of the Zoning Resolution
 Page 1 of 7

RECEIVED
OCT 11 2019
 Franklin County Planning Department
 Franklin County, OH



Property Information

Site Address: 5231 DENTON RD., ORIENT, OH 43146
 Parcel ID: 230-000186-00 Zoning District: _____
 Lot Acreage: 1.95 Township: PLEASANT

Property Owner Information

Name: JOHN + GWEN WHITTAKER
 Address: 5231 DENTON RD
ORIENT, OH 43146
 Phone # 614929 8931 Fax # _____
 Email: GWHITS085@GMAIL.COM

Applicant Information Same as property owner

Name: _____
 Address: _____
 Phone # _____ Fax # _____
 Email: _____

Agent Information

Name: _____
 Address: _____
 Phone # _____ Fax # _____
 Email: _____

Staff Use Only

Case # VA- 3954
 Date Filed: 10/11/19
 Received By: BMF
 Hearing Date: 12/16/19
 Technical Review: 11/26/19
 Zoning Compliance #: 19-345

Checklist

- Completed Application
- Fee Payment (checks only)
- Auditor's Map (8.5"x11")
- Site Map (max 11"x17" see page 7)
- Covenants and deed
- Notarized signatures
- Proof of water/wastewater supply
- Copy of denied Zoning Certificate
- Copy of denial letter

Water & Wastewater

- Water Supply**
- Public (Central)
 - Private (On-site)
 - Other
- Wastewater Treatment**
- Public (Central)
 - Private (On-site)
 - Other



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for

Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 2 of 7



Case# VA-

Variance(s) Requested:

Section: 512.02 (2)

Description: LOCATION, NUMBER + SIZE OF RESIDENTIAL ACCESSORY BUILDINGS

Section:

Description:

Section:

Description:

Describe the project:

ADDITION TO AN EXISTING POLE BARN THAT IS 3' FROM THE PROPERTY LINE. ADDITION WOULD EXTEND THE CURRENT BUILDING FROM 28' DEEP TO 52'

NOTE: To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.

THE EXISTING POLE BARN WAS BUILT 3' FROM THE PROPERTY LINE. WE MERELY WANT TO EXTEND IT RATHER THAN BUILD A SECOND STRUCTURE.



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for

Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 3 of 7



Case# VA-

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

BEING IN A RURAL AREA, MANY OTHERS HAVE ERECTED SIMILAR STRUCTURES. THE NEIGHBORS HAVE NO OBJECTIONS TO OUR PROPOSED BUILDINGS AND FEEL IT WOULD BE AN ASSET TO OUR PROPERTY.

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

THE EXISTING POLE BARN WAS BUILT IN 1978 (PER FRANKLIN COUNTY AUDITOR SITE) AND BY A PREVIOUS OWNER OF THE HOUSE

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

NO SPECIAL PRIVILEGE WOULD BE GRANTED TO US.

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

NO. THE STRUCTURE WILL BE BEHIND OUR HOUSE AND NOT AFFECT PUBLIC WELFARE, NOR BE INJURIOUS TO PRIVATE PROPERTY. THERE ARE CURRENTLY NO PUBLIC IMPROVEMENTS IN THE VICINITY

6. Can there be any beneficial use of the property without the variance?

NO. OTHER AREAS OF THE PROPERTY WOULD REQUIRE SUBSTANTIAL GRASSING TO ADD AN ADDITIONAL STRUCTURE, AND A 2ND STRUCTURE WOULD NOT KEEP THE PROPERTY AS NEAT AND AESTHETICALLY PLEASING.



Zoning Variance



Case# VA-

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

THE VARIANCE WOULD BE 7 FEET. THE EXISTING STRUCTURE IS 3' FROM THE PROPERTY LINE ALREADY AND TO MOVE THE BUILDING LINE OF THE ADDITION WOULD MAKE THE ADDITION LOOK UNFINISHED AND JAGGED.

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

NO. NEIGHBORS HAVE STATED THE ADDITION MAKES SENSE AND THEY BELIEVE THE FINISHED BUILDING WOULD ADD TO PROPERTY VALUE.

9. How would the variance adversely affect the delivery of governmental services? (e.g., water, sewer, garbage, fire, police - Verification from local authorities - i.e. fire might be required)

NO ADVERSE EFFECTS WOULD EXIST.

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

NO. WE BELIEVED THAT SINCE THE EXISTING STRUCTURE WAS 3' FROM THE PROPERTY LINE IT WOULD BE ACCEPTABLE TO ADD ON TO IT WITHOUT ISSUE.

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

NO. AN ADDITIONAL BUILDING WOULD NOT BE AS AESTHETICALLY PLEASING TO THE NEIGHBORS AS MAINTAINING A SINGLE STRUCTURE IN THE SAME PLANE, AND WOULD LOOK "TACKY."

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

YES. THE ADDITION WOULD LOOK LIKE A MORE FINISHED STRUCTURE THAN THE EXISTING AND PROVIDE US THE ABILITY TO MAINTAIN A SINGLE STRUCTURE



Case# VA-

Affidavit **

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form and all applicable requirements of the Franklin County Zoning Resolution. The affiant further acknowledges that a Certificate of Zoning Compliance may only be issued for an approved Variance within the period of one (1) year from the date of final approval by the Board of Zoning Appeals; if an approved Variance has not been used within one (1) year of its date of issuance, meaning there has not been active and substantial improvement to a property in accordance with a valid Variance, then the Variance shall expire and no work may commence or continue without either renewing the Variance or receiving a new Variance approval from the Board of Zoning Appeals in accordance with Section 810 of the Franklin County Zoning Resolution.

Applicant/Authorized Agent *

Date

[Handwritten Signature]

10/11/2019

Property Owner (signature must be notarized)

Date

[Handwritten Signature]


10/11/2019

Property Owner (signature must be notarized)

Date

- *Agent must provide documentation that they are legally representing the property owner.
- **Approval does not invalidate any restrictions and/or covenants that are on the property.

State of Ohio
County of Franklin
10/11/19


 ELLEN M GRUNOW
 Notary Public



ELLEN M. GRUNOW
 Notary Public, State of Ohio
 My Comm. Expires 01-19-2020
 Recorded in Franklin County



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for

Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 6 of 7



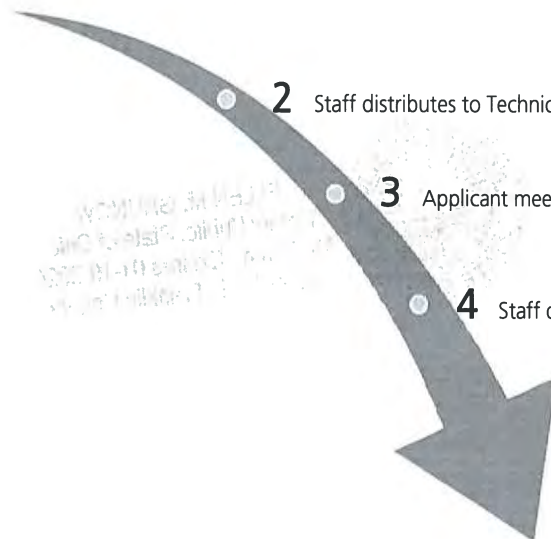
Application Instructions

Please submit the following:

1. Application Form
Completed application form with notarized signatures
2. Fee - non refundable *Please refer to our most current fee schedule by visiting www.franklincountyohio.gov/edp
Checks only payable to *Franklin County Treasurer*
3. Covenants or deed restrictions
Provide a copy of your deed with any deed restrictions
You can access and print a copy by visiting: www.franklincountyohio.gov/recorder
4. Auditor's Tax Map
Provide a map showing the subject property and all land within 500 feet of the property.
You can access and print a copy of the map by visiting: www.franklincountyohio.gov/auditor
5. Site Map - Refer to Page 7
6. Proof of utility service
Provide proof from the provider of your water and wastewater services

Note: If centralized water and/or sewer services are provided by a private/public entity, you must provide a letter or current bill verifying that services are provided or access is available. If you're proposing an on-lot septic system or well, please provide information from the Franklin County Board of Health (or appropriate agency).

1 Staff reviews application for completeness



2 Staff distributes to Technical Review Agencies

3 Applicant meets with staff and Technical Review Committee

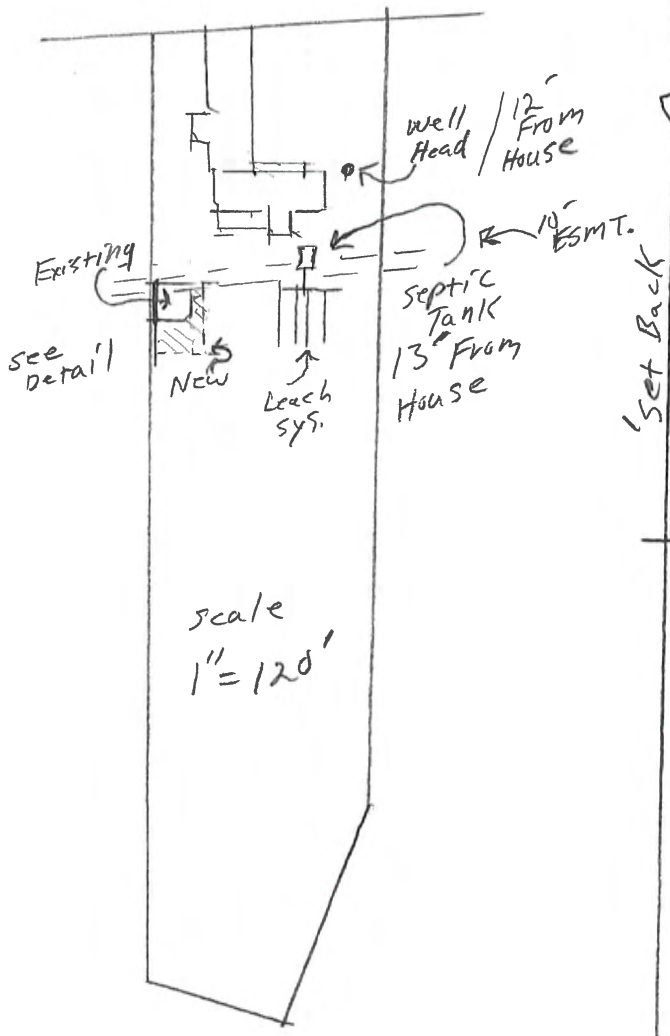
4 Staff drafts report and makes recommendation

5 BZA Hearing - Staff presents case to the Board who takes action to approve, approve with conditions or deny

Denton Road

5231 Denton Rd.

Scale $\frac{1}{8}'' = 1 \text{ ft.}$



Set Back

22' 8'

Existing Pole Barn
22' x 28'

New
Patio

3' off
Property Line

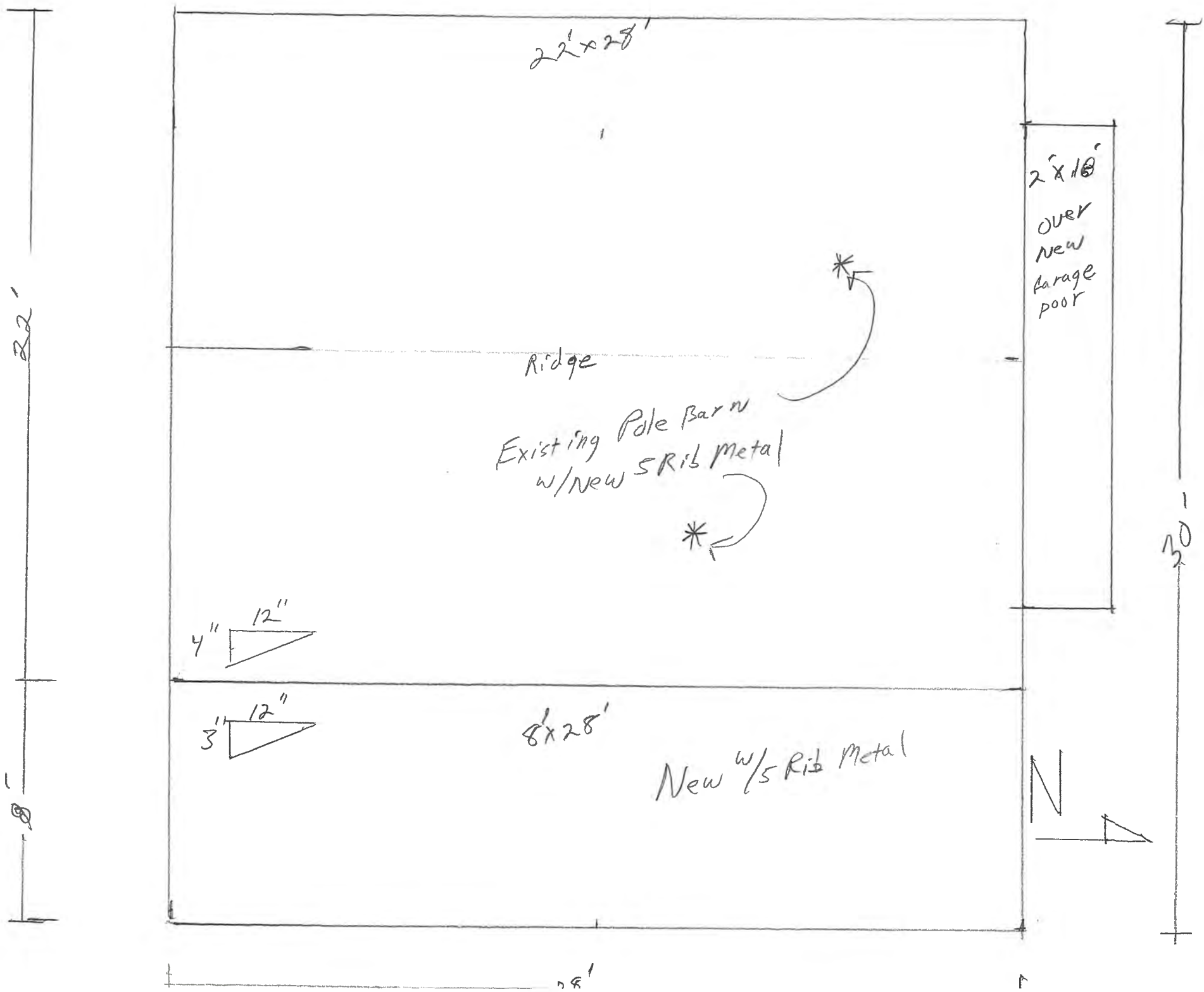
Proposed
New Pole Barn Addition
*to be Determined by Zoning Board

RECEIVED

OCT 11 2019

Franklin County Planning Department
Franklin County, OH

VA-3954

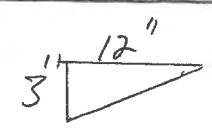
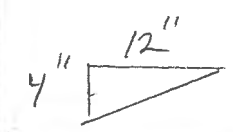


22' x 28'

2' x 10'
OVER
New
Garage
POOR

Ridge

Existing Pole Barn
w/ New S Rib Metal



8' x 28'

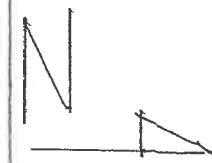
New w/ S Rib Metal

22'

8'

30'

28'



Existing Pole Barn

New

Existing Truss

Existing Post

New 2"x6" Rafter's 4' o.c.
w/ 2"x4" Perlin 2' o.c.

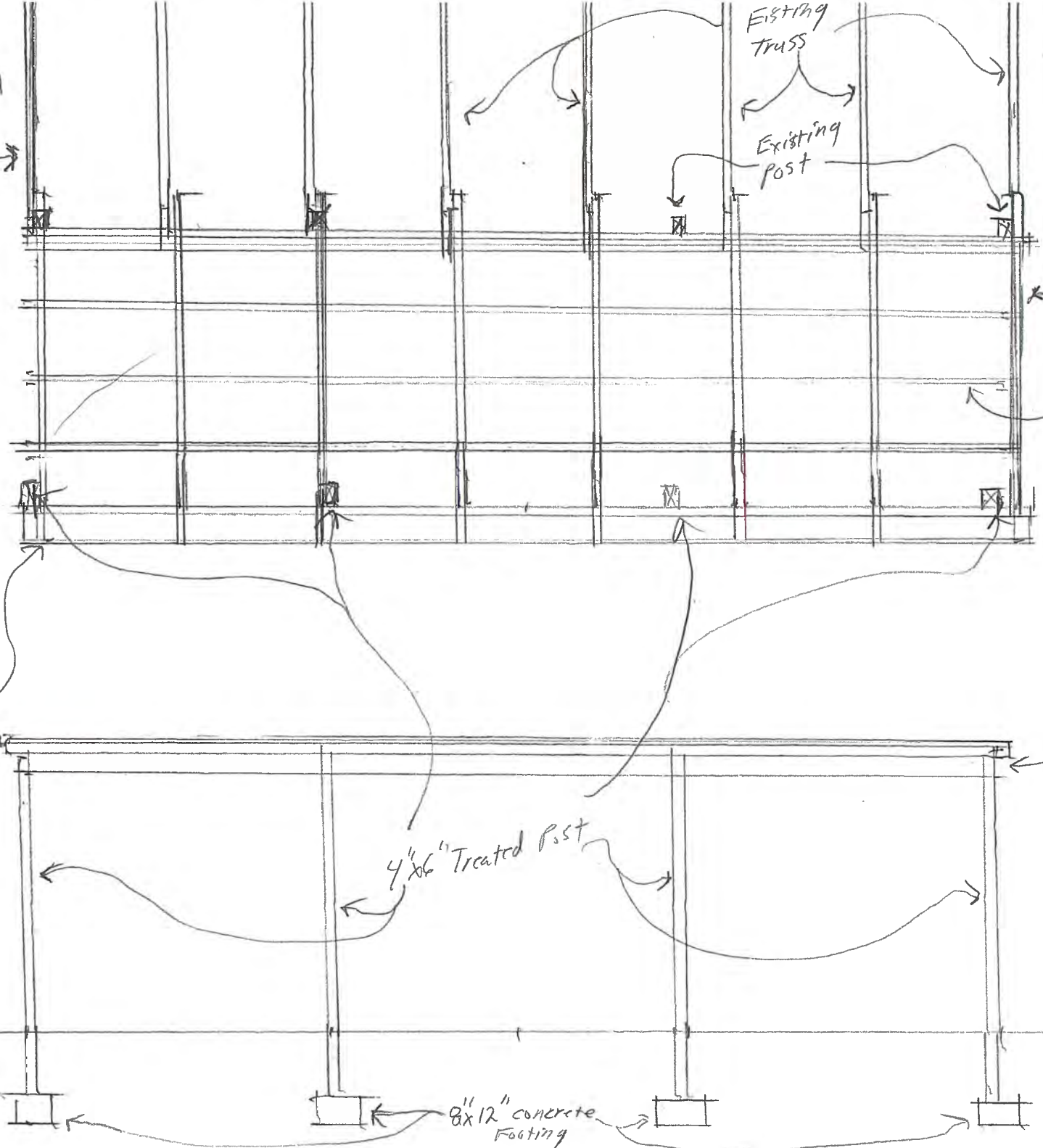
5" Rough Fascia

2"x8" Board

4"x6" Treated Post

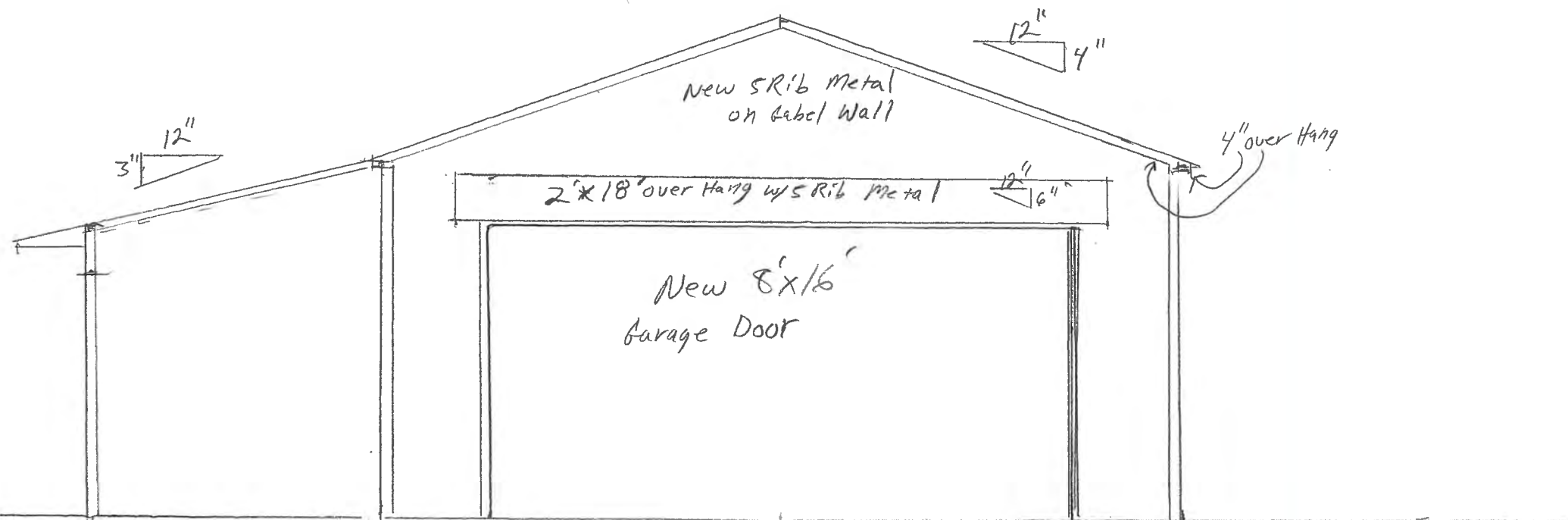
Existing Grade *

8"x12" concrete Footing



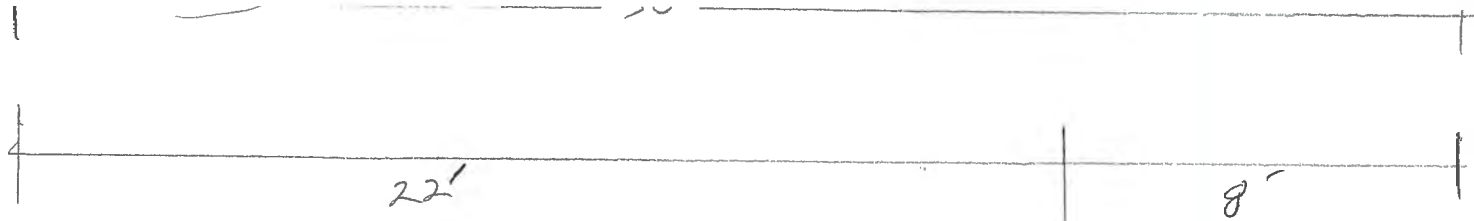
30'

