

Franklin County Board of Zoning Appeals

Franklin County Courthouse
Commissioner’s Hearing Room – 26th Floor
Columbus, OH 43215

Monday, December 16, 2019
1:30 p.m.

1. Call roll for board members
2. Introduction of staff
3. Swearing in of witnesses
4. Approval of minutes from the November 18, 2019 meeting

i. VA-3954 – Brad Fisher

Owner/Applicant:	John Whitaker
Township:	Pleasant Township
Site:	5231 Denton Rd. (PID #230-000186)
Acreage:	1.950-acres
Utilities:	Private water and wastewater
Zoning:	Rural District
Request:	Requesting a Variance from Section 512.02(2) of the Franklin County Zoning Resolution to allow the expansion of an accessory building that fails to meet the accessory building setback requirement in an area zoned Rural.

ii. VA-3955 – Brad Fisher

Owner/Applicant:	James Stevenson
Applicant:	Alec Land
Agent:	Kimberly Land
Township:	Madison Township
Site:	7000 Lithopolis Rd. (PID #180-000382)
Acreage:	130.520-acres
Zoning:	Rural District
Request:	Requesting a Variance from Section 302.04(2) of the Franklin County Zoning Resolution to allow the creation of a lot that would not meet the minimum lot width requirement in an area zoned Rural.

iii. VA-3956 – Brad Fisher

Owner/Applicant:	Sedalia Drive, LLC
Agent:	Thomas Hart
Township:	Madison Township
Site:	3425-3431 Olde Cape East (PID #180-004671)
Acreage:	5.560-acres
Utilities:	Public water and sewer
Zoning:	Community Services District
Request:	Requesting Variances from Section 610.081(1) of the Franklin County Zoning Resolution and Sections 4.1-2(1), 4.1-2(3) and 4.2-1(A(1)) of the Franklin County Special Resolution NFIP Regulation to allow for construction of an apartment building in the floodplain that fails to meet elevation requirements and will be built with materials that are not resistant to flood damage.

5. Adjournment of Meeting to January 21, 2020

**MINUTES OF THE
FRANKLIN COUNTY BOARD OF ZONING APPEALS**

Monday November 18, 2019

The Franklin County Board of Zoning Appeals convened on the 26th floor, Franklin County Courthouse, 373 South High Street, Columbus, Ohio, 43215, on Monday November 18, 2019.

Present were:
Christopher Baer, Chairperson
Nancy Hunter
Tim Guyton
Joe Martin
Paula Armentrout

Franklin County Economic Development and Planning Department members:
Jenny Snapp, Assistant Director
Matt Brown, Planning Administrator
Brad Fisher, Planner

Chairperson Baer opened the hearing.

The first order of business being the roll call of members, the introduction of Staff, and the swearing in of witnesses. The next item of business was the approval of the minutes from the October 21, 2019, meeting. Mr. Guyton made a motion to approve the minutes of the October 21, 2019, meeting. It was seconded by Mr. Martin. The motion was approved by a vote of four yeases and one abstention.

NEW BUSINESS:

The next order of business being Case No. VA-3953. The applicants are Bruce and Jeanette Bays. The township is Pleasant Township. The site is located at 5288 Pheasant Drive. It is 0.490 acres in size and is served by public water and sewer and is zoned Residential. The applicant is requesting a Variance from Sections 512.02(2) and 512.02.(2)(a) of the Franklin County Zoning Resolution to allow the construction of an accessory building that would not meet the minimum side yard and principal structure setbacks on a lot smaller than 1 acre in size. Mr. Brad Fisher read and presented the case to the Franklin County Board of Zoning Appeals. Mr. Guyton made a motion to approve a Variance from Sections 512.02(2) and 512.02(2)(a) of the Franklin County Zoning Resolution. It was seconded by Mr. Martin. The motion failed by a vote of three noes and two yeases. Mr. Guyton made a motion to adopt Findings of Fact that the reason for denying the applicant's request for a Variance results from the applicant's failure to satisfy that criteria for granting a Variance under Section 810.04(1) of the Franklin Zoning Resolution. The motion was seconded by Ms. Armentrout. The motion was approved by a vote of three yeases and two abstentions.

There being no further business to come before the Franklin County Board of Zoning Appeals, Mr. Martin made a motion to adjourn the hearing. It was seconded by Mr. Baer. The hearing was adjourned at 2:36 p.m.