8' New Patio Cover
22' Existing Pole Barn

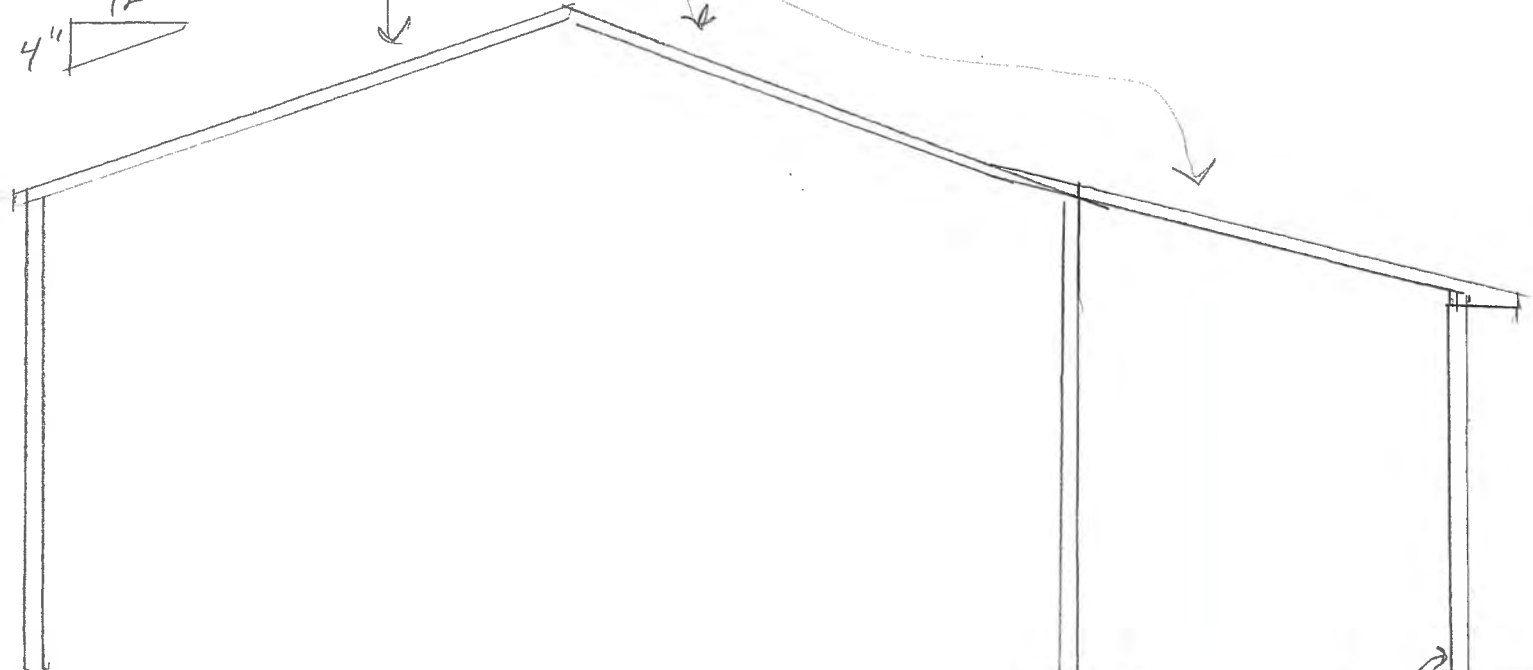
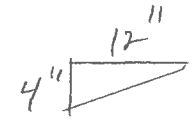


North Wall

* Existing gravel Drive w/new *
* 57 crushed lime stone topping



New 5 Rib Metal



South Wall

4"x6" treated Post

8"x12" concrete Footing 20" Below grade

28' Existing Pole Barn



14' From Existing
Grade



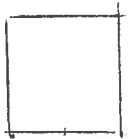
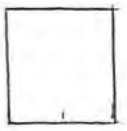
New 2x18'
over 1/5 Rib metal



* New 5 Rib Metal
on Roof and Wall

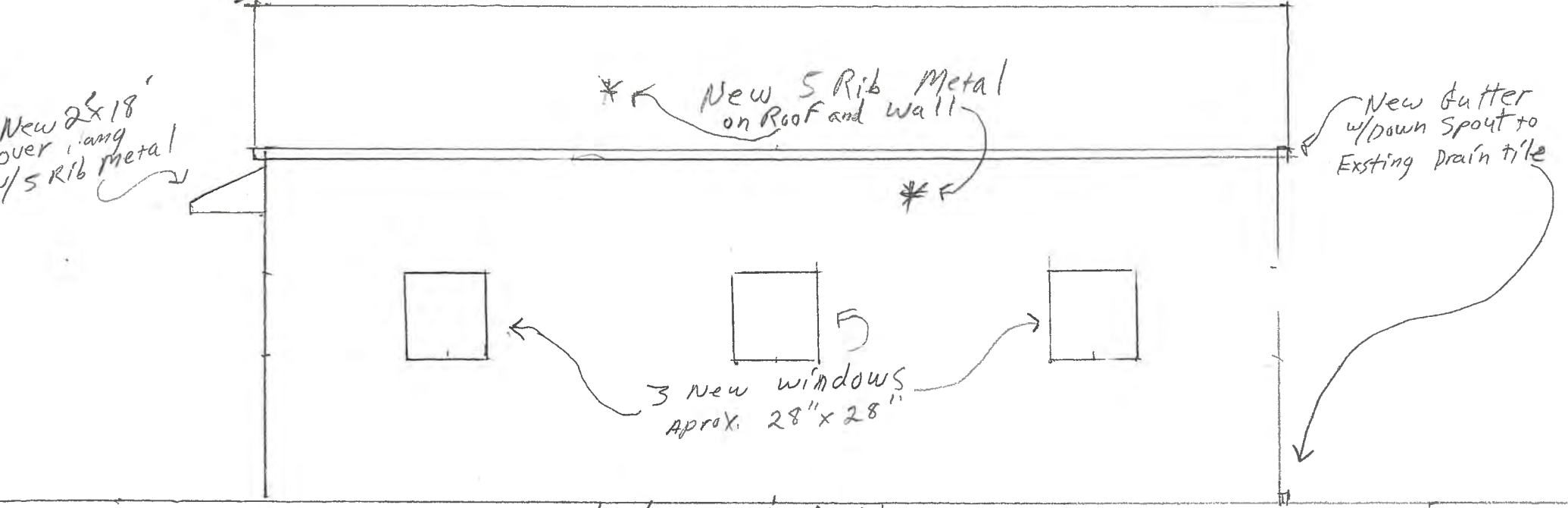


New Gutter
w/down Spout to
Existing Drain tile



3 new windows
Approx. 28" x 28"

West Wall



28' Existing Pole Barn w/new Patio



New Gutter
w/down Spout
to Existing
drain tile

* New 5 Rib Metal on
Roof and wall

New 2x18
over Hing w/5
Rib Metal

* New Roof over Concrete Patio

New Over Head
Door 8' x 7'

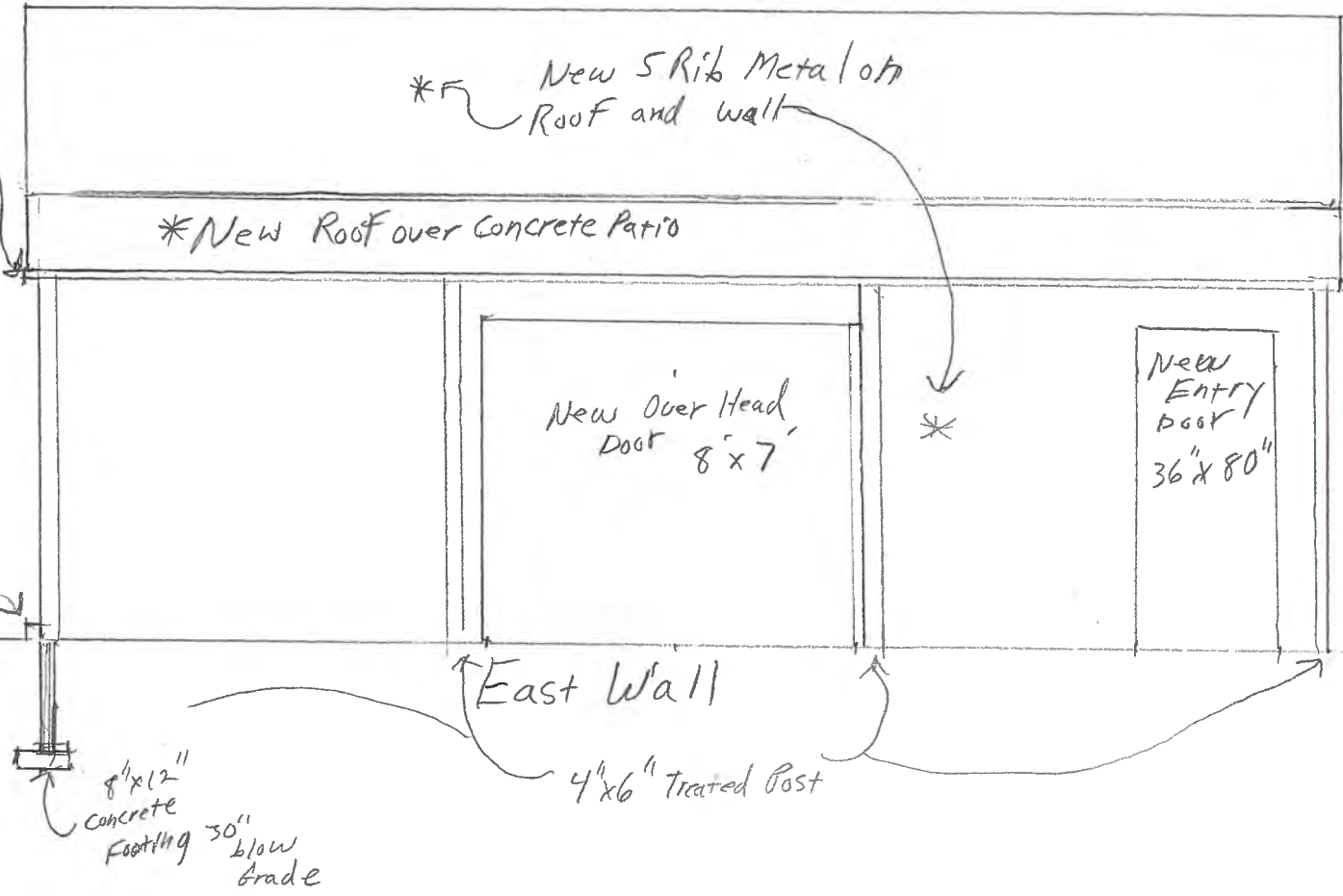
New
Entry
Door
36" x 80"

Existing Grade

East Wall

8' x 12" concrete
Footing 30"
below
Grade

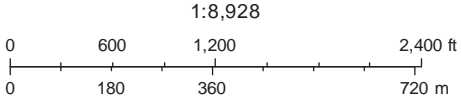
4" x 6" Treated Post



VA-3954



October 15, 2019



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 1 of 7

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NOV 14 2019
Franklin County Planning Department
Franklin County, OH



(revised 7.13.19)

Property Information

Site Address: 7000 Lithopolis Rd, Groveport OH 43125

| | |
|--|------------------------|
| Parcel ID: 180-000382-00 | Zoning District: Rural |
| Lot Acreage: 198.05 Acres (but to split off 9.842-acres from larger lot) | Township: Madison |

Property Owner Information

Name: Jim Stevenson

Address: 7000 Lithopolis Rd, Groveport OH 43125

| | |
|----------------------------|-------|
| Phone # 614-575-6535 | Fax # |
| Email: dawnlee53@yahoo.com | |

Applicant Information Same as property owner

Name: Alec Land

Address: 9695 Basil Western Road, Canal Winchester, Ohio 43110

| | |
|-------------------------------|----------------------|
| Phone # 614-738-8337 | Fax # (614) 829-5070 |
| Email: shapiroland@icloud.com | |

Agent Information

Name: Kimberly Land, Esq

Address: Bailey Cavalieri LLC
Attn.: Kimberly Land, Esq.
10 W. Broad St., Columbus Ohio, 43215

| | |
|----------------------------|--------------------|
| Phone # 614-229-3367 | Fax # 614-221-0479 |
| Email: kland@baileycav.com | |

Staff Use Only

Case # VA-3955

Date Filed: 11/14/19

Received By: BMF

Fee Paid: \$350

Receipt Number: 19-04272

Hearing Date: 12/16/19

Technical Review: 11/26/19

Zoning Compliance #: lot split
038-19-LLD

Checklist

- Completed Application
- Fee Payment (checks only)
- Auditor's Map (8.5"x11")
- Site Map (max 11"x17")
- Covenants and deed
- Notarized signatures
- Proof of water/wastewater supply
- Copy of denied Zoning Certificate
- Copy of denial letter

Water & Wastewater

- Water Supply**
- Public (Central)
 - Private (On-site)
 - Other N/A
- Wastewater Treatment**
- Public (Central)
 - Private (On-site)
 - Other N/A



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for

Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 2 of 7



Case# VA-

Variance(s) Requested:

Section: § 302.04(2) *Minimum Lot Width*: Lots shall have access to & abut on an improved, dedicated, publicly maintained street right-of-way for at least 150 ft.

Description: The 9.842-acre parcel has no **direct** access to a publicly maintained street, it only **has indirect** access through Applicant's currently owned property. We request a limited exception to the direct access requirement in § 302.04(2).

Section:

Description:

Section:

Description:

Describe the project:

Applicant and Property Owner have contracted for Applicant to purchase the 9.842-acre parcel. The 9.842-acre parcel is adjacent to Parcel No. 184-001332 (east of the 9.842-acre parcel). Applicant currently owns Parcel No. 184-001332 (and has for over 20 years) which has sufficient access points to Groveport Road. Applicant would use Parcel No. 184-001332 to access the 9.842-acre parcel.

NOTE: To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.

The 9.842-acre parcel is adjacent to Parcel No. 184-001332, which is also owned by the Applicant. Applicant would use Parcel No. 184-001332 to access the 9.842-acre parcel. Applicant has been accessing the 9.842-acre parcel in this manner for about 20 years. Further, there are no water, sewage, mail or garbage services delivered to the 9.842-acre parcel, nor are such services anticipated in the future considering the 9.842-acre parcel is in the floodplain and cannot be developed.



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
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Application for

Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

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Case# VA-

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

If the application is denied, Applicant fears the property will be re-zoned into the Village of Canal Winchester, rather than continuing in

Madison Township, and as such, Applicant fears he would be deprived of the rights commonly enjoyed by other properties in Madison

Township.

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

Applicant did not take any actions to limit the 9.842-acre parcel's access to a publicly maintained street. Rather the 9.842-acre parcel is the

amount and area of land that has been offered for sale to Applicant by the Property Owner.

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

No, considering that Applicant owns the adjacent parcel, the split-parcel will effectively have access to Groveport Road, which is also required

of other similarly situated properties. Additionally, the 9.842-acre parcel will continue to be used as it has been for some time.

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

No, persons will have access to the property via the adjacent property already owned by Applicant. Further, if this variance is granted and

Applicant's lot is permitted to be used as an indirect access point, the public will have closer access to the 9.842-acre parcel (through Groveport

Road) than it did when persons had to use 7000 Lithopolis Rd. to access it.

6. Can there be any beneficial use of the property without the variance?

None that Applicant foresees because the property cannot realistically be developed since it is in the floodplain.



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

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Application for

Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

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Case# VA-

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

Section 302.04(2) provides that lots shall have access to and abut on an improved, dedicated, publicly maintained street right-of-way for a distance of at least 150 feet. The variance would make an exception for the requirement of 150 feet of direct access to a road, and instead allow indirect access.

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

No, the 9.842-acre parcel, though owned by Property Owner, has been used and accessed by Applicant for about 15 years. Further, Applicant's goal is to continue to treat the 9.842-acre parcel as it has been treated and farmed for over half a century by the current owner and prior owner, Eugene Wilson.

9. How would the variance adversely affect the delivery of governmental services? (e.g., water, sewer, garbage, fire, police - Verification from local authorities – i.e. fire might be required)

If this variance is granted and Applicant's currently owned lot is permitted to be used as an indirect access point, the public and applicable governmental service providers will be closer to the 9.842-acre parcel (through Groveport Road and Parcel No. 184-001332) than they were when the public had to use 7000 Lithopolis Rd. to access it. Further, there are no buildings, water, sewage or garbage services delivered to the 9.842-acre parcel currently, nor are such services anticipated in the future.

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

Yes, but the purchase agreement is contingent on the property being approved for the lot-split and zoning/subdivision variances.

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

None foreseeable to Applicant.

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

Yes, because the 9.842-acre parcel would have access to Groveport Road through the Applicant's existing property. Further, the 9.842-acre parcel would continue to be treated as it has historically been treated by the current and previous property owners.



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Zoning Variance Pursuant to Section 810 of the Zoning Resolution Page 5 of 7



Case# VA-

Affidavit **

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form and all applicable requirements of the Franklin County Zoning Resolution. The affiant further acknowledges that a Certificate of Zoning Compliance may only be issued for an approved Variance within the period of one (1) year from the date of final approval by the Board of Zoning Appeals; if an approved Variance has not been used within one (1) year of its date of issuance, meaning there has not been active and substantial improvement to a property in accordance with a valid Variance, then the Variance shall expire and no work may commence or continue without either renewing the Variance or receiving a new Variance approval from the Board of Zoning Appeals in accordance with Section 810 of the Franklin County Zoning Resolution.

Dee E. [Signature] *mm*
Applicant/Authorized Agent *

11/12/19
Date

James V. Stevenson
Property Owner (signature must be notarized)

11/12/19
Date

Property Owner (signature must be notarized)

Date

- *Agent must provide documentation that they are legally representing the property owner.
- **Approval does not invalidate any restrictions and/or covenants that are on the property.

Traci L Glavovich



TRACI L GLAVOCICH
Notary Public, State of Ohio
My Commission Expires
February 4, 2024

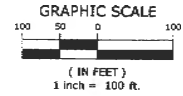
PLAT OF SURVEY

9.842 ACRES

SITUATED IN THE
SOUTHEASTERLY QUARTER OF
SECTION 26, TOWNSHIP 11, RANGE 21
CONGRESS LANDS (MATTHEWS SURVEY)
MADISON TOWNSHIP, FRANKLIN COUNTY, OHIO

NORTHERLY LINE OF THE S.W. 1/4
OF SECTION 26
ORIGINAL $\frac{1}{2}$ OF GROVEPORT ROAD

REFERENCE POINT
9.842 ACRE TRACT
N.E. COR. OF THE S.W. QTR.
OF SECTION 26
ALUMINUM DISK IN CONC.
FRANKLIN CO. GEODETIC SURVEY
MONUMENT #3307 (FCGE 3307)
3' NORTH OF NORTH E/P



BASIS OF BEARINGS:

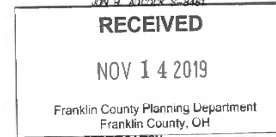
BEARINGS SHOWN HEREON ARE BASED ON A BEARING OF SOUTH 4° 34' 31" WEST FOR THE EASTERLY LINE OF THE SOUTHEASTERLY QUARTER OF SECTION 26 AS DERIVED FROM GPS OBSERVATIONS, BEING THE OHIO STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (CORS 96).

NOTES:

1. ALL PERTINENT DOCUMENTS USED FOR THIS BOUNDARY SURVEY ARE AS SHOWN HEREON.
2. IN GENERAL, ALL EVIDENCE OF OCCUPATION FOUND ALONG BOUNDARY LINES AGREES WITH THE LINES CITED IN THE DEEDS.

LEGEND:

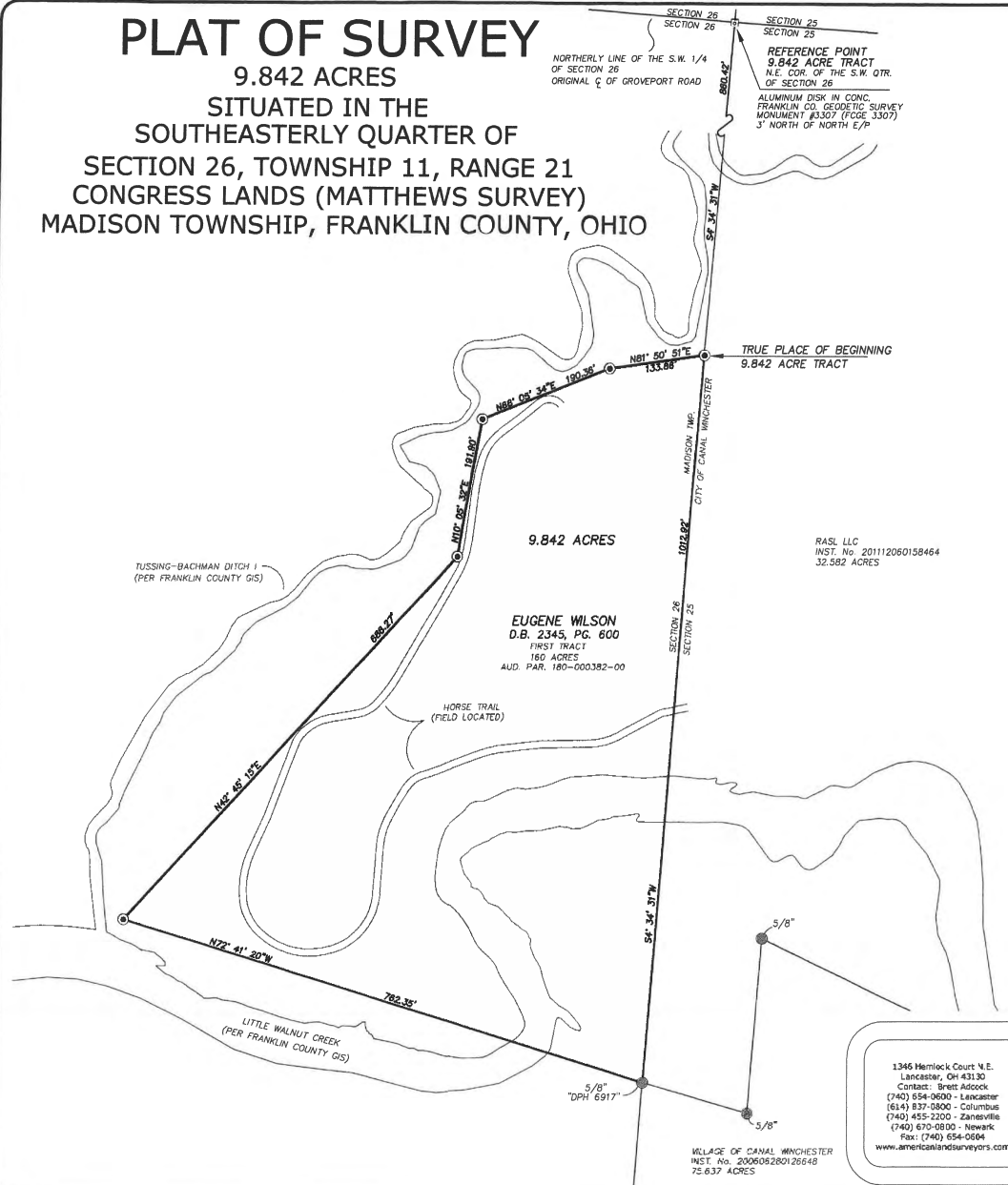
- IRON PIN FOUND
- MONUMENT FOUND
- 5/8" X 30" IRON PIN SET W/PLASTIC CAP INSCRIBED JON B. ADCOCK S-8461



CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAT OF SURVEY IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED IN JANUARY 2019 AND MEETS ALL OF THE REQUIREMENTS FOR A BOUNDARY SURVEY AS SET FORTH IN THE OHIO ADMINISTRATIVE CODE CHAPTER 4733-37.

Jon B. Adcock 8461 1/19/19
JON B. ADCOCK, Ohio P.S. No. Date:



RASL LLC
INST. No. 201112060158464
32.582 ACRES

EUGENE WILSON
D.B. 2345, PG. 600
FIRST TRACT
160 ACRES
AUD. PAR. 180-000382-00

1346 Hemlock Court N.E.
Lancaster, OH 43130
Contact: Brett Adcock
(740) 654-0600 - Lancaster
(614) 837-0800 - Columbus
(740) 455-3200 - Zanesville
(740) 670-0800 - Newark
Fax: (740) 654-0604
www.americanlandsurveyors.com



Focused
on
Excellence

VILLAGE OF CANAL WINCHESTER
INST. No. 200608280126648
75.637 ACRES

| FIELD | DRAFT | CHECK |
|----------|------------------|-------|
| JBA | JBA | JBA |
| JOB NO.: | 19-003 | |
| DATE: | JANUARY 24, 2019 | |
| SCALE: | 1"=100' | |

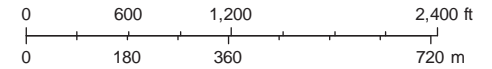
038-19-LLD



November 4, 2019

- Parcel IDs
- Pavement
- Street Network
- Waterbodies
- Tax Parcel
- ImageryExtent2017

1:8,928



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

11/11/19



Franklin County Board of Commissioners
ECONOMIC DEVELOPMENT & PLANNING
Economic Development & Planning Department
James Schimmer, Director

Application for
Zoning Variance
Pursuant to Section 810 of the Zoning Resolution
Page 1 of 7



(revised 7.13.19)

Property Information

Site Address: 3401-3407 and 5179-5184 Olde Cape ST E & N

Parcel ID: 180-004671 Zoning District:

Lot Acreage: 5.56 Township: Madison

Property Owner Information

Name: Sedalia Drive LLC

Address: 6724 Perimeter Loop Rd #103
Dublin OH 43107

Phone # 614-306-6230 Fax # N/A

Email: RSHEP1958@YAHOO.COM

Applicant Information Same as property owner

Name: Same as property owner

Address:

Phone # Fax #

Email:

Agent Information

Name: Thomas L. Hart, Attorney

Address: Two Miranova Pl, ste. 700
Columbus OH 43215

Phone # 614-340-7415 Fax # 614-365-9516

Email: thart@isaacwiles.com



VA-3956

Staff Use Only

Case # VA- 3956

Date Filed: 11/14/19

Received By: BMF

Fee Paid: \$350

Receipt Number: 19-04274

Hearing Date: 12/16/19

Technical Review: 11/26/19

Zoning Compliance #: RZ-19-400

Checklist

- Completed Application
- Fee Payment (checks only)
- Auditor's Map (8.5"x11")
- Site Map (max 11"x17")
- Covenants and deed
- Notarized signatures
- Proof of water/wastewater supply
- Copy of denied Zoning Certificate *Not denied*
- Copy of denial letter

Water & Wastewater

- Water Supply**
- Public (Central)
 - Private (On-site)
 - Other

Wastewater Treatment

- Public (Central)
- Private (On-site)
- Other



Franklin County
Board of Commissioners

**ECONOMIC DEVELOPMENT
& PLANNING**

Economic Development & Planning Department
James Schimmer, Director

Application for

Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 2 of 7



Case# VA-

Variance(s) Requested:

Section:

See attached

Description:

Section:

Description:

Section:

Description:

Describe the project:

See attached

NOTE: To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.

- 1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.

See attached

Attachment to Zoning Variance Application

Subject Property: 3401-3407 Olde Cape Street East and 5179-5185 Olde Cape Street North

Parcel No.: 180-004671

Variance(s) Requested:

Franklin County Zoning Resolution, Section 610.081(1). The BFE is 755.9' ASL and the floodway computation increase for the property is 0.5'. This means that the lowest floor, including basement, must be at or above 757.4' ASL. The proposed building has a lowest floor elevation of 749.32' ASL, a difference of 8.08'.

Franklin County Special Resolution NFIP Regulation

- A. Section 4.1-2(1)** All new construction shall be constructed with materials resistant to flood damage.

- B. Section 4.1-2(3)** All new construction shall be constructed with electrical, heating, ventilation, plumbing and air conditioning equipment and other service facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.

- C. Section 4.2-1(A)(1)** Flood protection shall be achieved by elevating the structure; the lowest floor, including basement shall be at least 1 foot plus floodway computation increases above the base flood elevation.

See these as addressed in Applicants

Project Description:

The apartment building was damaged by fire and is under reconstruction. The building foundation, which is a pre-existing, non-compliant condition, cannot be changed or altered in a manner that makes reconstruction feasible. Only the structure above the foundation is proposed for reconstruction. There are 14 other existing buildings in the apartment community with foundations in the same or similar location.



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for

Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 3 of 7



Case# VA-

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

See attached

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

See attached

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

See attached

6. Can there be any beneficial use of the property without the variance?

See attached



Franklin County
Board of Commissioners

**ECONOMIC DEVELOPMENT
& PLANNING**

Economic Development & Planning Department
James Schimmer, Director

Application for

Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 4 of 7



Case# VA-

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

See attached

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

See attached

9. How would the variance adversely affect the delivery of governmental services? (e.g., water, sewer, garbage, fire, police - Verification from local authorities - i.e. fire might be required)

See attached

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

See attached

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

See attached

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

See attached

Application for
Zoning Variance
Pursuant to Section 810 of the Zoning Resolution
Page 5 of 7



Case# VA-

Affidavit **

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form and all applicable requirements of the Franklin County Zoning Resolution. The affiant further acknowledges that a Certificate of Zoning Compliance may only be issued for an approved Variance within the period of one (1) year from the date of final approval by the Board of Zoning Appeals; if an approved Variance has not been used within one (1) year of its date of issuance, meaning there has not been active and substantial improvement to a property in accordance with a valid Variance, then the Variance shall expire and no work may commence or continue without either renewing the Variance or receiving a new Variance approval from the Board of Zoning Appeals in accordance with Section 810 of the Franklin County Zoning Resolution.

Applicant/Authorized Agent *

*Selvia Drive LLC,
Selvia Dr. LLC*

Property Owner (signature must be notarized)

By: Robert R. Shephard, President

Property Owner (signature must be notarized)

Date

11-13-19

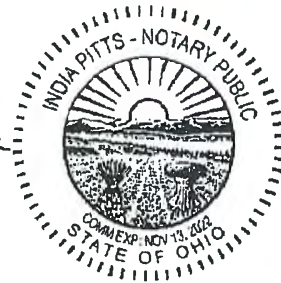
Date

11-13-19

Date

*Agent must provide documentation that they are legally representing the property owner.
**Approval does not invalidate any restrictions and/or covenants that are on the property.

*X [Signature]
X 11/13/2019*



**ATTACHMENT AND NARRATIVE TO
ZONING VARIANCE APPLICATION**

Franklin County BZA

**Subject Property: 3401-3407 Olde Cape Street East and 5179-5185 Olde Cape
Street North**

November 14, 2019

Section 810.04 and BZA Application Criteria

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.

The special circumstances are that the subject apartment building was damaged by fire and is under reconstruction. The building foundation, which is in a pre-existing, non-compliant condition, cannot be changed or altered in a manner that makes reconstruction feasible. For this reason, only the structure above the foundation is proposed for reconstruction. The building foundation is similarly located in terms of elevation and constructed in the same manner as the 14 other existing and unaltered buildings in the apartment community. The risk of flood is not greater from the reconstruction as the pre-existing foundation elevation is not changing and has been the same for many years. (The original construction dates from 1971. It is unclear if floodplain mapping applied to the site at that time.) These points address Section 610.081(1) of the Zoning Resolution because the basement elevation, floor levels and the foundation itself were already permitted. The applicant seeks approval for reconstruction above the foundation because altering the foundation is not economically feasible and such reconstruction does not create greater flood risk than existed since 1971. The issues from which relief is sought under this application include the zoning compliance interpretation of "substantial construction" which in this case is being applied to the unchanged portion of the building – the existing, unaltered foundation. The foundation is not new construction, but considering its use as "substantial construction", and treating it as new, triggers the non-compliance.

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

It would be uneconomic to raise the finish floor elevation of the building foundation level or otherwise alter the existing foundation. Such action would not provide much additional flood protection because the other 14 buildings in the apartment community and in close proximity remain in the same condition, with a similar flood elevation and

are unaltered by the zoning compliance approval sought. Other existing adjacent buildings exist in the floodplain of a similar construction vintage. The actions by the applicant to provide flood vents in the existing foundation and move electric panels, furnaces and all utility outlets inside the units will mitigate flood damage more than the pre-fire condition of the building. There are other pre-existing, non-conforming structures in this zoning district, including the other 14 buildings on this site. Without the variance approval, the applicant will not be permitted to complete the reconstruction and will lose the market value of an eight-unit apartment building. This market value has been estimated at \$432,000 but the insurance replacement value for the building is much greater at \$869,362. In addition, the associated rental income the building would generate in the future would be lost. Other un-altered, pre-regulation approved buildings in this zoning district continue to be occupied with similar foundation elevations within the flood zone. It is only because the flood plain regulations are being applied to the reconstruction of the building and an existing foundation elevation that the zoning non-conformance is at issue.

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

The building suffered fire damage, had to be torn down to the existing foundation, and reconstructed. The property owner is only trying to reconstruct the fire damaged portion of the building to re-create the same structure as it existed, which is also the same as the other buildings in the apartment community. It's not economically viable to alter the existing foundation in the manner required by the current flood plain regulations. The buildings and the foundation of the subject building pre-existed the flood plain regulation being applied as a matter of zoning compliance that is sought to be varied. (First adoption by Franklin County September 26, 1978.) The owner did not anticipate an existing, unaltered foundation being treated as new construction.

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

The variances sought only seek to place the property owner in the same economic position as before the fire damage and replace the building as it existed. The foundation cannot be otherwise altered in an economic manner. Replacing this structure is not a special privilege but would only return the owner and the building to its former, pre-loss position. There are no other options available to the owner. In fact, if the variance is not granted, the property owner will not be able to reconstruct the building. This would cause a total economic loss to the property owner, which is unduly harsh.

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

No. There would be no change to current status of the building as to flood risk. The applicant is proposing the installation of flood vents in the existing foundation, placing furnaces in attics, raising electrical panels, raising electric, phone and cable outlets above the Base Flood Elevation inside each unit. The applicant would consider the additional mitigation steps of raising outside electrical meter elevations, water heaters and A/C units above the Base Flood Elevation for the building and all units if the same would be code compliant and the existing protection of the community's transformer and its ground fault circuit interruption system that shuts power off to all buildings prior to flood water reaching this building is not deemed protective enough. These proposals of the applicant address Section 4.1-2(3) of the variance criteria cited in the denial letter.

6. Can there be any beneficial use of the property without the variance?

No. The owner would simply not be able to reconstruct the subject building, thereby experiencing a total economic loss. This is a harsh and unfair result considering the building and foundation existed for 48 years in the same location/elevation and the building has not experienced flood damage during the current ownership, since 2011.

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet – Required frontage vs. proposed)

Pursuant to Section 610.081(1) Buildings are not permitted with floor levels below the base flood elevation. The lowest floor, including basement, shall be at least 1 foot plus floodway computation increases above the base flood elevation.

- The BFE is 755.9' ASL and the floodway computation increase for the property is 0.5'. The lowest floor, including basement, must be at or above 757.4' ASL.
- The foundation has a lowest floor elevation of 749.32' ASL, a difference of 8.08' ASL.
- When the existing condition, elevation and area of the crawl space is factored in the variance requested is from 753.73" to 757.40', which represents a difference of approximately 3.67'. This is a less substantial variance from the provisions 610.081(1).

Addressing section 4.2-1(A)(1) there is no feasible method to raise the basement level and elevate this structure above the Base Flood Elevation as the existing foundation remains in place. The only method available would be to tear out the existing foundation and replace it. This is not economically feasible.

Addressing section 4.1-2(1) it is not economically feasible to replace and reconstruct this building with flood resistant material, such as brick. The insurance replacement cost covers only replacing building materials with the previous, like materials. This project is the replacement of an existing building and section 4.1-2(1) refers to “new construction”, which has a different cost basis and design standards. The foundation construction and location are not new.

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

No. The other apartment buildings in the community are the all the same or very similar to this one before the fire damage and in terms of the foundation locations relative to the Base Flood Elevation.

9. How would the variance adversely affect the delivery of governmental services? (e.g. water, sewer, garbage, fire, police – Verification from local authorities – i.e. fire might be required)

It would not affect delivery of services. Steps proposed by the applicant to mitigate flood damage, included installing flood vents in the existing foundation, placing furnaces in attics, raising electrical panels, raising electric, phone and cable outlets above the Base Flood Elevation inside each unit. The applicant would consider the additional mitigation steps of raising outside electrical meter locations, water heaters and A/C units above the Base Flood Elevation for the building and all units if the same would be code compliant and the existing protection of the community’s transformer and its ground fault circuit interruption system that shuts power off to all buildings prior to flood water reaching this building is not deemed protective enough. All these steps mitigate impacts on local first responders and governmental services.

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

No. The property owner was aware of the requirement to purchase and maintain flood insurance and has done so throughout the ownership period but was not aware that zoning compliance would be an issue upon reconstruction above an existing foundation that is not being altered. The issue from which relief is sought includes the zoning compliance interpretation of “substantial construction” which in this case is being applied to an unchanged portion of the building – the existing, unaltered foundation – which creates the non-compliance. This interpretation was not known to the applicant/property owner upon purchase.

11. Could the applicant’s predicament feasibly be obtained through some method other than a variance?

No. Without the variances sought, the property owner will experience a total economic loss for the building.

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

Yes. The circumstances are case specific and unique to this situation. A fire occurred in one building of the apartment community, and the property owner is reconstructing the building in the same manner it existed previously, which matches every other building in the community. Although the building is being reconstructed, and this is interpreted as substantial construction, the foundation remains in the pre-fire, existing condition, location and flood elevation. Substantial justice can be achieved by granting the variance with the flood mitigation measures provided, including flood vents and relocation of electric and other utility outlets and furnaces above the flood elevation, which is in addition to the existing transformer location for the entire community and its ground fault circuit protection system.

SECTION 3.5-2 FRANKLIN COUNTY SPECIAL NFIP REGULATIONS

3.5 VARIANCE PROCEDURE

3.5-1 VARIANCE BOARD

(1) Extraordinary circumstances may exist making a strict enforcement of the applicable standards of this resolution unreasonable and, therefore, a procedure for Variance is provided to allow for the flexibility necessary to adapt to changed or unusual conditions, both foreseen and unforeseen.

For this reason the Franklin County Commissioners have created a Board of Zoning Appeals to hear requests for Variance. Appeals from any decision of the Board may be

taken by any person or persons aggrieved by any decision of the Board to the Franklin County Court of Common Pleas.