Signature

Minutes of the November 18, 2019, Franklin County Board of Zoning Appeals hearing were approved this 16th day of December, 2019

STAFF REPORT

Board of Zoning Appeals
December 16, 2019

Case: VA-3954

Prepared by: Brad Fisher

Owner/Applicant:	John & Gwen Whittaker
Township:	Pleasant Township
Site:	5231 Denton Rd. (PID #230-000186)
Acreage:	1.95-acres
Zoning:	Rural
Utilities:	Private water and wastewater
Request:	Requesting a Variance from Section 512.02(2) of the Franklin County Zoning Resolution to allow the expansion of an accessory building that exceeds the maximum accessory building size and fails to meet the minimum property line setback requirement in an area zoned Rural.

Summary

The applicant is requesting a Variance to allow the expansion of an accessory building that exceeds the maximum accessory building size and fails to meet the minimum property line setback requirement in an area zoned Rural. The request does not satisfy the criteria necessary for granting a Variance. Staff recommends *denial*.

Description of the Request

The subject site is located on the south side of Denton Road between Old Harrisburg Road and Stahl Road in Pleasant Township. The property includes a 1,937 square foot single-family home that was built in 1967 and a 616 square foot detached garage that was built in 1978.

The request is to add onto an existing 616 square foot accessory building that is only setback 3 feet from the western property line. The applicant is proposing to construct a 720 square foot addition onto the rear of the building that will also be setback 3 feet from the western property line and construct a 224 square foot covered patio onto the east side of the building. The total footprint of the accessory building after the addition will be 1,560 square feet. The required side yard setback is 10 feet and the maximum permitted accessory building size is 1,440.

A variance is needed to reduce the side yard setback by 7 feet and exceed the accessory building size by 120 square feet.

Surrounding Area and Zoning

The subject site and surrounding lots are zoned Rural and developed as low-density residential in Pleasant Township.

Comprehensive Plan

The Pleasant Township Comprehensive Plan, adopted in 2009, includes a Future Land Use Map that recommends the site for Conservation Development with 50 percent open space. Recommended land uses within this type of development include all permitted uses found in the Rural zoning district.

Staff Review

Variance from Section 512.02(2) – Location and Size of Residential Accessory Buildings

- For lots that are greater than 1-acre and less than 2-acres in size, the setback from property lines is 10 feet and the maximum permitted accessory building size is 1,440 square feet.
 - The proposed setback to the western property line is 3 feet.
 - A Variance is requested to reduce the setback by 7 feet.
 - The proposed accessory building size is 1,560 square feet.
 - A Variance is requested to exceed the maximum permitted building size by 120 square feet.
 - Staff notes that if the subject site were 0.05-acres larger the maximum permitted accessory building size would be 2,160 square feet.

Technical Review Committee Agency Review

Expressed no concerns with the proposed development.

Staff Analysis

Section 810.041 – Approval of Variance:

The Board of Zoning Appeals shall only approve a variance if all of the following findings are made.

- 1) *Special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district;*
 - » The applicant stated that the existing accessory building was constructed in 1978, prior to purchasing the property. Additionally, to build a second structure elsewhere on the property would require substantial grading.
 - » Staff agrees that the existing accessory building was constructed prior to the applicant purchasing the property in 2018, however there are many other locations to build an accessory building that could meet all applicable regulations. Additionally, Staff did not notice a significant change in grade across the property.
- 2) *A literal interpretation of the provisions of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Zoning Resolution;*
 - » The applicant indicated that many other neighbors have built similar structures and the immediate neighbors are in support of the request.
 - » Staff found two (2) examples of similar variances that were approved on this section of Denton Road. The requests were approved to allow for accessory buildings to be located in front of the principal structure, however setbacks to side lot lines were met in both cases. One (1) case was denied for a request to allow for the accessory building to exceed the maximum permitted size.
- 3) *The special conditions and circumstances do not result from the action of the applicant;*
 - » Staff does not believe a special circumstance exists as an accessory building could be built on the property that meets all applicable regulations.
- 4) *Granting the variance requested will not confer on the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District;*
 - » Staff notes that a non-conforming structure or accessory development of record that would not meet the adopted regulations can only be altered or extended in a way that is in compliance with all development standards. Granting the variance could set a precedent for altering non-conforming structures when the development standards could be met.