(2) In passing upon a Variance request, the Board shall consider all technical evaluations, all relevant factors, standards specified in other sections of this resolution, and:

a. the danger that materials may be swept onto other lands to the injury of others;

There is no greater risk of this compared to the prior building and other similar buildings in the community. Modern construction methods likely decrease such risk compared to previous construction.

b. the danger to life and property due to flooding or erosion damage;

There is no greater risk of this compared to the prior building and other similar buildings in the community. Risk is likely reduced based on documented mitigation methods, such as flood venting in foundation walls. The electric transformer for the entire community is located closer to the flood zone and includes a ground fault circuit interrupter that would cut power to all buildings prior to flood water reaching the subject building.

c. the susceptibility of the proposed facility and its contents to flood damage and the effect of such damage on the individual owner;

Same as (b) above.

d. the importance of the services provided by the proposed facility to the community;

Affordable housing, like the other 14 existing buildings in the community.

e. the availability of alternative locations for the proposed use which are not subject to flooding or erosion damage;

There is other such housing available, but currently demand for such housing is high and supply is low.

f. the necessity to the facility of a waterfront location, where applicable;

N/A

g. the compatibility of the proposed use with existing and anticipated development;

The proposed re-built use matches the existing development and the pre-existing 14 similar apartment buildings.

h. the relationship of the proposed use to the comprehensive plan and floodplain management program for that area;

This is an existing apartment community that was completed around the time of the original creation of the National Flood Insurance Program. Construction was completed in 1971 and has existed since then. It is not clear how NFIP regulations were applied or if applied to the original construction.

i. the safety of access to the property in times of flood for ordinary and emergency vehicles;

Safety vehicle access is not altered.

j. the expected heights, velocity, duration, rate of rise, and sediment transport of the flood waters and the effects of wave action, if applicable, expected at the site; and,

This has not been evaluated and some provisions may not be applicable but these factors would not be different for the existing 14 buildings on site, the existing foundation that is not being replaced or the previous building structure sought to be reconstructed.

k. the costs of providing governmental services during and after flood conditions, including maintenance and repair of public utilities and facilities such as sewer, gas, electrical, and water systems, and streets and bridges.

These factors would not be different for the existing 14 buildings on site, the existing foundation that is not being replaced or the previous building structure sought to be reconstructed.

3.5-2 CONDITIONS FOR VARIANCE

(1) Variances shall not be issued within any designated floodway if any increase in flood levels during the base flood discharge would result.

The foundation of the building proposed for reconstruction is in the same position as it has existed since 1971 and is similar to the other 14 existing apartment buildings in the community, thus an increase in flood levels are not expected. Added flood vents in the foundation structure should help mitigate flood damage.

(2) Variances shall only be issued upon a determination that the variance is the minimum necessary, considering the flood hazard, to afford relief.

Considering the potential for flood damage and that as to flood risk, the existing condition is sought to be restored, the variance requests are minimal.

(3) Generally, variances may be issued for new construction and substantial improvements to be erected on a lot of one-half acre or less in size contiguous to and surrounded by lots with existing structures constructed below the Base Flood level, providing items (a-k) in Section 14

The re-construction involved encompasses one building and the replacement of fire-damaged structures above the existing foundation and is less than one-half acre in

footprint. The other 14 buildings on site surrounding this one are of a similar Base Flood Elevation and are unchanged.

3.5-1(2) have been fully considered. As the lot size increases beyond one-half acre, the technical justification required for issuing the variance increases.

See above.

(4) Variances may be issued for the repair or rehabilitation of historic structures upon a determination that the proposed repair or rehabilitation will not preclude the structure's continued designation as a historic structure and the variance is the minimum necessary to preserve the historic character and design of the structure.

N/A

(5) Variances shall only be issued upon:

a. a showing of good and sufficient cause;

The showing of good cause in this case is that the foundation location and structure remains unchanged and only the structure above the foundation is being rebuilt. The existing foundation level is what drives the non-compliance and it is not economically feasible to alter the foundation to meet today's flood standards. Good cause is also supported by the applicant taking steps to mitigate flood damage, including installing flood vents in the existing foundation, placing furnaces in attics, raising electrical panels, raising electric, phone and cable outlets above the Base Flood Elevation inside each unit. The applicant would consider the additional mitigation steps of raising outside electrical meter locations, water heaters and A/C units above the Base Flood Elevation for the building and all units if the same would be code compliant and the existing protection of the community's transformer and its ground fault circuit interruption system that shuts power off to all buildings prior to flood water reaching this building is not deemed protective enough.

b. a determination that failure to grant the variance would result in exceptional hardship due to the physical characteristics of the property. Increased cost or inconvenience of meeting the requirements of these regulations does not constitute an exceptional hardship to the applicant;

The physical characteristics of the property, the age and location of the existing foundation means raising the foundation level is not feasible. Failure to grant the variances sought will cause extreme hardship and will result in a total market value loss for the building estimated at \$432,000, a loss of the proceeds of insurance replacement value of \$869,362 and the loss of future rents. In addition, the owner will likely incur other demolition costs to remove the structures already built based on gaining building permit approval previously and taking the project to its current under roof stage of construction. Additionally, without the variances and zoning approval, there may be a

safety issue in leaving the foundation in its current state and more costs may be incurred to remove or remediate the foundation. This amounts to exceptional hardship compared with the amount of risk of taking this building back to its pre-fire condition, which existed for 48 years.

c. a determination that the granting of a variance will not result in increased flood heights beyond that which is allowed in this resolution, additional threats to public safety, extraordinary public expense, create nuisances, cause fraud on or victimization of the public as identified or conflict with existing local laws or resolutions; and,

If granted, the variances will result in no greater flood risk than existed since 1971 or if the building is reconstructed with the existing foundation in the same location.

d. a determination that the structure or other development is protected by methods to minimize flood damages.

Mitigation and flood protection factors are documented and discussed above.

(6) Any applicant to whom a variance is granted shall be given written notice that the structure will be permitted to be built with a lowest floor elevation below the base flood elevation and the cost of flood insurance will be commensurate with the increased risk resulting from the reduced lowest floor elevation. 15

SECTION 4.0

GENERAL STANDARDS, SPECIFIC STANDARDS

FLOODWAYS

4.1 GENERAL STANDARDS

In all areas of special flood hazard the following standards are required:

4.1-1 ANCHORING

(1) All new construction and substantial improvements shall be anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy.

(2) All manufactured homes, not otherwise regulated by the Ohio Revised Code pertaining to manufactured home parks, shall be anchored to prevent flotation, collapse or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy. Methods of anchoring may include, but are not limited to, use of over-the-top or frame ties to ground anchors.

4.1-2 CONSTRUCTION MATERIALS AND METHODS

(1) All new construction and substantial improvements shall be constructed with materials resistant to flood damage;

Outside of the mitigation techniques specified, it is not feasible to use other materials for reconstruction as insurance proceed will not cover such costs.

(2) All new construction and substantial improvements shall be constructed using methods and practices that minimize flood damage; and

See (3) below.

(3) All new construction and substantial improvements shall be constructed with electrical, heating, ventilation, plumbing and air conditioning equipment and other service facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.

The following steps are proposed to mitigate flood damage: installing flood vents in the existing foundation, placing furnaces in attics, raising electrical panels, raising electric, phone and cable outlets above the Base Flood Elevation inside each unit. The applicant would consider the additional mitigation steps of raising outside electrical meter locations, water heaters and A/C units above the Base Flood Elevation for the building and all units if the same would be code compliant and the existing protection of the community's transformer and its ground fault circuit interruption system that shuts power off to all buildings prior to flood water reaching this building is not deemed protective enough.

Olde Cape Street Project Description and Flood Mitigation Summary

See Plan Exhibits A2-1 for Base Flood Elevation in relation to Building Elevations, Lowest Floor Elevation (crawl), and Finish Floor Elevation.

See Stantec Plans for Finished Floor Elevation and Lowest Floor Elevation of all units in subject buildings and relationship to other existing buildings on site.

Flood Mitigation

Flood Vents:

Flood vents have been added to the exterior and interior crawl space walls to allow flood waters to pass through the crawl space and avoid damage from the build-up of hydro-static pressure. Sheet A1-0 (Foundation plan) shows the location of all proposed flood vents and provides flow vent calculations showing compliance of the required number and flow of flood vents. Flood vents are proposed to be provided by Smart Vent and model numbers are listed on sheet A1-0. Sheet A2-1 shows the flood vents on the exterior elevations. Sheet D1-0 has been added which is the pre-damaged foundation plan showing estimated calculations of the crawl space vents. The existing crawl space provided approximately 50% of the required crawl space openings.

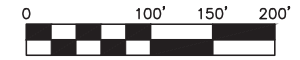
Mechanicals:

The top of the floor of the apartment building is proposed to be the same elevation as the existing pre-damage condition. The base flood elevation is 2.07' above the finish floor. The electric panels inside of the units are proposed to be above the base flood elevation. The furnaces are in the attic and above the base flood elevation. The electric meters on the exterior of the building are proposed to be relocated to be above the base flood elevation.

Anchorage:

The existing floor joists and sill plate have been removed and new floor joists and a sill plate have been anchored to the top of the existing foundation wall per Wall Section 1 on sheet A3-1. ½" diameter anchor bolts with a minimum of 15" embedment into the existing foundation wall are specified to be spaced no more than 72 inches on center, and no more than 12 inches from the corners of the building. This anchoring is expected to be more effective than the existing condition of other buildings in the complex based on the pre-code construction methods employed.

V:\1734\active\ROTH - Olde Cape Apartments\survey\drawing\rothsv_aerial.dwg Aerial Oct 10, 2019 - 2:30:36pm Dremling



SCALE IN FEET
Scale: 1 inch = 50 Feet

NOTES:

Boundary, right-of-way line work and aerial photo is based on Franklin County Auditor.

Boundary bearings shown hereon are based on the bearings of record in Instrument Number 201107080085143.

Vertical Datum is NAVD 88 referenced from State of Ohio Transportation Virtual Reference Station "COLB".

Elevations are based on field survey by Stantec Consulting Services in September 2019.
The subject property lies in Special Flood Hazard Area Zone AE as determined by graphic interpolation from the Flood Insurance Rate Map Number 39049C0361 K, with an effective date of June 17, 2008, published by the Federal Emergency Management Agency.

EXISTING USE: RESIDENTIAL - APARTMENTS
PROPOSED USE: RESIDENTIAL - APARTMENTS

DEVELOPER:
ROTH CONSTRUCTION COLUMBUS
3520 Parkway Lane
Columbus, Ohio 43206
columbus@rothcolumbus.com
614-777-4177

**EXISTING BUILDING
LOCATION PLAN**

3401 / 3403 / 3405 / 3407 OLDE CAPE ST. E
5179 / 5181 / 5183 / 5185 OLDE CAPE ST. N
Located in
Madison Township, Franklin County, Ohio

September, 2019
Prepared by:



1500 Lake Shore Drive
Columbus, Ohio 43204
Phone: (614) 486-4383
Fax: (614) 486-4387

OWNER:
SEDALIA DRIVE, LLC
5.539 Ac.
INST. 201107080085143
PARCEL NO. 180-004671

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SHEET 1 OF 1

SBA STUDIOS PROJECT #: 2018-163
3401 / 3403 / 3405 / 3407 OLDE CAPE ST. E.
5179 / 5181 / 5183 / 5185 OLDE CAPE ST. N.
 COLUMBUS, OHIO 43232
 FIRE RESTORATION

Case: VA-3956 Received: 11/14/19

INDEX OF DRAWINGS

- A0-0 COVER SHEET
- A1-0 FOUNDATION PLAN
- D1-0 EXISTING FOUNDATION PLAN
- A1-1 FLOOR PLAN
- A1-2 ROOF PLAN
- A2-1 EXTERIOR ELEVATIONS
- A3-1 WALL SECTIONS / LAY SCHEDULE
- A4-1 STRUCTURAL NOTES
- M1-1 HVAC PLAN
- M2-1 HVAC SCHEDULES AND DETAILS
- E1-1 ELECTRICAL PLAN
- E2-1 ELECTRICAL RISER AND SCHEDULES
- P1-1 PLUMBING PLAN
- P2-1 PLUMBING SCHEMATICS

CODE INFORMATION

APPLICABLE CODES:

- 2017 OHIO BUILDING CODE
- 2017 OHIO MECHANICAL CODE
- 2017 OHIO PLUMBING CODE
- 2017 NFPA 70 NATIONAL ELECTRICAL CODE

BUILDING DATA:

- TENANT SOURCE FOOTAGE: 578 S.F. (EXISTING)
- BUILDING SQUARE FOOTAGE: 4,624 S.F. (EXISTING)
- USE GROUP: R-3
- CONSTRUCTION TYPE: VB

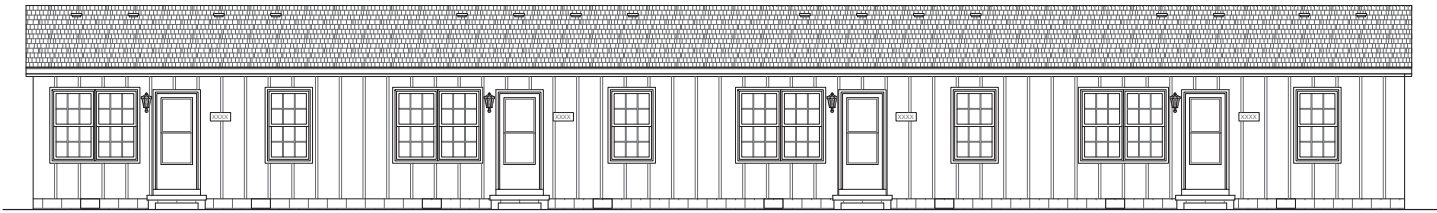
FIRE PROTECTION:

- BUILDING IS NOT EQUIPPED WITH A SPRINKLER SYSTEM

INTERIOR WALL AND CEILING REQUIREMENTS (IBC TABLE 803.11):

TEXT ENCLOSURES:

- CORRIDORS: C
- ROOMS & ENCLOSED SPACES: C



SCOPE OF WORK

REBUILD 8-UNIT FIRE DAMAGED APARTMENT. EXISTING FOUNDATION AND FLOOR FRAMING TO REMAIN

GENERAL NOTES

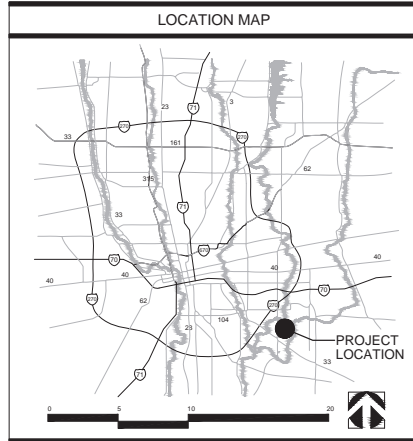
ANY CHANGES TO THESE DRAWINGS MUST BE REPORTED TO SBA STUDIOS, LLC IMMEDIATELY IN WRITING. SBA STUDIOS, LLC ASSUMES NO RESPONSIBILITY FOR CHANGES TO THESE DRAWINGS THAT ARE NOT REPORTED TO THE ARCHITECT.

| # | DATE | ISSUED WITH: CHANGE DESCRIPTION |
|---|------------|--|
| ▲ | 07.02.2018 | REVISION #01 - REVISIONS FOR PERMIT |
| ▲ | 10.24.2018 | REVISION #02 - FND / CRAWL SPACE REVISIONS |
| ▲ | 07.25.2019 | REVISION #3 - HVAC REVISIONS |
| ▲ | 10.10.2019 | REVISION #4 - FLOOD PLAIN MODIFICATION |

3401 / 3403 / 3405 / 3407 OLDE CAPE ST. E.
 5179 / 5181 / 5183 / 5185 OLDE CAPE ST. N.
 COLUMBUS, OHIO 43232
 FIRE RESTORATION
 PREPARED FOR:

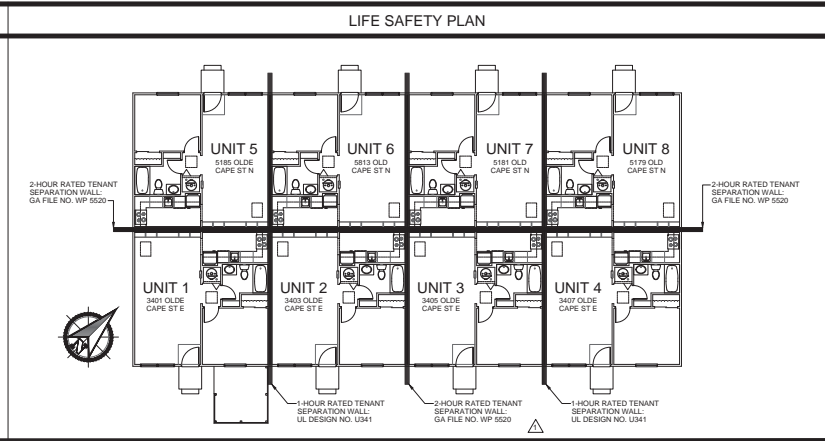


| | |
|---|--------------------------------|
| | SCALE: VARIOUS |
| | SHEET # / DESCRIPTION |
| | A0-0 |
| DATE: 05.18.2019 | CONSTRUCTION DOCUMENTS |
| SCOTT D. BAKER, LICENSE #14654 EXPIRATION DATE: 12/31/2019 | SBA STUDIOS PROJECT # 2018-163 |

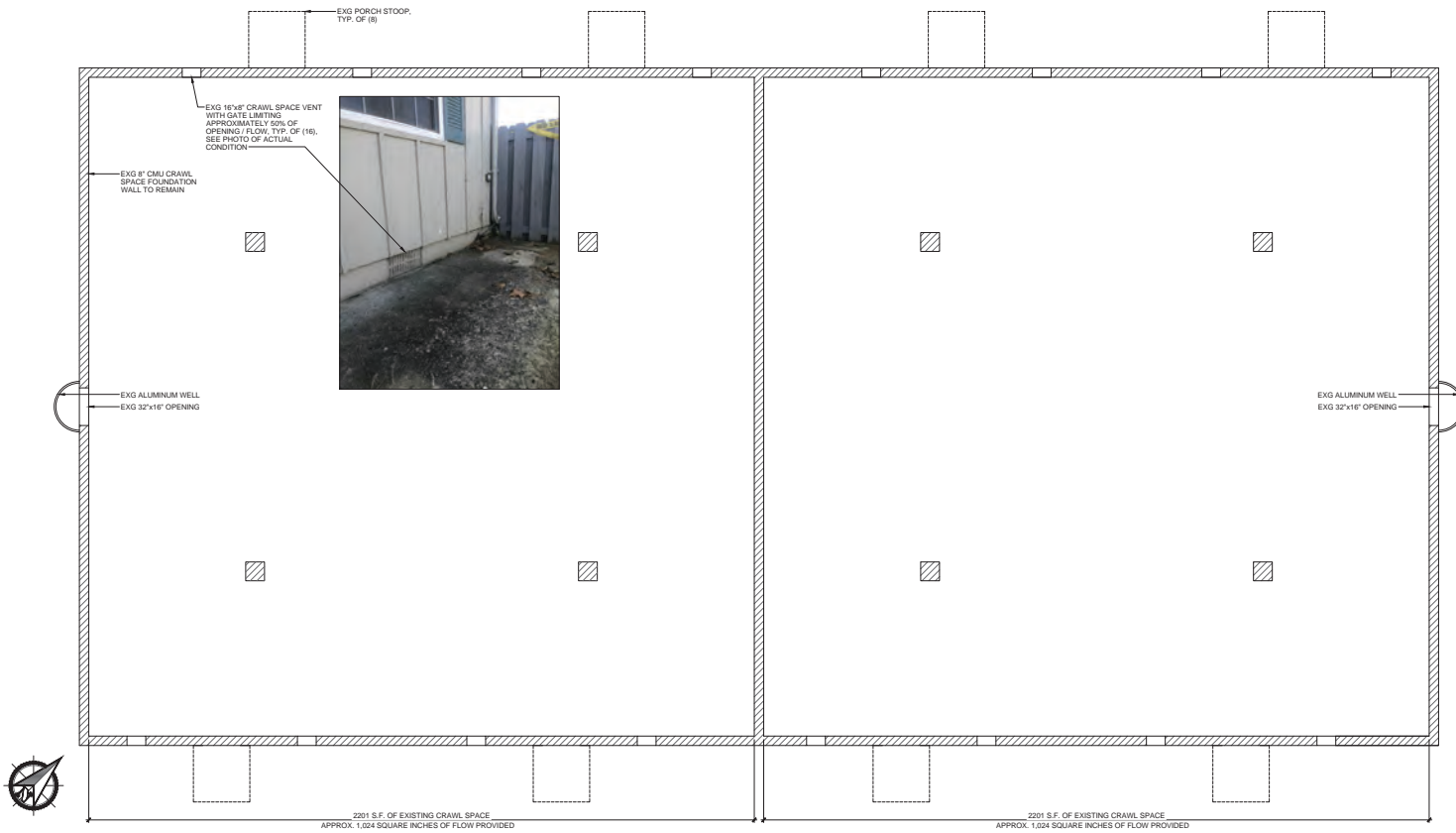


GENERAL LEGEND

| | | | |
|--|----------------------|--|-------------------|
| | EARTH | | ELEVATION MARKER |
| | CONCRETE | | SECTION CUT |
| | GRAVEL | | COLUMN LINE |
| | CONCRETE BLOCK | | DETAIL MARKER |
| | BRICK | | BREAK LINE |
| | WOOD - ROUGH FRAMING | | WALL TYPE |
| | WOOD - FINISHED | | REVISION TRIANGLE |
| | RIGID INSULATION | | CODED NOTE |
| | PLYWOOD | | WINDOW TYPE |
| | GYPSUM WALL BOARD | | ELEVATION HEIGHT |
| | STEEL | | |
| | BATT INSULATION | | |



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1 EXG FOUNDATION PLAN

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|---|------------|--|
| △ | 07.02.2018 | REVISION #01 - REVISIONS FOR PERMIT |
| △ | 10.24.2018 | REVISION #02 - FND / CRAWL SPACE REVISIONS |
| △ | 07.25.2019 | REVISION #03 - HVAC REVISIONS |
| △ | 10.10.2019 | REVISION #04 - FLOOD PLAIN MODIFICATION |

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 COLUMBUS, OHIO 43232
 FIRE RESTORATION

PREPARED FOR:
ROTH CONSTRUCTION 

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 414.588.7261 WWW.SBA-STUDIOS.COM

| | |
|---|--------------------------------|
|  | SCALE: 1/4" = 1'-0" |
| | SHEET # / DESCRIPTION |
| | EXG FOUNDATION PLAN |
| | D1-0 |
| DATE: 06.18.2019 | CONSTRUCTION DOCUMENTS |
| SCOTT D. BAKER, LICENSE #14654 EXPIRATION DATE: 12/31/2019 | SBA STUDIOS PROJECT # 2018-163 |

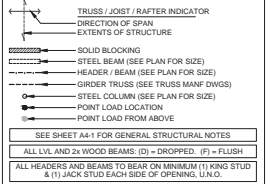
FLOOR PLAN CODED NOTES

- 2x4 EXTERIOR WALL
- 2x6 WALL FOR ELECTRICAL PANEL
- NEW WOOD BUILT-INS, MATCH EXG
- 2"x2" CRAWL SPACE ACCESS PANEL, SEE A10
- 2"x3" ATTIC ACCESS BETWEEN TRUSSES
- ELECTRICAL PANEL, SEE MEP DRAWINGS
- 30" WIDE REFRIGERATOR
- 24" WIDE DISHWASHER
- 30" WIDE RANGE
- WATER HEATER
- CONTINUOUS TENANT SEPARATION WALL BEHIND TUB
- EXC. CONCRETE PATIO TO REMAIN, PROVIDE NEW CONCRETE PATIO IF EXISTING PATIO FOUND TO BE DAMAGED. REBUILD EXG FENCE AS NECESSARY, MATCH EXG. TYPICAL ALL UNITS, SHOWN ON UNIT 1 ONLY FOR REFERENCE
- 2x6 STUDS PER C.A. FILE NO. W/F 5209
- 2x6 STUDS PER C.A. FILE NO. W/F 5209
- 2x6 STUDS PER C.A. FILE NO. W/F 5209

FIRE RATED NOTES

- SEAL AND FIRE STOP ALL NEW PENETRATIONS THROUGH RATED WALLS, FLOORS AND CEILINGS IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS
- WHERE 2-HR RATED WALLS INTERSECT W/ 1-HR RATED WALLS, THE 2-HR RATED WALL SHALL BE CONTINUOUS AND INTERRUPT THE 1-HR RATED WALLS
- ALL PENETRATIONS THROUGH RATED ASSEMBLIES ARE TO BE COMPLETED IN COMPLIANCE WITH AN UL APPROVED AND TESTED PENETRATION DETAIL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE IF THE UL PENETRATION DETAILS ARE COMPATIBLE, EQUAL TO OR BETTER THAN THE RATED ASSEMBLY, AND MEETS ALL REQUIREMENTS OF APPROVED UL PENETRATION DETAILS USED.

STRUCTURAL LEGEND



| # | DATE | ISSUED WITH: CHANGE DESCRIPTION |
|------------|--|---------------------------------|
| 07.02.2018 | REVISION #01 - REVISIONS FOR PERMIT | |
| 10.24.2018 | REVISION #02 - FND / CRAWL SPACE REVISIONS | |
| 07.25.2019 | REVISION #3 - HVAC REVISIONS | |
| 10.10.2019 | REVISION #4 - FLOOD PLAN MODIFICATION | |

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COLUMBUS, OHIO 43222

FIRE RESTORATION
PREPARED FOR:
ROTH CONSTRUCTION

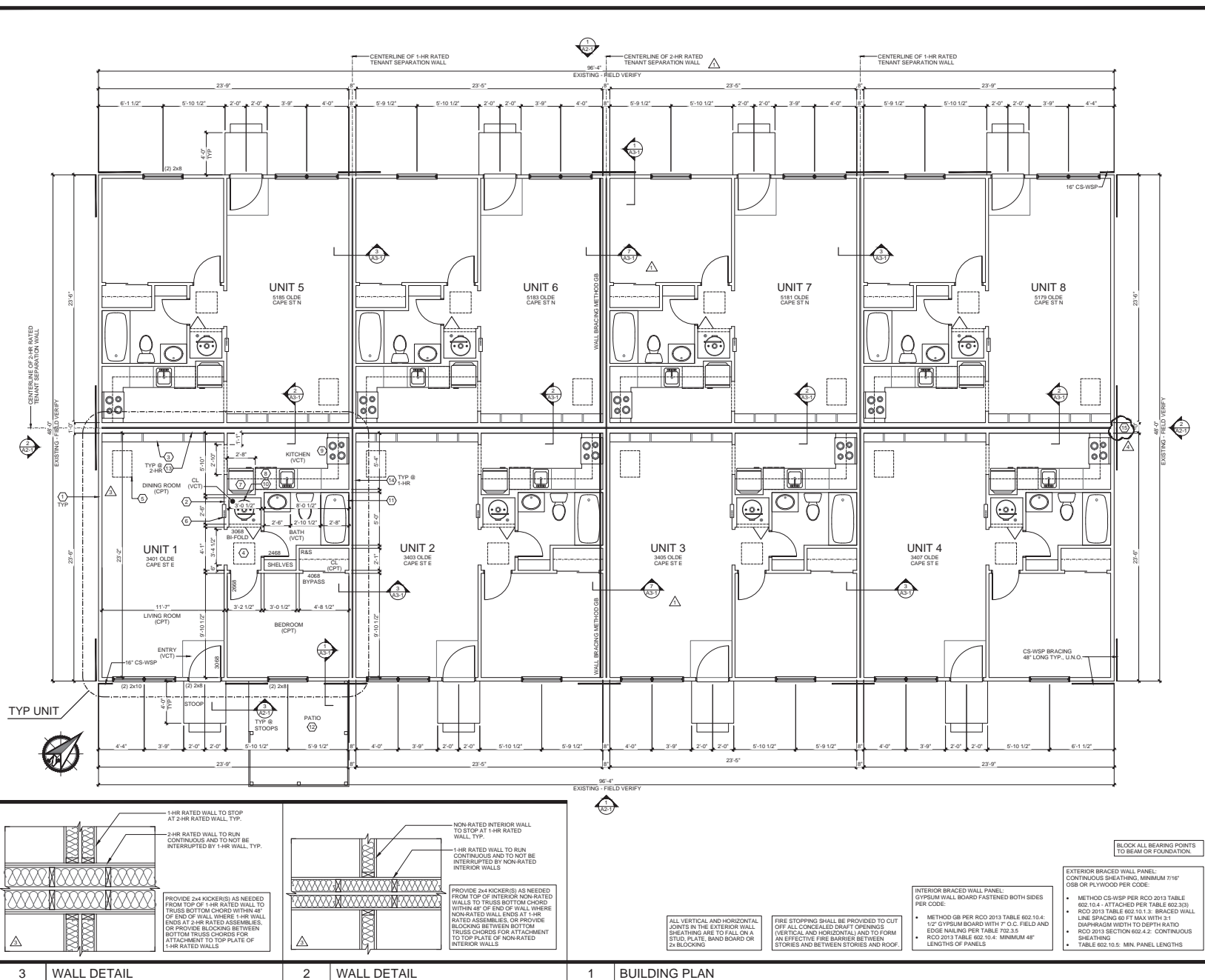
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ARCHITECTURAL DESIGN
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SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
BUILDING PLAN
A1-1
DATE: 05/18/2019
CONSTRUCTION DOCUMENTS
SBA STUDIO PROJECT # 2018-163

STATE OF OHIO
SCOTT D. BAKER
14654
REGISTERED ARCHITECT

SCOTT D. BAKER, LICENSE #14654
EXPIRATION DATE: 12/31/2019

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| | | | | | |
|---|-------------|---|-------------|---|---------------|
| 3 | WALL DETAIL | 2 | WALL DETAIL | 1 | BUILDING PLAN |
|---|-------------|---|-------------|---|---------------|

ROOF PLAN CODED NOTES

- 5" ALUMINUM GUTTER, MATCH EXG
- ALUMINUM DOWNSPOUT MATCH EXG
- HAT VENT, MIN. 50 SQ. IN. VENTILATION EACH
- FIRE RETARDANT FL WOOD ROOF SHEATHING 48" EACH SIDE OF TENANT SEPARATION WALL. NO PENETRATIONS PERMITTED
- 1-HOUR RATED WALL IN ATTIC. EXTEND INTO OVERHANGS
- FURNACE IN ATTIC. TRUSS MANUFACTURER TO DESIGN FOR SIZE AND WEIGHT OF FURNACE. PROVIDE ACCESS FROM ATTIC ACCESS TO FURNACE PER OMC 306.3

ROOF VENT CALCULATIONS

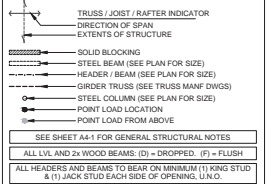
ATTIC VENTILATION:
 ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED FROM THE ENTRANCE OF RAIN OR SNOW. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1 TO 100, PROVIDED AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS. THE NET FREE CROSS-VENTILATION AREA MAY BE NOT LESS THAN 1 TO 300 OF THE AREA OF THE SPACE VENTILATED WHEN THE VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING.

- ATTICS: 648 S.F. EACH**
- 1.07 SF OF FREE FLOW REQUIRED IN UPPER 1/3 OF ROOF
 - 4 HAT VENTS PROVIDED @ UPPER 1/3 OF ROOF
 - 4 HAT VENTS @ 50 SQ. IN. / EACH = 200 SQ. IN.
 - 200 SQ. IN. / 144 = 1.39 S.F. OF UPPER VENTILATION
 - 1.39 S.F. = 1.07 S.F. REQUIRED = COMPLIES
 - 114 LINEAR FEET OF SOFFIT VENT PROVIDED.
 - 231.5 S.F. = 1.93 INCHES PER LINEAR FOOT = 211.5 SQ. IN.
 - 211.5 SQ. IN. / 144 = 1.469 S.F. OF LOWER VENTILATION
 - 1.469 = 1.07 S.F. REQUIRED = COMPLIES

FIRE RATED NOTES

- SLEEVE AND FIRE STOP ALL NEW PENETRATIONS THROUGH RATED WALLS, FLOORS AND CEILING IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS
- WHERE 2-HR RATED WALLS INTERSECT W/ 1-HR RATED WALLS, THE 2-HR RATED WALL SHALL BE CONTINUOUS AND INTERRUPT THE 1-HR RATED WALL
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STRUCTURAL LEGEND



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| ▲ | 07.25.2019 | REVISION #3 - HVAC REVISIONS |
| ▲ | 10.10.2019 | REVISION #4 - FLOOD PLAN MODIFICATION |

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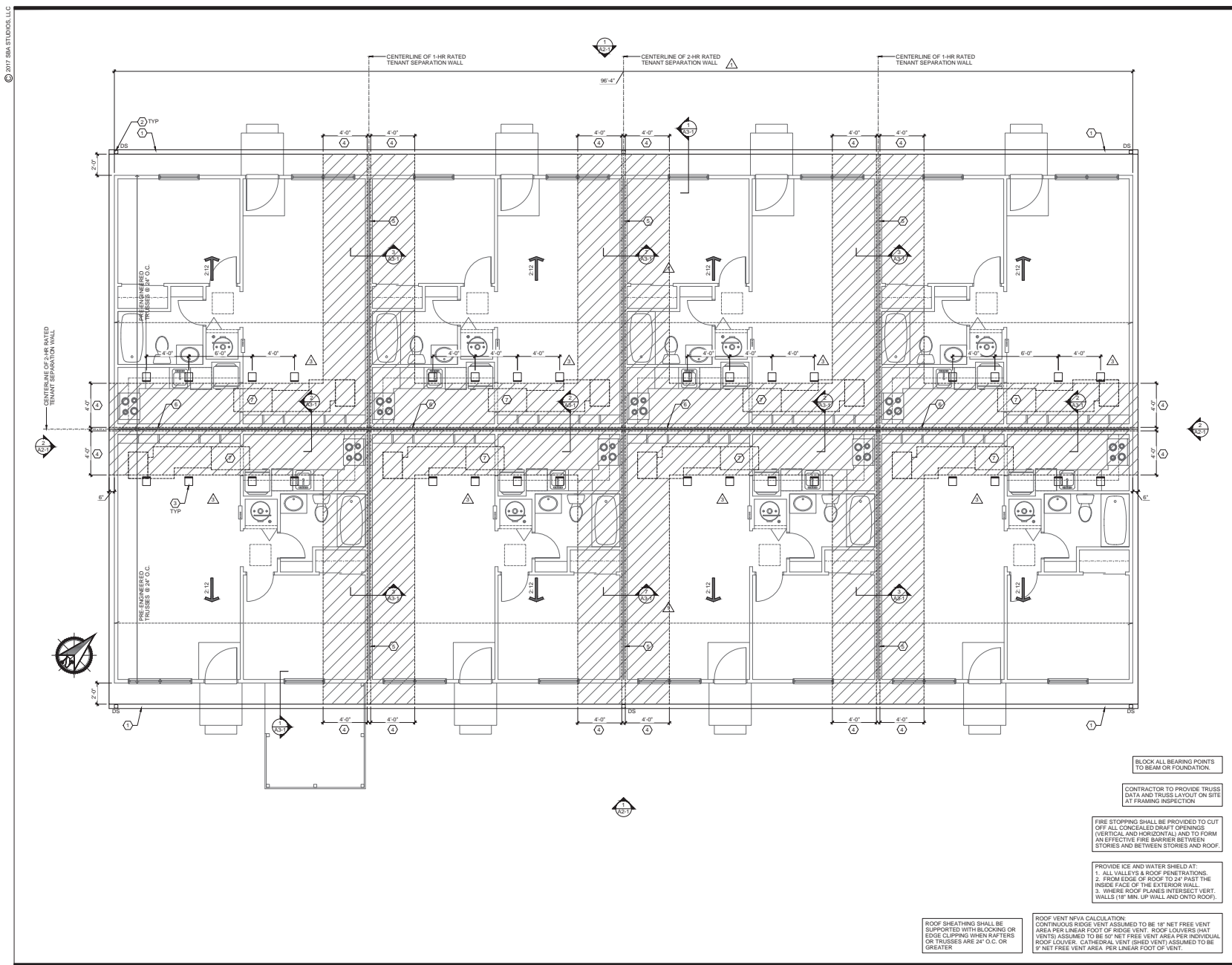
FIRE RESTORATION
 PREPARED FOR:
ROTH CONSTRUCTION

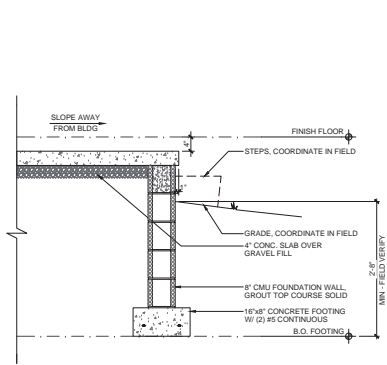
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SCALE: 1/4" = 1'-0"
 SHEET # / DESCRIPTION
ROOF PLAN
A1-2
 DATE: 06.10.2019
 CONSTRUCTION DOCUMENTS
 SBA STUDIO PROJECT # 2018-163

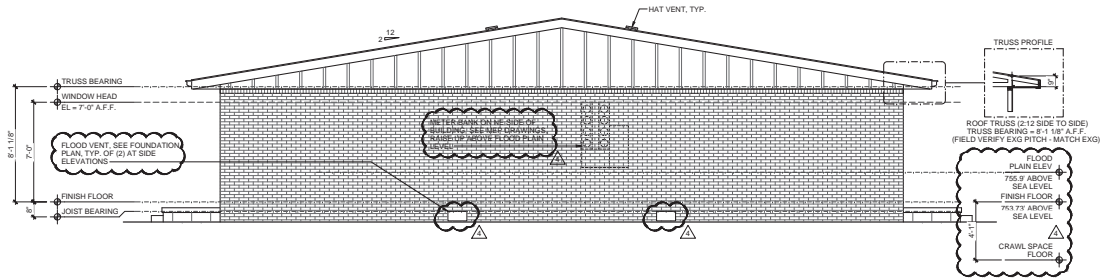


SCOTT D. BAKER, LICENSE #14654
 EXPIRATION DATE 12/31/2019

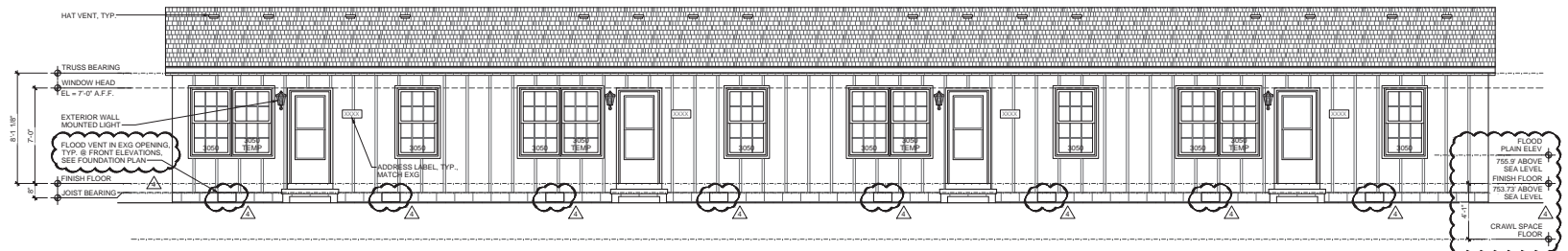




3 STOOP SECTION SCALE: 3/4" = 1'-0"







2 SIDE ELEVATIONS



1 FRONT ELEVATIONS

ELEVATION MATERIAL LEGEND


-  NEW ASPHALT SHINGLES, MATCH EXG
-  BRICK PANEL SIDING, MATCH EXG
-  T1-11 SIDING, MATCH EXG
-  EXG CMU FOUNDATION

| # | DATE | ISSUED WITH: CHANGE DESCRIPTION |
|---|------------|--|
| △ | 07.22.2018 | REVISION #01 - REVISIONS FOR PERMIT |
| △ | 10.24.2018 | REVISION #02 - FND / CRAWL SPACE REVISIONS |
| △ | 07.25.2019 | REVISION #3 - HVAC REVISIONS |
| △ | 10.10.2019 | REVISION #4 - FLOOD PLAIN MODIFICATION |

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 COLUMBUS, OHIO 43232
 FIRE RESTORATION

PREPARED FOR:
ROTH CONSTRUCTION

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SCOTT D. BAKER
14654

SCALE: 1/4" = 1'-0" (MIN.)