- 5) *Granting the variance will not adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare or injurious to private property or public improvements in the vicinity;*
- » The applicant stated that the proposed development would not adversely affect the public welfare or be injurious to private property and has provided four (4) letters from different neighbors in support of the request.
 - » Based on the adjacent neighbor's support of the request, Staff does not believe that granting the variance would adversely impact the community.

Recommendation

Staff's recommendation is that the BZA deny a Variance from Section 512.02(2) of the Franklin County Zoning Resolution to allow the expansion of an accessory building that exceeds the maximum accessory building size and fails to meet the minimum property line setback requirement in an area zoned Rural.

Resolution

For your convenience, the following is a proposed resolution:

Proposed Resolution for Variance Request:

_____ moves to approve a Variance from Section 512.02(2) of the Franklin County Zoning Resolution as outlined in the request above for the applicant identified in Case No. VA-3954.

Seconded by: _____

Voting:

Findings of Fact

For your convenience, the following are proposed findings of fact:

If the resolution fails for lack of support, the following are proposed findings of fact for adoption by the BZA:

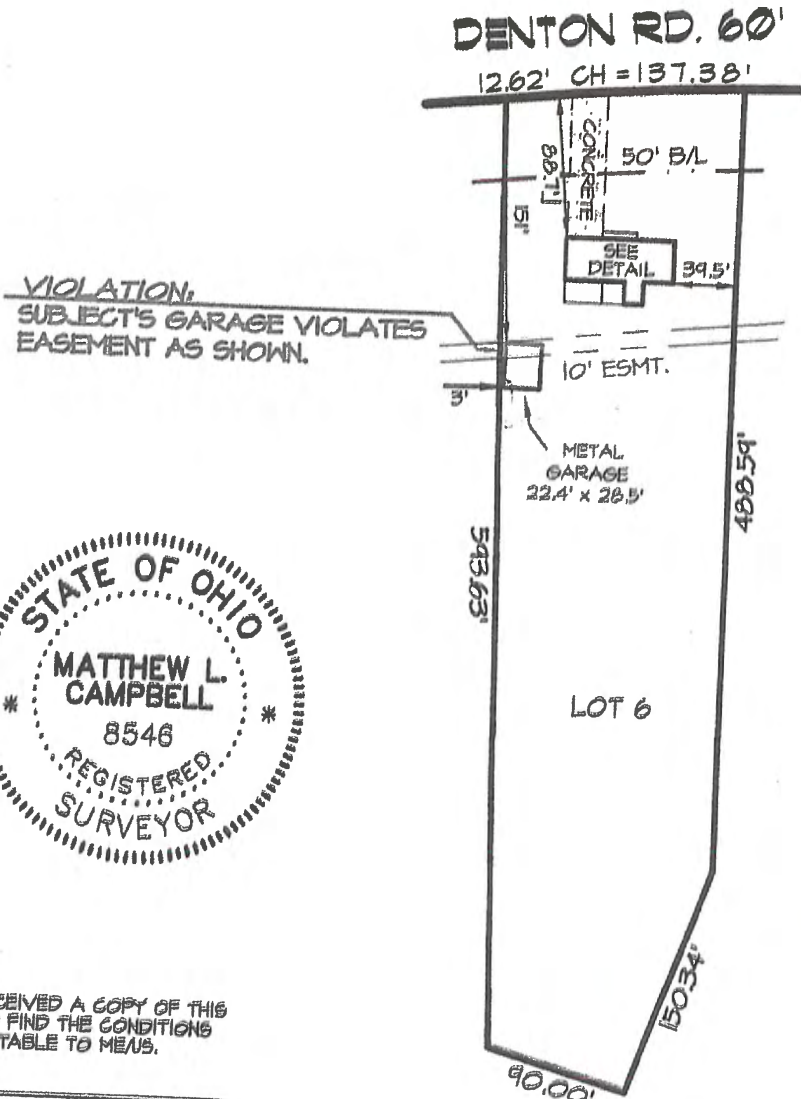
_____ moves that the basis for denying the applicant's request for the Variance from Section 512.02(2) of the Franklin County Zoning Resolution as outlined in the request above for the applicant identified in Case No. VA-3954 results from the applicant's failure to satisfy the criteria for granting a Variance under Section 810.041.