SHEET # / DESCRIPTION

ELEVATIONS / SECTION

A2-1

DATE: 06.18.2019

CONSTRUCTION DOCUMENTS

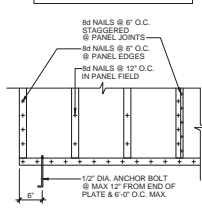
SBA STUDIOS PROJECT # 2018-163

LIGHT AND VENTILATION REQUIREMENTS FOR HABITABLE SPACES

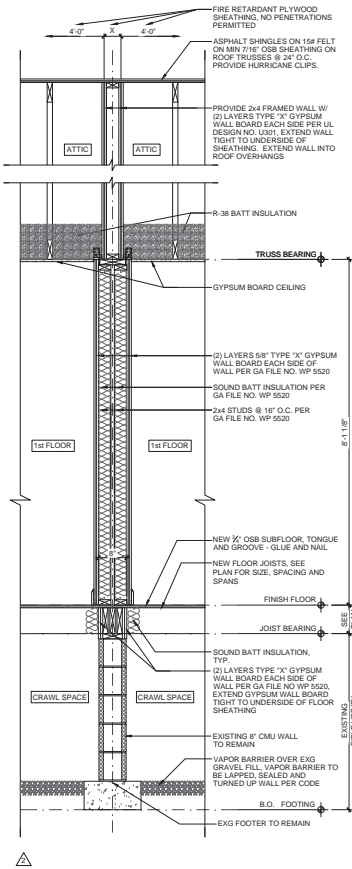
| ROOM NAME | ROOM SIZE | WINDOW TYPE | REQUIRED GLAZING | ACTUAL GLAZING | REQUIRED VENTILATION | ACTUAL VENTILATION | TEMPERED GLAZING | BEDROOM EGRESS |
|-------------|-----------|-------------|------------------|----------------|----------------------|--------------------|------------------|----------------|
| BASEMENT | | | | | | | | |
| NONE | XXXX | XXXX | XXXX | XXXX | XXXX | XXXX | NO | XXXX |
| FIRST FLOOR | | | | | | | | |
| LIVING ROOM | 269 S.F. | S.H. / DOOR | 21.52 S.F. | 51.0 S.F. | 10.76 S.F. | 35.0 S.F. | NO | XXXX |
| KITCHEN | 63 S.F. | NONE | 5.04 S.F. | 75.0 S.F. | 2.52 S.F. | 43.5 S.F. | NO | XXXX |
| BEDROOM | 114 S.F. | S.H. | 9.12 S.F. | 15.0 S.F. | 4.56 S.F. | 7.5 S.F. | NO | (1) @ 7.5 S.F. |

2013 RCO - SECTION 303 LIGHT, VENTILATION AND HEATING
 303.3 - HABITABLE ROOMS: ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS. NATURAL LIGHT SHALL BE PROVIDED THROUGH WINDOWS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTSIDE AIR. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS.
 THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED.
 EXCEPTIONS:
 1. THE GLAZED AREAS NEED NOT BE OPENABLE WHERE THE OPENING IS NOT REQUIRED BY SECTION 310 AND AN APPROVED MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 0.35 AIR CHANGE PER HOUR IN THE ROOM IS INSTALLED OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED CAPABLE OF SUPPLYING OUTDOOR VENTILATION AIR OF 15 CUBIC FEET PER MINUTE (CFM) (7L/s) PER OCCUPANT COMPUTED ON THE BASIS OF TWO OCCUPANTS FOR THE FIRST BEDROOM AND ONE OCCUPANT FOR EACH ADDITIONAL BEDROOM.
 2. THE GLAZED AREAS NEED NOT BE INSTALLED IN ROOMS WHERE EXCEPTION 1 ABOVE IS SATISFIED AND ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES (65 LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE FLOOR LEVEL.
 ** DENOTES ROOMS REQUIRING ADDITIONAL VENTILATION OR LIGHTING BY THE BUILDING COMPONENTS.

ALTERNATE ATTACHMENT METHOD:
 16 GA. 1 3/4" LONG STAPLES AND 1/2" CROWN WIDTH INSTALLED AT 3" O.C. AT ALL PANEL EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS

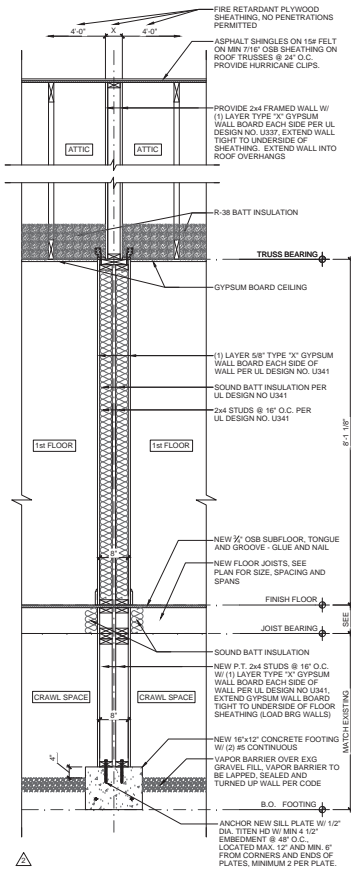


8 NOT USED



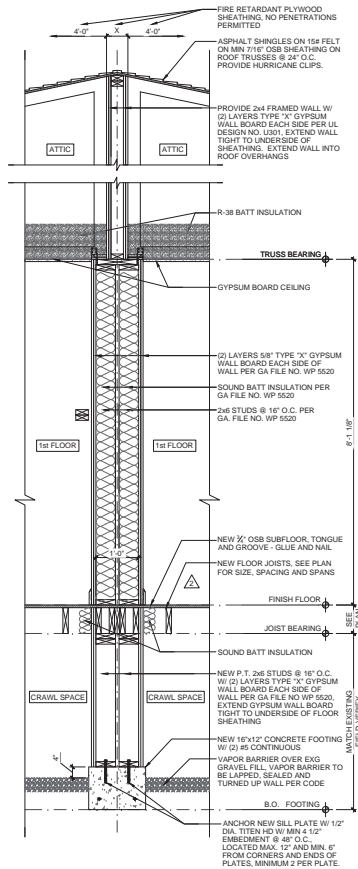
7 WALL SECTION (2-HOUR RATED)

6 WALL SHEATHING ATTACHMENT



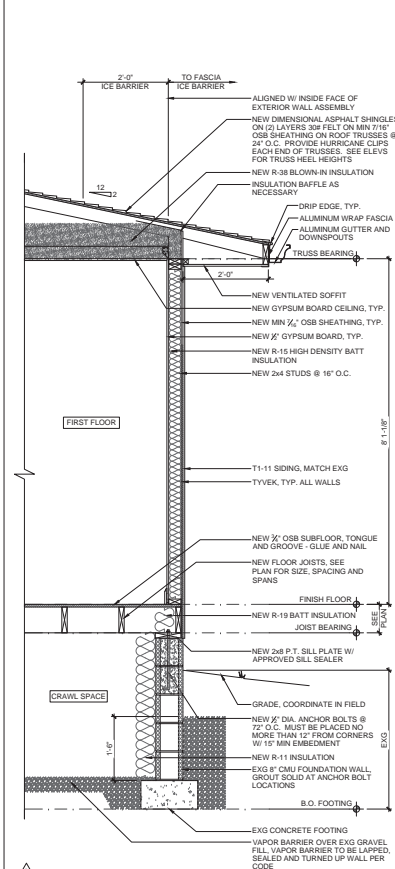
3 WALL SECTION (1-HOUR RATED)

5 LIGHT AND VENTILATION SCHEDULE



2 WALL SECTION (2-HOUR RATED)

1 WALL SECTION



1 WALL SECTION

WALL SECTION NOTES

- ALL MATERIALS ARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, INDUSTRY STANDARD AND APPLICABLE CODES
- SEE TRUSS / RAFTER PROFILES FOR TRUSS AND RAFTER BEARING HEIGHTS.
- ANY CONFLICTS WITH MATERIALS AND INSTALLATION SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY IN WRITING FOR CORRECTION OR CLARIFICATION.
- GRADE TO BE 4" MIN. FOR THE FIRST 10' AWAY FROM THE BUILDING.
- APPROVED CORROSION RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PREVENTION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM RE-ENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION RESISTANT FLASHING SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:
 - AT TOP OF ALL EXTERIOR DOOR AND WINDOW OPENINGS IN SUCH A MANNER AS TO BE LEAK PROOF.
 - AT THE INTERSECTION OF CHIMNEYS OR ANY OTHER MASONRY WITH FRAME OR STUCCO WALLS, W/ PROJECTING LIPS.
 - UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
 - WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION.
 - AT ALL WALL AND ROOF INTERSECTIONS
 - ALL EXTERIOR PENETRATIONS INCLUDING BUT NOT LIMITED TO: EXHAUSTS / VENTS, INTAKES, CONDUITS, WIRES, PLUMBING, & CONDENSER LINES
 - LOCATIONS WHERE DISMILAR MATERIALS ABUT, CARE IS BE TAKING TO FLASH, CAULK, OR OTHERWISE SEAL TO PREVENT PENETRATION AT JOINTS

FIRE RATED NOTES

- SLEEVE AND FIRE STOP ALL NEW PENETRATIONS THROUGH RATED WALLS, FLOORS AND CEILING IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.
- ALL EXISTING FIRE PENETRATIONS DISCOURDED DURING CONSTRUCTION SHALL BE BROUGHT UP TO APPLICABLE CODE REQUIREMENTS.
- ALL PENETRATIONS THROUGH RATED ASSEMBLIES ARE TO BE COMPLETED IN COMPLIANCE WITH AN UL APPROVED AND TESTED PENETRATION DETAIL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE IF THE UL PENETRATION DETAIL(S) ARE COMPATIBLE, EQUAL TO OR BETTER THAN THE RATED ASSEMBLY AND MEETS ALL REQUIREMENTS OF APPROVED UL PENETRATION DETAILS) USED.

| # | DATE | ISSUED WITH: CHANGE DESCRIPTION |
|---|------------|---|
| △ | 07.02.2018 | REVISION #01 - REVISIONS FOR PERMIT |
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| △ | 07.25.2019 | REVISION #3 - HVAC SPACE REVISIONS |
| △ | 10.10.2019 | REVISION #4 - FLOOD PLAIN MODIFICATION |

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 COLUMBUS, OHIO 43232
 FIRE RESTORATION
 PREPARED FOR:



SCALE: 3/4" = 1'-0"
 SHEET # / DESCRIPTION
WALL SECTIONS
A3-1
 DATE: 05.18.2019
 CONSTRUCTION DOCUMENTS
 SCOTT D. BAKER, LICENSE #14654
 EXPIRATION DATE: 03/31/2029
 SBA STUDIOS PROJECT # 2018-163

| | | | |
|---|----------|---|------------------|
| | | | |
| 4 | NOT USED | 3 | NOT USED |
| 2 | NOT USED | 1 | STRUCTURAL NOTES |

GENERAL

GOVERNING CODE: 2013 RESIDENTIAL CODE OF OHIO

DESIGN ROOF SNOW LOAD = 25 PSF PLUS THE EFFECTS OF DRIFTING SNOW PER OBC

A. 1ST FLOOR = 40 PSF LIVE LOAD + 15 PSF DEAD LOAD
 B. 2ND = 40 PSF LIVE LOAD + 15 PSF DEAD LOAD
 C. ATTIC = 20 PSF AREAS WHERE HEIGHT IS > 30'
 D. EXTERIOR BALCONIES & DECKS = 40 PSF OR OCCUPANCY
 E. ROOF = 20 PSF LIVE LOAD + 20 PSF DEAD LOAD

DESIGN LIVE LOADS:
 A. 1ST FLOOR = 40 PSF LIVE LOAD + 15 PSF DEAD LOAD
 B. 2ND = 40 PSF LIVE LOAD + 15 PSF DEAD LOAD
 C. ATTIC = 20 PSF AREAS WHERE HEIGHT IS > 30'
 D. EXTERIOR BALCONIES & DECKS = 40 PSF OR OCCUPANCY
 E. ROOF = 20 PSF LIVE LOAD + 20 PSF DEAD LOAD

WIND PARAMETERS:
 A. BASIC WIND SPEED = 90 MPH
 B. WIND LOAD IMPORTANCE FACTOR = 1.0
 C. WIND EXPOSURE = EXPOSURE B

SEISMIC DESIGN PARAMETERS:
 A. OCCUPANCY CATEGORY = II
 B. SITE CLASS = 'D'

SOIL DESIGN PARAMETERS:
 A. ASSUMED ALLOWABLE SOIL BEARING PRESSURE FOR FOUNDATIONS = 1,500 PSF
 B. EQUIVALENT FLUID PRESSURE FOR WALL LOADINGS = 10 PCF
 C. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THAT THE SOIL IS ADEQUATE TO SUPPORT THE STRUCTURE AND THAT THE ASSUMED WALL LOADINGS IS CORRECT

GENERAL NOTES:
 A. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTORS RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE, AND TO ENSURE THE STABILITY OF THE BUILDING AND ITS COMPONENT PARTS, AND THE ADEQUACY OF TEMPORARY OR PROVISIONAL CONNECTIONS, DURING ERECTION. THIS INCLUDES THE ADDITION OF ANY SHORING, SHEETING, TEMPORARY GUYS, BRACING OR TIE-DOWNS THAT MIGHT BE NECESSARY. SUCH MATERIAL IS NOT SHOWN ON THE DRAWINGS. IF SUCH MATERIAL IS REQUIRED, THE CONTRACTOR SHALL REMAIN THE CONTRACTORS PROPERTY. THE ARCHITECT AND ENGINEER HAVE NO EXPERTISE IN, AND TAKE NO RESPONSIBILITY FOR, CONSTRUCTION MEANS OR METHODS OR JOB SITE SAFETY DURING CONSTRUCTION.
 B. IT IS SOLELY THE RESPONSIBILITY OF EACH CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION. THE ARCHITECT AND ENGINEER ARE NOT ENGAGED IN, AND DO NOT SUPERVISE CONSTRUCTION.
 C. SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE DRAWINGS CONFLICT WITH THESE STRUCTURAL NOTES, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.

PREFABRICATED WOOD TRUSSES

MATERIALS:
 A. LUMBER: SOUTHERN PINE #2, ALLOWABLE STRESSES PER THE NATIONAL DESIGN SPECIFICATION SUPPLEMENT, 2005 EDITION; 19% MAX. M.C.
 B. METAL CONNECTOR PLATES, GALVANIZED SHEET STEEL, ASTM A446, GRADE A, COATING CLASS 960 PER ASTM A635, MANUFACTURE WITH HOLES, FLUGS, TEETH OR PRONGS UNIFORMLY SPACED AND FORMED.

DESIGN - ROOF TRUSSES:
 A. TOP CHORD LIVE LOAD = 25 PSF | TOP CHORD DEAD LOAD = 10 PSF
 BOTTOM CHORD DEAD LOAD = 5 PSF | BOTTOM CHORD LIVE LOAD = 5 PSF
 B. MINIMUM UNIFORM LIVE LOAD = 20 PSF

DESIGN - FLOOR TRUSSES:
 A. TOP AND BOTTOM CHORDS TO BE BY A PROFESSIONAL ENGINEER, REGISTERED IN OHIO, EXPERIENCED IN SIMILAR DESIGN, RETAINED BY THE MANUFACTURER.
 B. SHOP DRAWINGS SHALL EXHIBIT THE SIZE OF THE ENGINEER RESPONSIBLE FOR THE TRUSS DESIGN.
 C. MAXIMUM LIVE LOAD DEFLECTION IS TO BE L/960.
 D. MAXIMUM TOTAL LOAD DEFLECTION IS TO BE L/240.

MISCELLANEOUS:
 A. BOLT TOP CHORDS OF ALL MULTIPLE TRUSSES TOGETHER WITH 1/2" DIAMETER BOLTS AT 4' O.C. BOLT WEB MEMBERS TOGETHER WITH 1/2" DIAMETER BOLTS AT 2' O.C. AT CONCENTRATED LOADS, OR PER TRUSS DESIGNER RECOMMENDATION.
 B. IN AREAS WHERE TOP CHORDS OF TRUSSES DO NOT RECEIVE PLYWOOD SHEATHING, PROVIDE 1/4" CONTINUOUS BRIDGING PERPENDICULAR TO TOP CHORDS AND SPACED AT 3' O.C.
 C. TRUSS FABRICATOR SHALL SUBMIT COPIES OF THE FINAL, APPROVED FABRICATION DRAWINGS TO THE BUILDING DEPARTMENT OR BUILDER, PRIOR TO FABRICATION AND ERECTION.

STRUCTURAL STEEL

MATERIALS:
 A. STRUCTURAL STEEL CHANNEL, ANGLES, PLATES, ETC.: ASTM A36, F_y = 36 KSI; STRUCTURAL STEEL WIDE FLANGE: ASTM A333 OR ASTM A992, F_y = 50 KSI; HIGH STRENGTH BOLTS: ASTM A325 OR A490; ANCHOR BOLTS: ASTM A307 OR A309, ELECTRODES: SERIES F70; STRUCTURAL PLATE: ASTM A572 OR A572, F_y = 50 KSI; HSS: SQUARE AND RECTANGULAR TUBES: ASTM A500, F_y = 46 KSI; EXPANSION BOLTS: HELIX "KWIK-BOLT"; B. MINIMUM BEAM BEARING ON CONCRETE = 4 INCHES UNLESS NOTED OTHERWISE.
 C. MINIMUM LVL BEAM BEARING INTO SOLID MASONRY SHALL BE AS FOLLOWS: 1/2" INCH DIAMETER BOLTS + 3/4" INCH EMBEDMENT | 3/4" INCH DIAMETER BOLTS = 5 INCHES EMBEDMENT
 D. ALL STEEL PIPE COLUMNS TO BE FIXED, NON-ADJUSTABLE, SCHEDULE 40 PIPE COLUMNS. SEE ALTERNATE COLUMN DETAIL FOR ADJUSTABLE PIPE COLUMNS. IT IS THE BUILDERS RESPONSIBILITY TO VERIFY THAT THE COLLUMS INSTALLED ARE RATED FOR THE LOADS SHOWN ON THE DRAWINGS

CONNECTIONS:
 A. WOOD NAILERS SHALL BE PROVIDED AND ATTACHED TO THE TOP FLANGE OF STEEL BEAMS PER THE FOLLOWING OR ANOTHER APPROVED METHOD:

| | | |
|---------------------|-----------------------|--------------------------|
| FLANGE WIDTH | BOLTS | POWER ACTUATED FASTENERS |
| 3/8" DIA. - 8" O.C. | 1/4" DIA. 8" 18" O.C. | |
| 1" OR GREATER | 1/2" DIA. #42 O.C. | 1/4" DIA. 8" 18" O.C. |

STRUCTURAL LUMBER

MATERIALS:
 A. STRUCTURAL LUMBER INCLUDING BEARING AND EXTERIOR WALL STUDS: SPRUCE PINE FIR #2 OR EQUAL, ALLOWABLE STRESSES PER THE 2005 NATIONAL DESIGN SPECIFICATION SUPPLEMENT; 19% MAX. M.C.
 B. PLYWOOD: ALL WOOD JOINT, STRUCTURAL, FOR RETICULATED JOINTS, JOIST AND PANELS: PANEL B, 1/2" THICK (WITH PLYWOOD CLIPS) FOR FLOOR; PANEL IDENTIFICATION INDEX 2018 - 2332 INCH
 C. JOIST FOR WALL: MINIMUM 7/8" INCH THICK WITH 24" IN SPAN RATING, EXPOSURE 1, FLOOR FLOOR: 2332 INCH THICK, STURD-FLOOR WITH SPAN RATING OF 24 O.C., EXPOSURE 1, TONGUE AND GROOVE
 D. MICROLAM (MVL): MODULUS OF ELASTICITY = 1,900,000 PSI, F_b = 2,800 PSI. DESIGN BASED ON LEVEL JOIST.

SPECIFICATIONS:
 A. SPECIFICATIONS, UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION AND ERECTION SHALL BE GOVERNED BY THE LATEST EDITION OF: NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION | U.S. PRODUCT STANDARD PS 1, 2009 INTERNATIONAL RESIDENTIAL CODE

CONNECTIONS:
 A. JOISTS TO SIDES OF BEAMS: 16 GA. GALVANIZED STU, JOIST HANGERS, UNLESS SHOWN OTHERWISE.
 B. JOISTS AND TRUSSES TO TOPS OF WALLS AND BEAMS: 16 GA. GALVANIZED HURKORNE ANCHORS
 C. SHEATHING TO FLOOR JOISTS: GULLED AND NAILED - USE #6 COATED SINKERS AT 6 INCHES O.C. AT PANEL EDGES AND 12 INCHES O.C. AT INTERMEDIATE SUPPORTS. USE ADHESIVE MEETING APA SPECIFICATIONS AP-91 AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
 D. SHEATHING TO ROOF TRUSSES OR RAFTERS: NAILED - USE #6 COATED SINKERS @ 6 INCHES O.C. AT PANEL EDGES AND 12 INCHES O.C. AT INTERMEDIATE SUPPORTS. PROVIDE PLYWOOD CLIPS AT MID-SPAN OF PLYWOOD BETWEEN SUPPORTS.
 E. SHEATHING TO WALLS: NAILED - USE #6 COATED SINKERS @ 6 INCHES O.C. AT PANEL EDGES AND 12 INCHES O.C. AT INTERMEDIATE SUPPORTS.
 F. ALL CONNECTORS HANGERS, NAILS, ETC. IN CONTACT WITH TREATED LUMBER SHALL BE STAINLESS STEEL OR HOT DIP GALVANIZED COMPATIBLE WITH THE CHEMICALS IN THE WOOD.
 G. SILL PLATES TO FOUNDATION: 1/2" DIA. ANCHOR BOLTS AT 6' O.C. AND 12" MAXIMUM FROM CORNERS AND ENDS OF PLATES. ANCHOR BOLTS TO BE EMBEDDED IN THE FOUNDATION A MINIMUM OF 7" IN CONCRETE OR 6" IN MASONRY.
 H. 1 OR MORE PLY WOOD AND LVL BEAMS AND FLITCH BEAMS: 1/2" DIAMETER THRU BOLTS AT 24" O.C. 2" FROM TOP AND BOTTOM LVL'S | STAGGER TOP AND BOTTOM ROOFS 12"
 I. 1 PLY WOOD AND LVL BEAMS: (2) ROWS OF 16 NAILS @ 12" O.C.
 J. MULTIPLE STUD COLUMNS: GULLED AND NAILED WITH 16 NAILS AT 12" O.C. EACH PLY.