Seconded by: _____

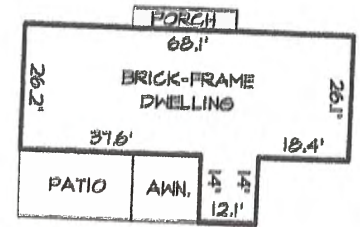
Voting:



MORTGAGE LOCATION SURVEY



VIOLATION:
SUBJECT'S GARAGE VIOLATES
EASEMENT AS SHOWN.

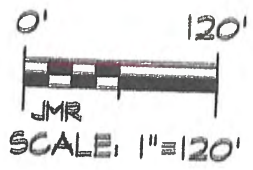


DETAIL 1" = 40'



WE HAVE RECEIVED A COPY OF THIS SURVEY AND FIND THE CONDITIONS ACCEPTABLE TO ME/US.

BUYER/OWNER



Address 5231 Denton Road

State of Ohio, County of Franklin

City of Orient, Ohio

Previous Owner John A Whittaker and Gwen J Whittaker

Hillcrest Acres

Plat Book 25 Page 47

Client Order No. 77153202

Date November 13, 2018

Present Owner Jerrie L Schwendeman

C & A Order No. CO153870

This is to certify to The Huntington National Bank and/or Valmer Land Title Agency, LLC







As a result of a visual inspection of the property and buildings shown (if any) has been made and there are no apparent encroachments or visible easements unless otherwise shown. This service was not performed for the purpose of establishing boundary lines, and is not to be used for that purpose.

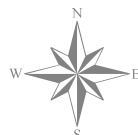
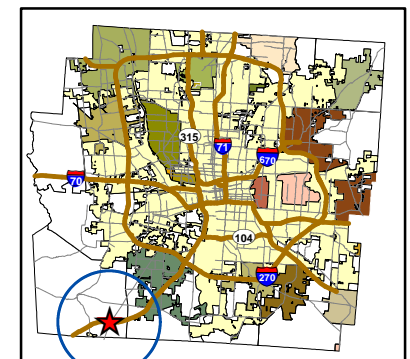
This Mortgage Location Survey has been prepared in accordance with Chapter 4733-38, Ohio Administrative Code, and is not a boundary survey pursuant to Chapter 4733-37, Ohio Administrative Code.

CU-3954

Requesting a Variance from Section 512.02(2) of the Franklin County Zoning Resolution to allow the expansion of an accessory building that fails to meet the accessory building setback requirement in an

Acres: 1.95
Township: Pleasant

-  Floodway
-  100 Year Floodplain
-  Big Darby Creek Setback
-  5231 Denton Rd
-  Streets
-  Parcels



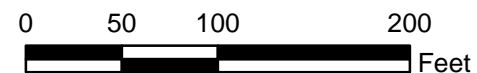
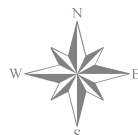
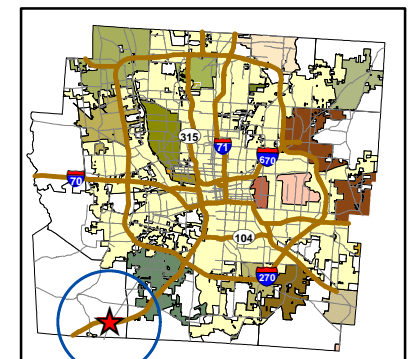


CU-3954

Requesting a Variance from Section 512.02(2) of the Franklin County Zoning Resolution to allow the expansion of an accessory building that fails to meet the accessory building setback requirement in an