MISCELLANEOUS:
 A. USE ONE LINE OF SOLID BLOCKING OR CROSS BRIDGING AT 8' O.C. MAX. FOR ALL JOISTS AND RAFTERS, USE SOLID BLOCKING AT JOIST AND RAFTER BEARING.
 B. IT IS ASSUMED THAT THE STRUCTURAL SHEATHING WILL PROVIDE LATERAL BRACING FOR THE STUDS AND ENTIRE STRUCTURE. IF SHEATHING IS NOT PROVIDED, USE SOLID BLOCKING AT MID-HEIGHT FOR ALL EXTERIOR STUD WALLS AND INTERIOR BEARING PARTITIONS AND METAL DIAGONAL BRACING AS REQUIRED FOR LATERAL STABILITY OF THE STRUCTURE.
 C. USE DOUBLE JOIST UNLESS OTHERWISE SHOWN OTHERWISE.
 D. USE DOUBLE STUDS (1) KING STUD & (2) JACK STUD AT BEAM AND UNTEL BEARING, UNLESS SHOWN OTHERWISE.
 E. APPLY CONTINUOUS BEAD OF ADHESIVE ON JOISTS AND GROOVE OF TONGUE AND GROOVE PANELS
 F. IN AREAS WHERE TOP CHORDS OF TRUSSES DO NOT RECEIVE PLYWOOD OR OSB SHEATHING, PROVIDE 1 X 4 CONTINUOUS BRIDGING PERPENDICULAR TO TOP CHORDS AND SPACED AT 3' O.C.
 G. BEFORE APPLYING FINISH FLOORING, SET NAILS 1/8" FROM JOIST AND DO NOT FALL AND LIGHTLY SAND ANY SURFACE ROUGHNESS, PARTICULARLY AT JOINTS AND AROUND NAILS.
 H. PROVIDE AND INSTALL BRIDGING FOR PREFABRICATED WOOD TRUSSES AS INDICATED ON THE TRUSS MANUFACTURER'S APPROVED SHOP DRAWINGS.
 I. WHERE FLOOR JOISTS SPAN PARALLEL TO FOUNDATION WALLS, PROVIDE 2x BLOCKING EQUAL TO THE JOISTS DEPTH AT MAXIMUM 24" ON CENTER BETWEEN BAN BOARD OVER WALL AND ADJACENT JOISTS. EXTEND BLOCKING OVER MINIMUM THREE JOIST SPACES. BLOCKING SHALL BE ADEQUATELY FASTENED TO THE FLOOR SHEATHING.

REINFORCED CONCRETE

MATERIALS:
 A. SPECIFICATIONS: IN GENERAL, COMPLY WITH ACI 301-05 'SPECIFICATIONS FOR STRUCTURAL CONCRETE'
 B. STRUCTURAL CONCRETE:



| CLASS | LOCATION | F _c |
|-------|---|----------------|
| I | FOOTINGS, WERS & UNDERPINNING | 3,000 |
| II | INTERIOR SLABS ON GRADE, WALLS, AND ALL INTERIOR CONCRETE NOT OTHERWISE DESIGNATED | 3,000 |
| III | EXTERIOR SLABS ON GRADE, RETAINING WALLS, BASEMENT WALL, PIERS AND COLUMNS, PLACED INTEGRALLY WITH BASEMENT WALLS, AND ALL EXTERIOR CONCRETE NOT OTHERWISE IDENTIFIED | 4,000 (W/ AIR) |


C. DO NOT BACKFILL AGAINST BASEMENT WALLS UNTIL BOTH THE SLAB-ON-GRADE AND THE FLOOR ABOVE ARE IN PLACE AND CURED.

| # | DATE | ISSUED WITH: CHANGE DESCRIPTION |
|---|------------|--|
| # | 10.22.2018 | REVISION #01 - REVISIONS FOR PERMIT |
| # | 10.24.2018 | REVISION #02 - FND / CRAWL SPACE REVISIONS |
| # | 10.25.2018 | REVISION #3 - HVAC REVISIONS |
| # | 10.10.2019 | REVISION #4 - FLOOD PLAIN MODIFICATION |

3401 / 3403 / 3405 / 3407 OLDE CAPE ST. E.
 5179 / 5181 / 5183 / 5185 OLDE CAPE ST. N.
 COLUMBUS, OHIO 43232

FIRE RESTORATION
 PREPARED FOR:

| | |
|--|--|
|  SCOTT D. BAKER 14654 | SCALE: NO SCALE SHEET # / DESCRIPTION STRUCTURAL NOTES DATE: 06.18.2019 CONSTRUCTION DOCUMENTS EXPIRATION DATE: 12/31/2019 |
|--|--|

A4-1

SCOTT D. BAKER, LICENSE #14654
 EXPIRATION DATE: 12/31/2019
 SBA STUDIOS PROJECT # 2018-163

| HVAC INDOOR FAN COIL SCHEDULE | | | | | | | | | | | CONDENSER SCHEDULE | | | | | | | | | | | | | | |
|-------------------------------|-------------------|-----|-----------|----------|----------|------------|-------------|-----------------|-----|------|--------------------|---------|--------|--------|-----------------------------|--------------|----------------|---------------|---------|-----|------|----------|--------|---------|--|
| MARK | MANUFACT. MODEL # | CFM | ENT DB/WB | TOTAL | SENSE | HEAT INPUT | HEAT OUTPUT | FAN | | MCA | MOCP | FILTERS | WT/LBS | MARK | MANUFACT. / MODEL / CARRIER | NOMINAL TONS | REFRIG. / LBS. | VOLTS / PHASE | | MCA | MOCP | EER/SEER | WT/LBS | REMARKS | |
| | | | | | | | | EXTERNAL STATIC | HP | | | | | | | | | 208/230 | 208/230 | | | | | | |
| FC-1 | CARRIER FV4CNF002 | 525 | 80/67.7 | 17.5 MBH | 13.0 MBH | 5 KW | 17.0 MBH | 0.5" | 1/2 | 28.4 | 30 | 1"FLAT | 135 | ACCU-1 | 2448B318 | 1.5 | R-410A | 3.15 | 208/230 | 1φ | 11.8 | 20 | -/14.5 | 107 | |

- NOTES:
1. ALL COOLING CAPACITIES SHOWN ARE BASED ON AN AMBIENT OUTDOOR TEMPERATURE OF 95F.
 2. ALL CAPACITIES LISTED ARE MINIMUM REQUIRED QUANTITIES.
 3. ALL COMPRESSORS SHALL HAVE 5 YEAR WARRANTIES SERVICED BY INSTALLING CONTRACTOR, ALL HEAT EXCHANGES TO HAVE A 10 YR WARRANTY.
 4. PROVIDE WITH 1" FLAT FILTER AND FLAT RACK AS PROVIDED BY MANUFACTURER.
 5. CONTRACTOR SHALL INSTALL ALL NEW FILTERS PRIOR TO TEST AND BALANCE WORK.
 6. PROVIDE LOW AMBIENT COOLING CAPABILITY DOWN TO 0F.
 7. PROVIDE 7 DAY DIGITAL PROGRAMMABLE THERMOSTAT.
 8. CONTRACTOR TO FIELD VERIFY VOLTAGE AND PHASE WITH ELECTRICAL CONTRACTOR PRIOR TO ORDERING UNIT.

| Natural Ventilation Schedule | | | | | | |
|------------------------------|-------|---------------|------------------|--------------|-------|--------------------|
| 2 Unit Apartment #1 | | | | | | AEG # 5183 |
| Area Name | SD FT | Vent Area Req | Opening Area Req | Opening Type | SD FT | Total Opening Area |
| Living Room | 273 | 0.04 | 11 | Window | 14.12 | 14.12 |
| Bedroom | 83 | 0.04 | 3 | Window | 3.6 | 3.6 |
| Bathroom | 114 | 0.04 | 5 | Window | 5.75 | 5.75 |
| Total | | | 19 | | | 23.47 |

Per Section 402.2 of the 2017 Ohio Mechanical Code
Minimum Openable Area shall be 4% of Floor Area

| AIR DISTRIBUTION DEVICES | | | | | | | | | | | |
|--------------------------|-----------|-----------|----------|---------|----------|--------|-------------|------|------------|--------------|---------|
| SYMBOL | CATALOG # | UNIT SIZE | MOUNTING | | MATERIAL | FINISH | ACCESSORIES | | | BORDER STYLE | REMARKS |
| | | | WALL | CEILING | | | DUCT | DPR. | EQUAL GRID | | |
| SD-1 | 23 | 8"x8" | ● | ● | STEEL | D | A | | | A | |
| SR-2 | 22 | 12"x4" | ● | ● | STEEL | D | A | | | A | |
| SR-3 | 22 | 10"x4" | ● | ● | STEEL | D | A | | | A | |
| RG-1 | 035 | 14"x14" | ● | ● | STEEL | D | - | | | A | 1 |

- NOTES:
1. TRANSITION TO DUCT AS REQUIRED.
 2. PROVIDE WITH PLENUM AS MFG BY DIFFUSER MANUFACTURER.

MECHANICAL LEGEND

- NEW DUCTWORK
- CEILING SUPPLY AIR DIFFUSER
- CEILING RETURN AIR GRILLE
- CEILING EXHAUST AIR GRILLE
- TURNING VANE
- BRANCH TAKE-OFF WITH BALANCING DAMPER
- SMOKE DETECTOR
- HORN/SSTROBE
- THERMOSTAT/SENSOR
- AIR DEVICE TYPE CFM AMOUNT
- SUPPLY AIRFLOW
- RETURN AIRFLOW
- OA
- SA
- RA
- FD

* ALL SYMBOLS MAY NOT BE USED

| # | DATE | ISSUED WITH CHANGE DESCRIPTION |
|---|------|--------------------------------|
| | | |
| | | |
| | | |

3401 / 3403 / 3405 / 3407 OLDE CAPE ST. E.
5179 / 5181 / 5183 / 5185 OLDE CAPE ST. N.
COLUMBUS, OHIO 43232

FIRE RESTORATION

PREPARED FOR:

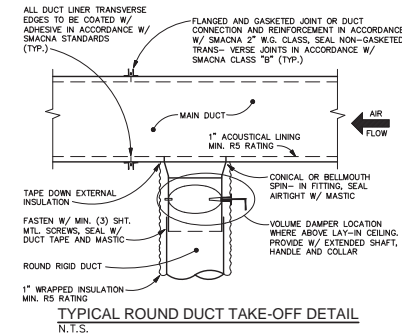
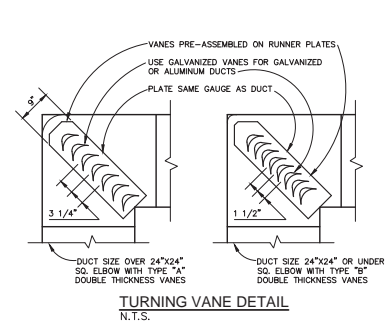
ROTH CONSTRUCTION

SBA STUDIOS
ARCHITECTURAL DESIGN
614.322.7261 WWW.SBA-STUDIOS.COM

SHEET # / DESCRIPTION
SCHEDULES - DETAILS

M2-1

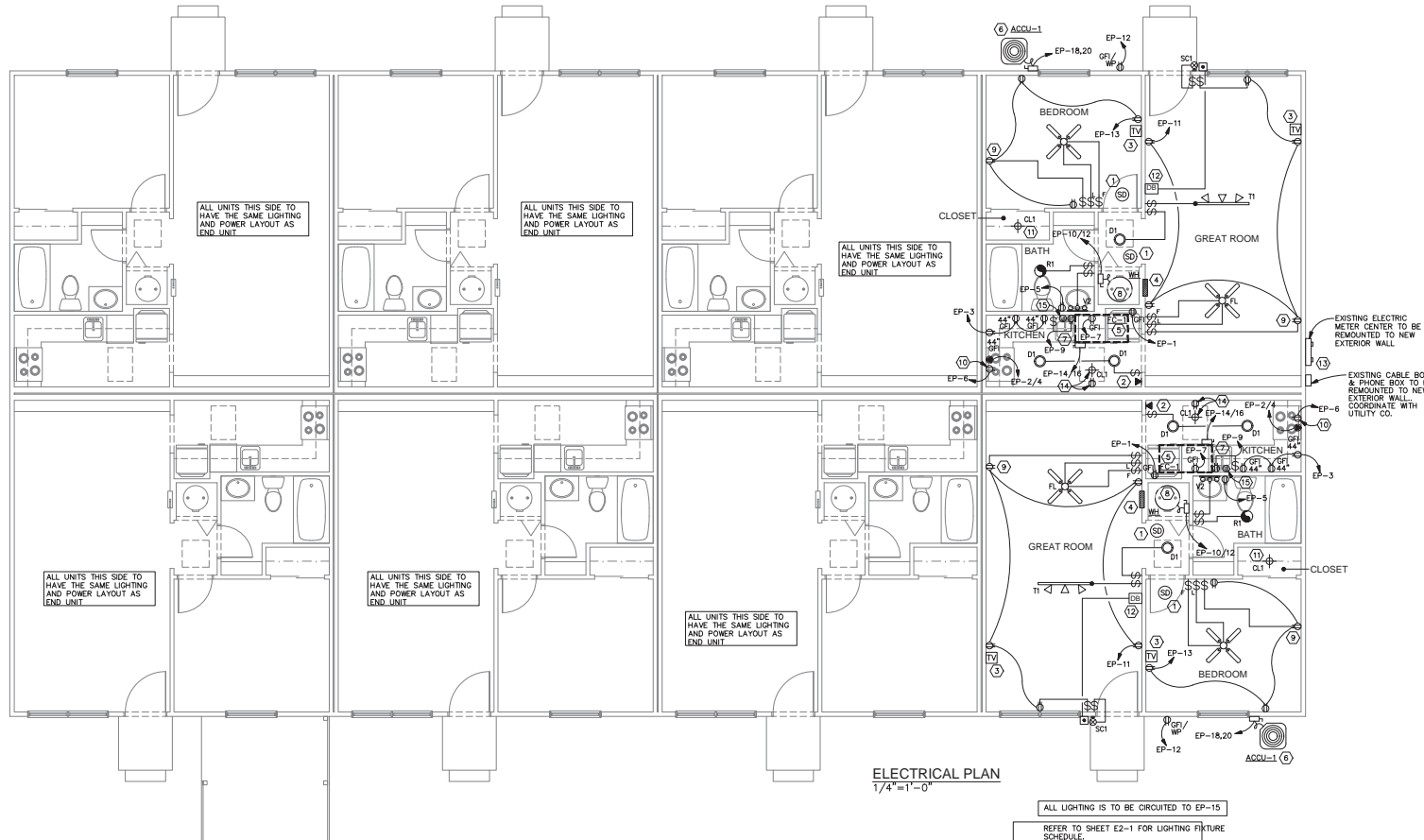
DATE: 04/30/2019
CONSTRUCTION DOCUMENTS
AEG PROJECT # 18183



7402 East Broad Street
Blacklick, Ohio 43004
Phone: 614.322.7050
Fax: 614.322.7049
www.aegtd.com

AEG
MEP Building Consultants

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GENERAL NOTES

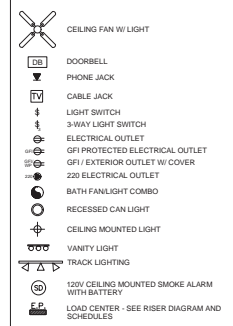
- E.C. RESPONSIBLE TO SECURE AND PAY FOR ALL PERMITS, ADHERE TO ALL STATE, LOCAL AND NATIONAL ELECTRIC CODES, AND SCHEDULE INSPECTION TIMES AS TO NOT DELAY JOB PROGRESS.
- COORDINATE ALL WORK WITH OTHER TRADES TO ELIMINATE CONFLICTS ON THE JOB.
- PERFORM ALL WORK IN A NEAT AND PROFESSIONAL MANNER, AND SUPPLY ALL NEW EQUIPMENT AND ACCESSORIES.
- SUBMIT SHOP DRAWINGS AND OPERATION MANUALS OF ALL EQUIPMENT AND ACCESSORIES FOR OWNER APPROVAL, PRIOR TO STARTING WORK.
- SEE RISER DIAGRAMS FOR CABLE/PHONE/ELEC ROUTING OF WIRING.
- ALL ELECTRICAL PANELS TO BE BASED ON SQUARE "D" OR EQUAL BY G.E. OR ITE SIEMENS WITH SNAP ON TYPE CIRCUIT BREAKERS.
- ALL PENETRATIONS OF WALL, ROOF AND CEILING TO BE SEALED AS REQUIRED WITH FIRE SEALANT TO MAINTAIN FIRE RATING AS REQUIRED.
- WIRE SIZES 20A-1P & 20A-2P BREAKER: 2#12 @#12 GRD. 30A-2P BREAKER: 2#10 @#12 GRD. 50A-2P BREAKER: 2#6 & #10 GRD.
- ALL WIRING MAY BE TYPE NM CABLE (ROMEX) PER NEC ART 334.
- ALL WIRING TO BE COLOR-CODED AS FOLLOWS:
120/240 VOLT SYSTEM:
NEUTRAL - WHITE
PHASE A OR L1 - BLACK
PHASE B OR L2 - RED
GROUND - GREEN

- PROVIDE FLEXIBLE CONDUIT FOR ALL VIBRATING EQUIPMENT, NOT TO EXCEED 3 FT. IN LENGTH.
- ALL CONDUIT AND WIRE TO BE CONCEALED IN WALLS AND CEILINGS.
- BALANCE ALL PANELS WITHIN 10% OF EACH PHASE LEG.
- PROVIDE LABELS AND TAPS FOR ALL PANELS AND SWITCHGEAR EQUIPMENT. PROVIDE TYPED DIRECTORY OF ALL CIRCUITS LABELED BY ROOM NUMBER OR NAME.
- REFER TO MECHANICAL PLAN FOR LOCATION OF MECHANICAL EQUIPMENT. FIELD VERIFY EXACT LOCATIONS.
- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH NATIONAL ELECTRIC CODE AND ALL LOCAL CODES AND ORDINANCES. THE CONTRACTOR SHALL INQUIRE INTO AND COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. AFTER CONTRACT IS ISSUED, NO ADDITIONAL COST DUE TO CODE ISSUES SHALL BE REIMBURSED BY THE OWNER TO THE CONTRACTOR.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE TO INQUIRE WITH THE LOCAL CODE AUTHORITY ON ANY FIRE ALARM SYSTEM REQUIREMENTS; IF THE FIRE ALARM SYSTEM IS NOT ADEQUATELY DESCRIBED ON THE DRAWINGS, THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO INFORM THE GENERAL CONTRACTOR AND INCLUDE THE COST AS A SEPARATE LINE ITEM IN THE BID. NO ADDITIONAL MONIES SHALL BE AWARDED WITHOUT A SEPARATE LINE ITEM FOR THE FIRE ALARM SYSTEM AT THE TIME OF THE BID.
- ELECTRICAL CONTRACTOR SHALL VERIFY EXACT/ALL MOUNTING HEIGHTS, LOCATIONS AND COLOR (FINISH) OF ALL DEVICES AND EQUIPMENT WITH THE ARCHITECT AND/OR OWNERS REPRESENTATIVE PRIOR TO ROUGH-IN.
- LOW VOLTAGE WIRING (PHONE/CATV) BY OTHERS. VERIFY REQUIREMENTS.