Acres: 1.95
Township: Pleasant

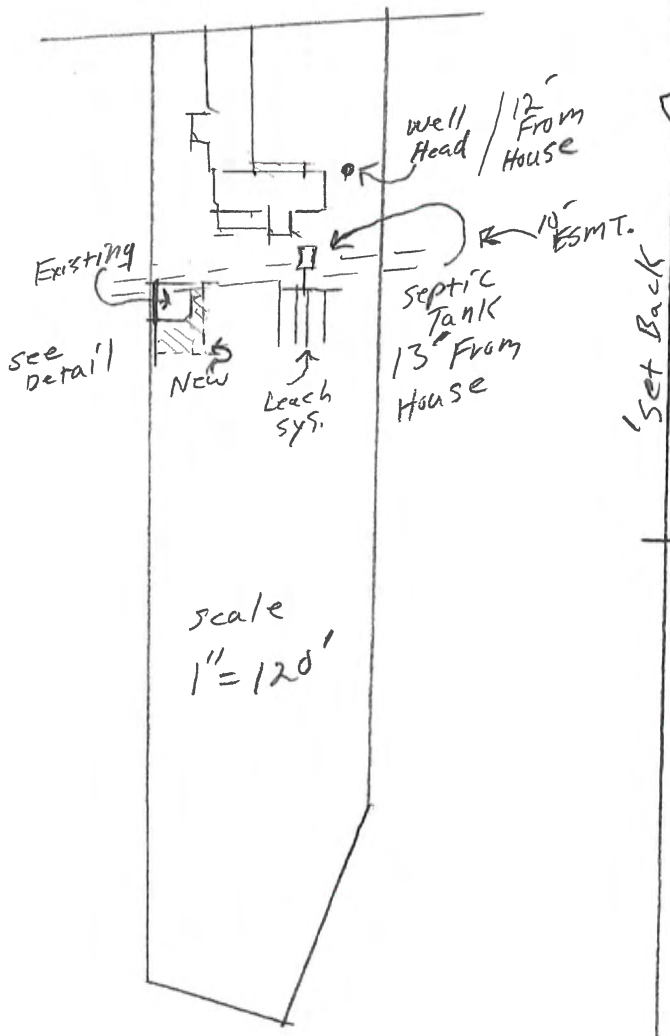
-  Big Darby Creek Setback
-  5231 Denton Rd
-  Streets
-  Parcels



Denton Road

5231 Denton Rd.

Scale $\frac{1}{8}'' = 1 \text{ ft.}$



Set Back

22' 8'

Existing Pole Barn
22' x 28'

New
Patio

3' off
Property Line

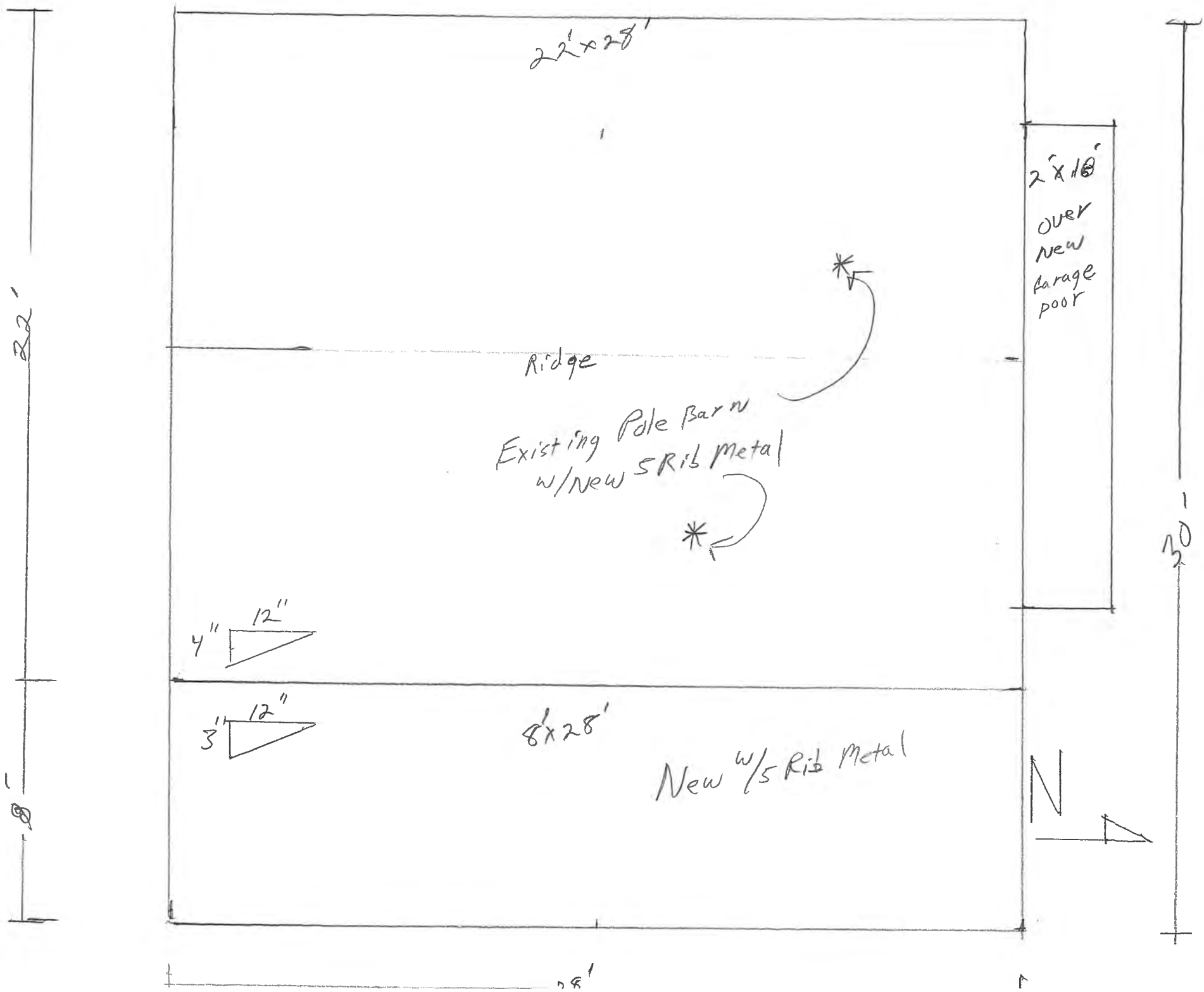
Proposed
New Pole Barn Addition
*to be Determined by Zoning Board

RECEIVED

OCT 11 2019

Franklin County Planning Department
Franklin County, OH

VA-3954



Existing Pole Barn

New

Existing Truss

Existing Post

New 2x6" Rafter's 4' o.c.
w/ 2x4" Perlin 2' o.c.

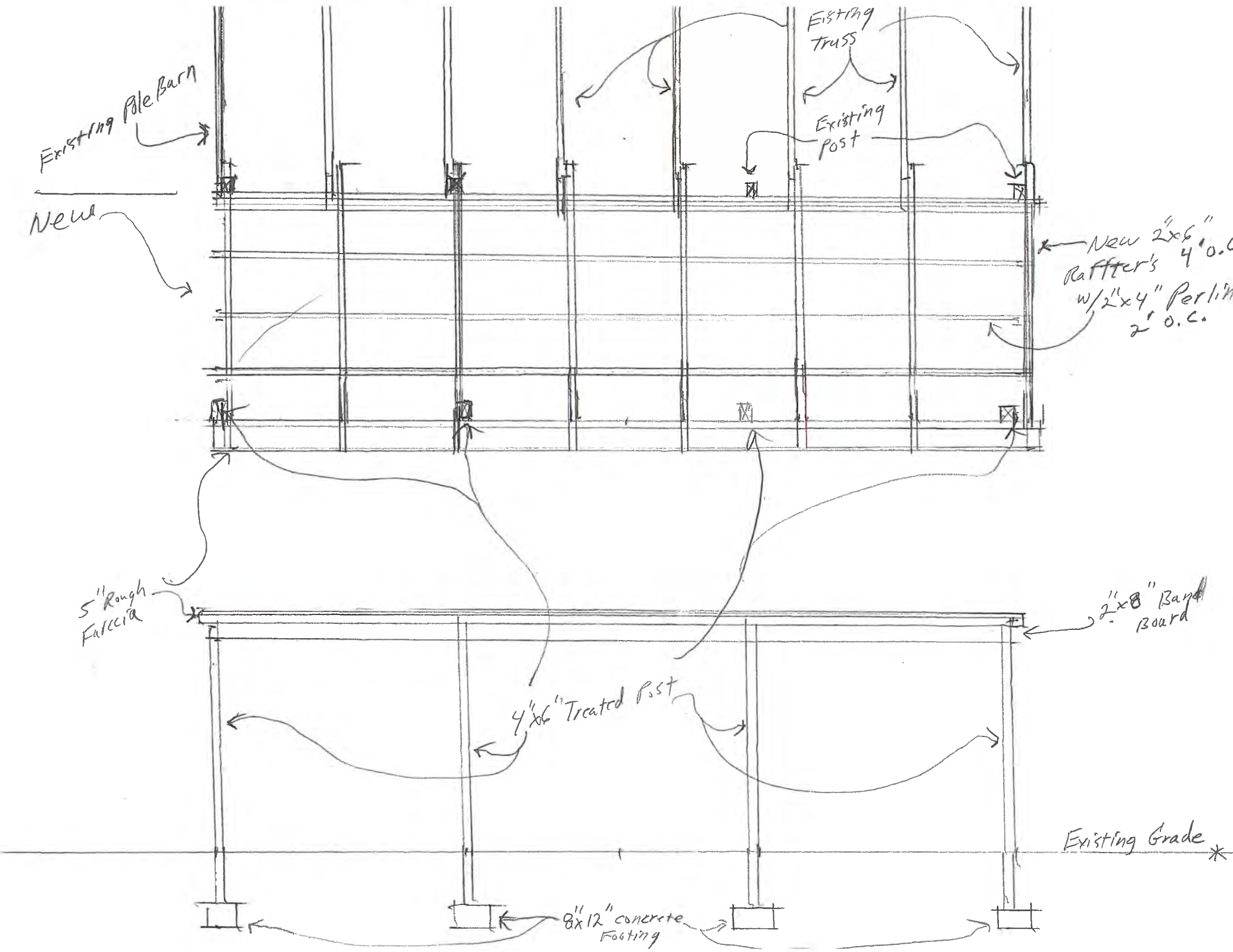
5" Rough Fascia

2x8" Board

4x6" Treated Post

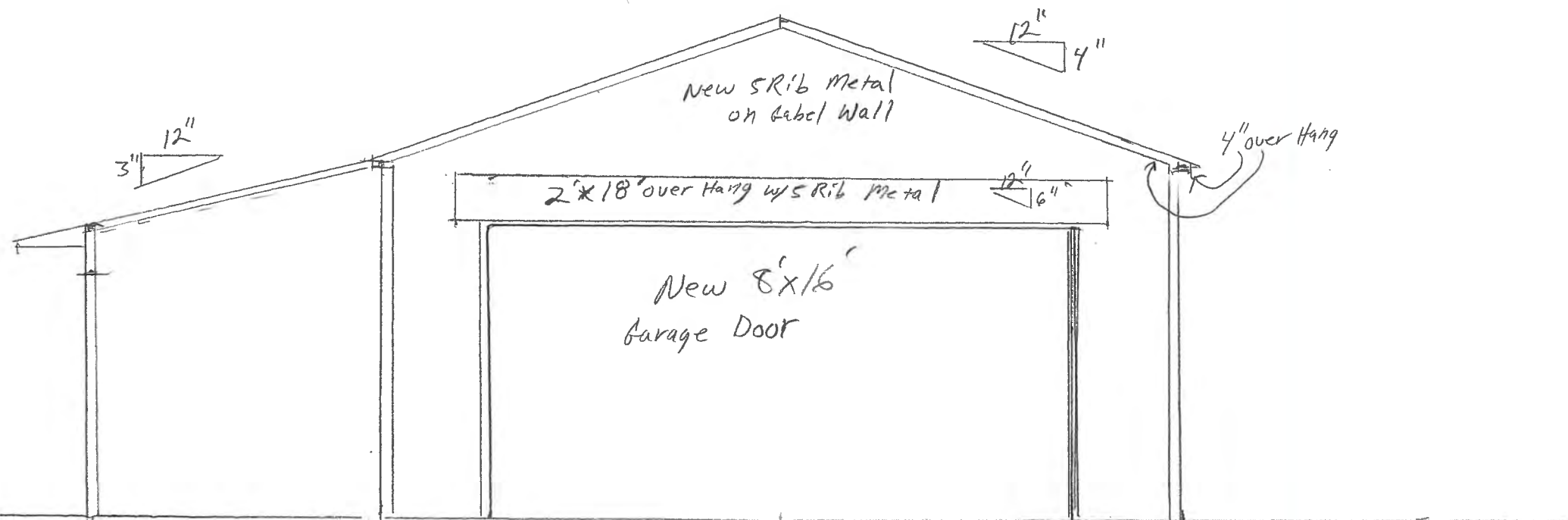
Existing Grade *

8x12" concrete Footing



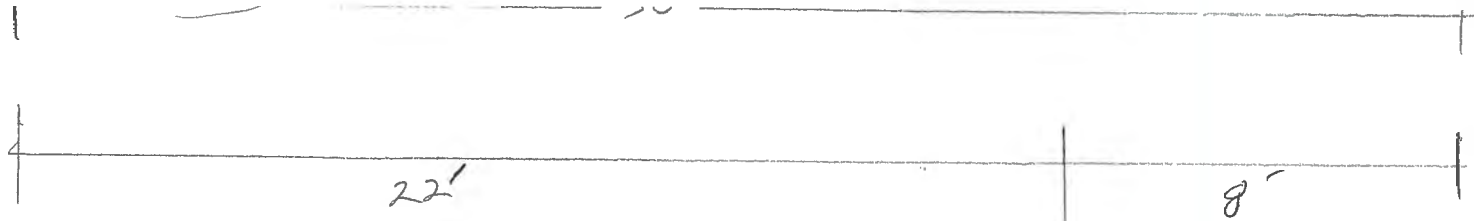
30'