CODED NOTES

- CEILING MOUNTED SMOKE ALARM WITH BATTERY BACKUP. WIRE TO LOCAL LIGHTING CIRCUIT AHEAD OF SWITCH. WIRE SO THAT WHEN ONE ALARM IS ACTIVATED WITHIN A UNIT ALL ALARMS WITHIN THAT UNIT ARE ACTIVATED.
- PROVIDE AND INSTALL ONE COMMUNICATION OUTLET WITHIN DWELLING UNIT PER N.E.C. ARTICLE 800.156.
- PROVIDE AND INSTALL CABLE COAXIAL DEVICE FOR CONNECTION TO CABLE SERVICE.
- PROVIDE AND INSTALL 120/240V, 1A, 3W, 100A MCB ELECTRICAL PANEL "EP".
- HVAC UNIT FC-1. PROVIDE AND INSTALL 240V, 1PH, 30A DISCONNECT SWITCH, DISCONNECT IN ACCESSIBLE LOCATION AT UNIT. RUN #10/2 NM CABLE FROM 30A-2P BREAKER IN PANEL TO DISCONNECT SWITCH AT UNIT. MAKE FINAL CONNECTION TO UNIT. COORDINATE WITH MECHANICAL CONTRACTOR PRIOR TO STARTING WORK. INCLUDE IN BID ALL WORK REQUIRED FOR A COMPLETE HVAC SYSTEM.
- HVAC UNIT ACCU-1. PROVIDE AND INSTALL NEMA 3R NON-FUSED DISCONNECT SWITCH IN ACCESSIBLE LOCATION AT UNIT. RUN (2) #12 THIN CU AND (1) #12 GROUND IN 3/4" CONDUIT FROM 20A-2P BREAKER IN PANEL TO DISCONNECT SWITCH AT UNIT. MAKE FINAL CONNECTION TO UNIT. COORDINATE WITH MECHANICAL CONTRACTOR PRIOR TO STARTING WORK. CONFIRM DISCONNECT LOCATIONS WITH G.C. & MC PRIOR TO INSTALLATION.
- PROVIDE AND INSTALL 120V, 20A DUPLEX RECEPTACLE FOR CONNECTION TO 1/2" CPB GARBAGE DISPOSAL. PROVIDE AND INSTALL 120V, 20A TOGGLE SWITCH MOUNTED ABOVE COUNTER FOR CONTROL OF GARBAGE DISPOSAL.
- ELECTRIC WATER HEATER. 6000 WATT, 240V, 1Φ. PROVIDE AND INSTALL 30A-2P NON-FUSED DISCONNECT SWITCH IN ACCESSIBLE LOCATION NEXT TO UNIT. RUN (2) #10 THIN CU & (1) #10 GRD. IN 3/4" CONDUIT FROM 30A-2P BREAKER IN PANEL TO DISCONNECT SWITCH NEXT TO WATER HEATER. MAKE FINAL CONNECTION TO WATER HEATER. COORDINATE WITH PLUMBING CONTRACTOR PRIOR TO STARTING WORK.
- SWITCH BOTTOM HALF OF RECEPTACLE ONLY.
- MICROWAVE/ RANGE HOOD EXHAUST FAN RECEPTACLE IN CABINET ABOVE RANGE.
- INSTALL CLOSET LIGHT FIXTURE IN ACCORDANCE WITH SECTION #410-8 OF THE NATIONAL ELECTRIC CODE.
- MOUNT DOOR BELL HIGH ON WALL CLOSE TO CEILING. WIRE TO DOOR PUSHBUTTON. PAINT CHIME TO MATCH WALLS. VERIFY EXACT LOCATION PRIOR TO INSTALLATION.
- EXISTING ELECTRIC METER CENTER, TELEPHONE, & CATV PEDESTALS THIS END. PROVIDE LIGHT AND POWER ABOVE THE CEILING IN THE ATTIC SPACE AREA. FIELD VERIFY EXACT MOUNTING LOCATION AND REQUIREMENTS PRIOR TO INSTALLATION.
- PROVIDE POWER FOR SWITCHED LIGHT ABOVE KITCHEN SINK. FEED FROM KITCHEN LIGHTING CIRCUIT. FIELD VERIFY EXACT MOUNTING LOCATION AND REQUIREMENTS PRIOR TO INSTALLATION.

ELECTRICAL LEGEND



| # | DATE | ISSUED WITH CHANGE DESCRIPTION |
|---|------------|--------------------------------|
| 1 | 01.29.2019 | HVAC changes |
| 2 | 03.13.2019 | HVAC changes |

3401 / 3403 / 3405 / 3407 OLDE CAPE ST. E.
5179 / 5181 / 5183 / 5185 OLDE CAPE ST. N.
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FIRE RESTORATION



7402 East Broad Street
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Fax: 614.322.7049
www.aegld.com



| |
|------------------------|
| SHEET # / DESCRIPTION |
| ELECTRICAL PLAN |
| E1-1 |
| DATE: 04.30.2019 |
| CONSTRUCTION DOCUMENTS |
| AEG PROJECT # 18183 |

04/30/19 - 15:03 - E1-1 DATE - 4/30/19 CAD - 098 - 05

| MECH EQUIPMENT SCHEDULE | | | | | | |
|-------------------------|------------------|-------------|---------|------|----------------------------|------------------------------|
| MARK | SIZE | VOLTS/PHASE | MCA | MOCP | FEEDER | DISC. SWITCH AT UNIT (BY EC) |
| FC-1 | 1/2HP (9KW HEAT) | 240/1 | 28.4 | 30A | 2#10 & 1#10 GRD IN 3/4" C. | 30A-2P N.F. NEMA 1 DISC SW |
| ACCU-1 | 3 TON | 240/1 | 11.8MCA | 20A | 2#12 & 1#12 GRD IN 3/4" C. | 30A-2P N.F. NEMA 3R DISC SW |
| WH | 6 KW | 240/1 | 25 FLA | 30A | 2#10 & 1#10 GRD IN 3/4" C. | 30A-2P N.F. NEMA 1 DISC SW |

Olde Cape St. Inc.
Electric Service Connections

| Load | VA | Watts | VA |
|-----------------|---------------|---------------|---------------|
| Refrigeration | 11,800 | 11,800 | 11,800 |
| Water Heating | 7,200 | 7,200 | 7,200 |
| Washing Machine | 1,500 | 1,500 | 1,500 |
| Dishwasher | 1,500 | 1,500 | 1,500 |
| Electric Range | 7,500 | 7,500 | 7,500 |
| Water Heater | 6,000 | 6,000 | 6,000 |
| Other Loads | 1,500 | 1,500 | 1,500 |
| Total | 47,000 | 47,000 | 47,000 |

Derating per NEC 250.67B
 Standard 100%
 Derating Factor
 Total

Minimum Service Size
 Use 125 amp service

Feeder Wire Hand Calculated to Meter Center

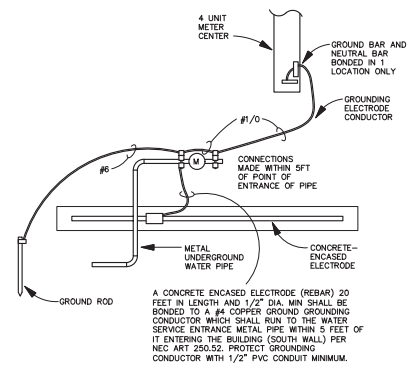
| Item | Qty | Size | Length | Notes |
|-------------|-----|------|--------|----------------------------|
| 120/240V 3W | 1 | 3/4" | 100' | From meter center to panel |
| 120/240V 3W | 1 | 1/2" | 200' | From meter center to panel |
| 120/240V 3W | 1 | 1/2" | 200' | From meter center to panel |
| 120/240V 3W | 1 | 1/2" | 200' | From meter center to panel |
| 120/240V 3W | 1 | 1/2" | 200' | From meter center to panel |
| 120/240V 3W | 1 | 1/2" | 200' | From meter center to panel |
| 120/240V 3W | 1 | 1/2" | 200' | From meter center to panel |
| 120/240V 3W | 1 | 1/2" | 200' | From meter center to panel |
| 120/240V 3W | 1 | 1/2" | 200' | From meter center to panel |
| 120/240V 3W | 1 | 1/2" | 200' | From meter center to panel |

Derating Per NEC 250.67B
 Standard 100%
 Derating Factor
 Total
 Use 600 amp 1 pole service to meter center

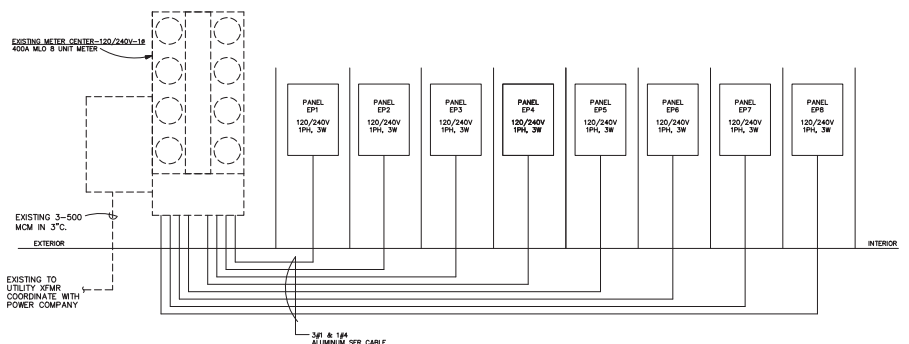
| PANEL WIRING SCHEDULE 1-PHASE | | | | | | | | | | |
|-------------------------------|------------------|--------------------|---------|------------------|--------|------------------|--------|----------------------------|------------------|-----------|
| PANEL BOARD "EP" | | VOLTAGE 120/240 | | PHASE 1 WIRE 3 | | AC RATING 22,000 | | | | |
| PANEL TYPE LOAD CENTER | | MANS 125A M.C.B.L. | | MANS RATING 125A | | MANS RATING 125A | | NOTE TYPICAL FOR UNITS 1-8 | | |
| NEMA TYPE ENCLOSURE 1 | | MOUNTING RECESSED | | OPTIONS | | | | | | |
| DIST. NO. | LOAD DESCRIPTION | BUS SIZE | NEC AMP | NEC KW | NEC KW | NEC KW | NEC KW | NEC KW | LOAD DESCRIPTION | DIST. NO. |
| 1 | REC-REFRIGERATOR | AWG | 0.800 | A | 2.450 | | | | REC-REFRIGERATOR | 2 |
| 3 | REC-WATER | AWG | 0.900 | B | 2.450 | | | | REC-WATER | 4 |
| 5 | REC-REFRIGERATOR | AWG | 0.180 | A | 1.500 | | | | REC-REFRIGERATOR | 6 |
| 7 | REC-COUPHER | AWG | 1.400 | B | | | | | REC-COUPHER | 8 |
| 9 | REC-REFRIGERATOR | AWG | 1.127 | A | 3.000 | | | | REC-REFRIGERATOR | 10 |
| 11 | REC-LIVING ROOM | AWG | 0.720 | B | 3.000 | | | | REC-LIVING ROOM | 12 |
| 13 | REC-REFRIGERATOR | AWG | 0.720 | A | 3.408 | | | | REC-REFRIGERATOR | 14 |
| 15 | REC-REFRIGERATOR | AWG | 0.251 | B | 3.408 | | | | REC-REFRIGERATOR | 16 |
| 17 | REC-OUTSIDE | AWG | 0.180 | A | 1.416 | | | | REC-OUTSIDE | 18 |
| 19 | SPACE | | | B | 1.416 | | | | SPACE | 20 |
| 21 | SPACE | | | A | 1.416 | | | | SPACE | 22 |
| 23 | SPACE | | | B | 1.416 | | | | SPACE | 24 |

| PANEL LOAD SUMMARY | | | BREAKER TYPES | |
|--------------------|------------------|------------|-----------------------------|-------------------------------|
| NEC | CONNECTED TOTALS | | 15 - HANDLE LOCK-OFF DEVICE | 20 - GROUND FAULT INTERRUPTER |
| AWG | 14,781 | KVA | | |
| AMP | 13,545 | KVA | | |
| TOTAL | 28,326 | KVA | CONNECTED LOAD | |

| LIGHTING SCHEDULE | | | | | VERIFY ALL FIXTURE TYPES AND FINISHES WITH ARCHITECT PRIOR TO ORDERING |
|-------------------|--------------|------------------|-------|---|--|
| DESIGNATION | MANUFACTURER | LAMPS | VOLTS | REMARKS | |
| CL1 | BY G.C. | LED 8 WATTS | 120V | PORCELAIN SOCKET WITH PULL STRING IN CLOSET AND ATTIC | |
| FL | BY G.C. | (3) LED 11 WATTS | 120V | FAN LIGHT COMBO IN RESTROOM COORDINATE WITH HVAC CONTRACTOR | |
| D1 | BY G.C. | LED 9 WATTS | 120V | 6" RECESSED DOWNLIGHT WITH WHITE TRIM CAN LIGHT | |
| V2 | BY G.C. | (3) LED 9 WATTS | 120V | 18" WALL MOUNTED 2 LAMP VANITY LIGHT VERIFY FINISH TYPE | |
| R1 | BY G.C. | LED 9 WATTS | 120V | COMBO LIGHT/EXHAUST FAN VERIFY MOUNTING LOCATION | |
| SC1 | BY G.C. | LED 9 WATTS | 120V | OUTDOOR WALL LANTERN (TRADITIONAL) | |
| T1 | BY G.C. | (3) LED 9 WATTS | 120V | 4" PIECE OF TRACK | |



GROUNDING DETAIL
N.T.S.



RISER DIAGRAM
N.T.S.



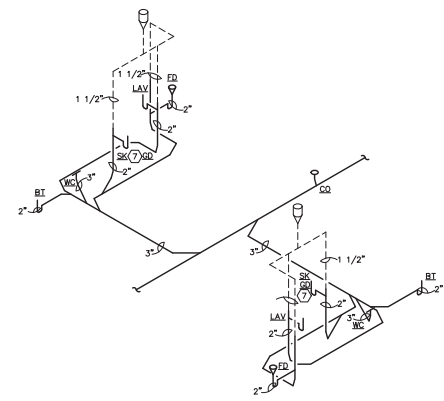
7402 East Broad Street
Blacklick, Ohio 43004
Phone: 614.322.7050
Fax: 614.322.7049
www.aegtd.com

| # | DATE | ISSUED WITH: CHANGE DESCRIPTION |
|---|------|---------------------------------|
| | | |
| | | |
| | | |

3401 / 3403 / 3405 / 3407 OLDE CAPE ST. E.
5179 / 5181 / 5183 / 5185 OLDE CAPE ST. N.
COLUMBUS, OHIO 43232
FIRE RESTORATION

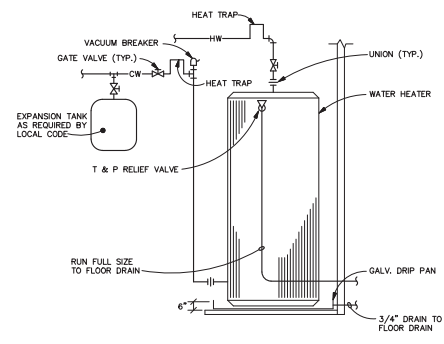


| SHEET # / DESCRIPTION | |
|------------------------|--|
| RISER SCHEDULES | |
| DATE: 04-30-2019 | |
| CONSTRUCTION DOCUMENTS | |
| AEG PROJECT # 18183 | |

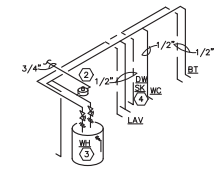


SANITARY STACK
N.T.S.

SEE SHEET P1-1 FOR CODED NOTES AND PLUMBING FIGURE SCHEDULE



WATER HEATER DETAIL
N.T.S.



WATER RISER
N.T.S.

PLUMBING LEGEND

| | |
|------------|---------------------|
| — EX CW — | EXISTING COLD WATER |
| — CW — | COLD WATER |
| — EX HW — | EXISTING HOT WATER |
| — HW — | 140°F HOT WATER |
| — EX SAN — | EXISTING SANITARY |
| — SAN — | SANITARY |
| — Y — | SANITARY VENT |
| — EX G — | EXISTING GAS |
| — G — | GAS |
| Ⓧ | FLOOR DRAIN |
| Ⓞ | DROP |
| Ⓛ | BALL VALVE |
| Ⓜ | GATE VALVE |
| Ⓢ | BALANCE VALVE |
| Ⓜ | VENT THRU ROOF |

* ALL SYMBOLS MAY NOT BE USED

| # | DATE | ISSUED WITH: CHANGE DESCRIPTION |
|---|------|---------------------------------|
| | | |
| | | |
| | | |

3401 / 3403 / 3405 / 3407 OLDE CAPE ST. E.
5179 / 5181 / 5183 / 5185 OLDE CAPE ST. N.
COLUMBUS, OHIO 43222
FIRE RESTORATION
PREPARED FOR:



DATE OF ORIGINAL: 6/13/18

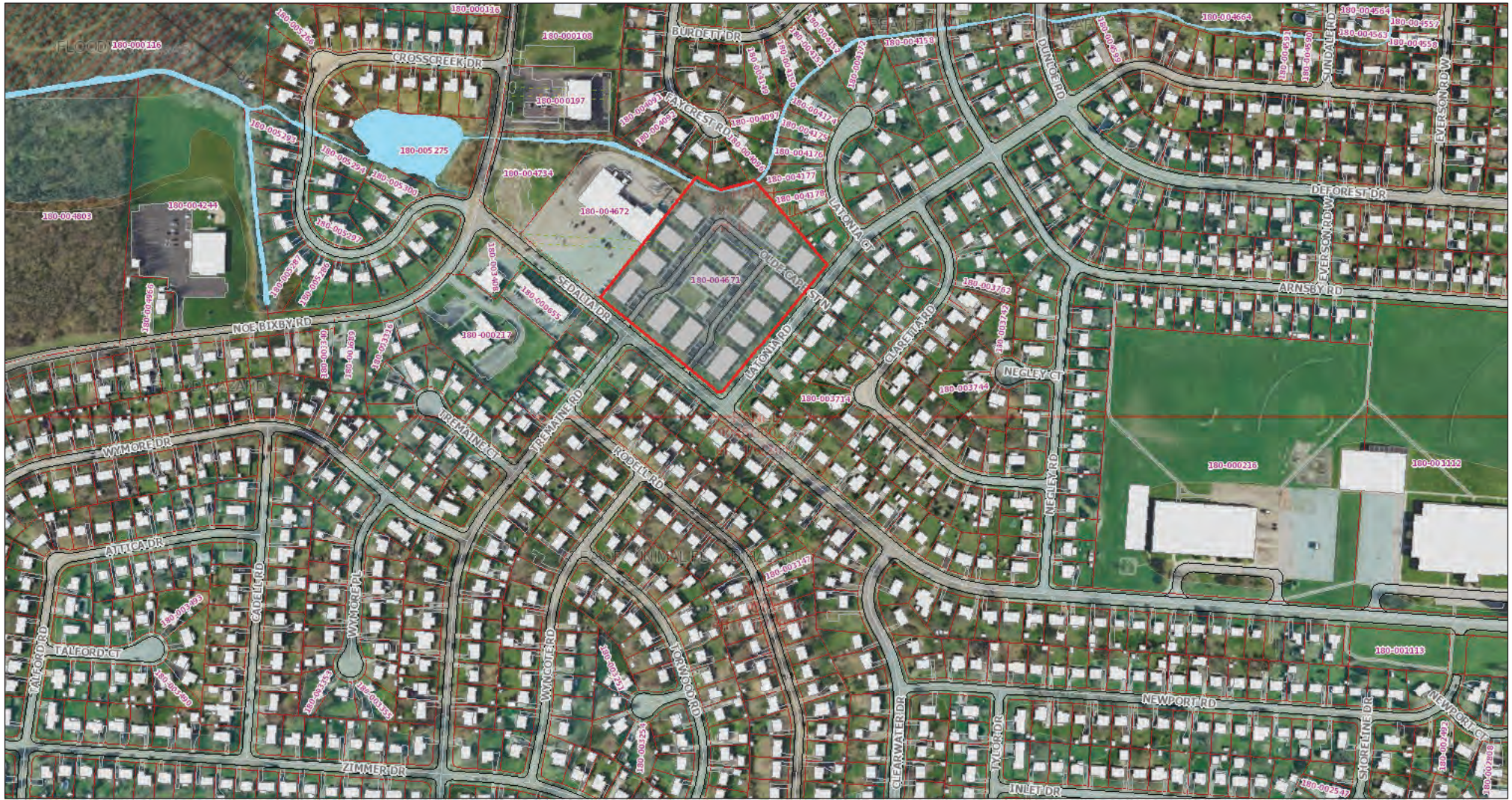
DAN R. RHODES E-67289 REGISTERED PROFESSIONAL ENGINEER

SHEET # / DESCRIPTION
PLUMBING ISOMETRICS

P2-1

DATE: 04-30-2019
CONSTRUCTION DOCUMENTS
AEG PROJECT # 18183

VA-3956

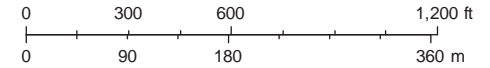


November 19, 2019

1:4,464

- | | | | |
|-------------------------|--------------------|-------------------------------|---|
| Parcel IDs | Creeks & Streams | FIRM Panels | Regulatory Floodway |
| Railroads | Waterbodies | Cross-Sections | Special Floodway |
| Building Footprints | Tax Parcel | Other Boundaries | Area of Undetermined Flood Hazard |
| Pavement | Drops and Adds | Limit Lines | 0.2% Annual Chance Flood Hazard |
| SecondaryTransportation | Easements | SFHA / Flood Zone Boundary | Future Conditions 1% Annual Chance Flood Hazard |
| Street Network | Original Lot Lines | 1% Annual Chance Flood Hazard | Area with Reduced Risk Due to Levee |

ImageryExtent2017



Franklin County Auditor
 Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community