8' New Patio Cover
22' Existing Pole Barn

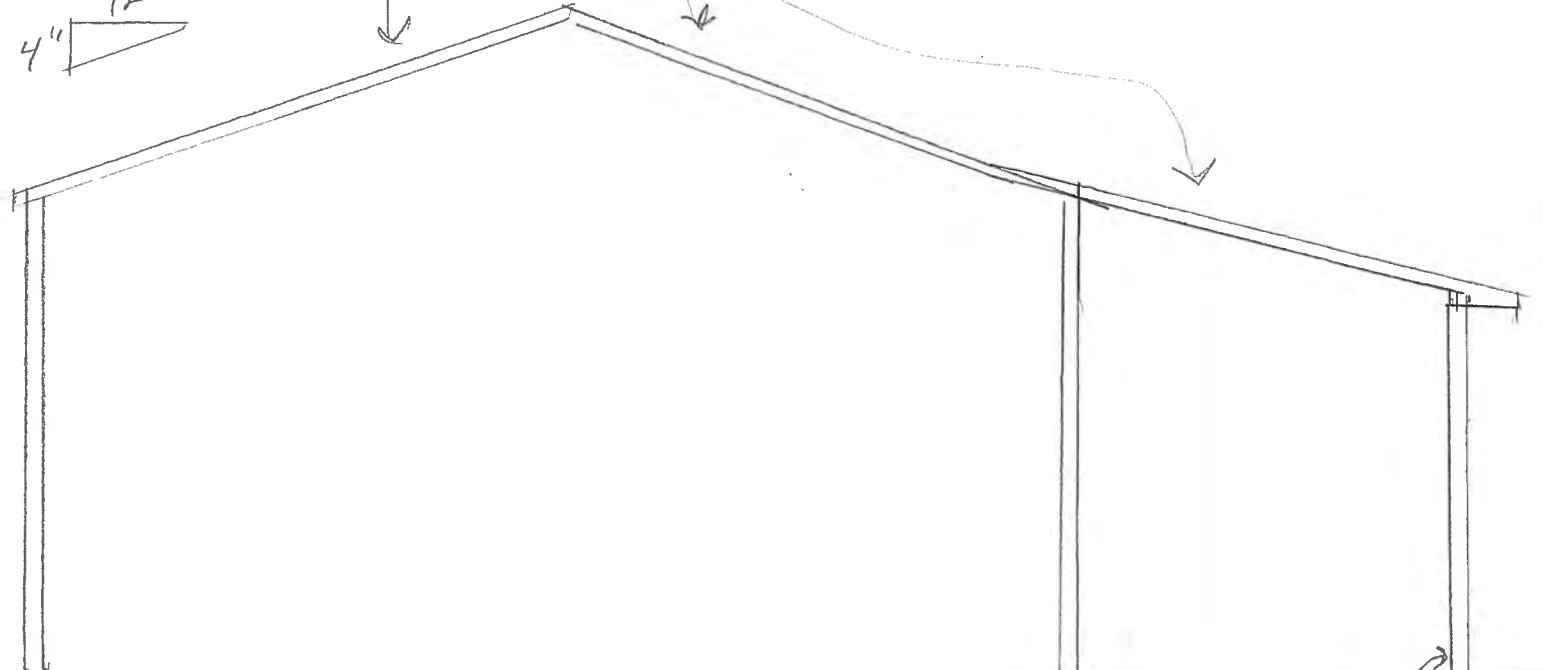
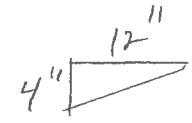


North Wall

* Existing gravel Drive w/new *
* 57 crushed lime stone topping



New 5 Rib Metal



South Wall

4"x6" treated Post

8"x12" concrete Footing 20" Below grade

28' Existing Pole Barn



14' From Existing
Grade



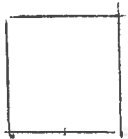
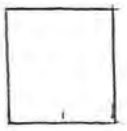
New 2x18'
over 1/5 Rib metal



* New 5 Rib Metal
on Roof and Wall

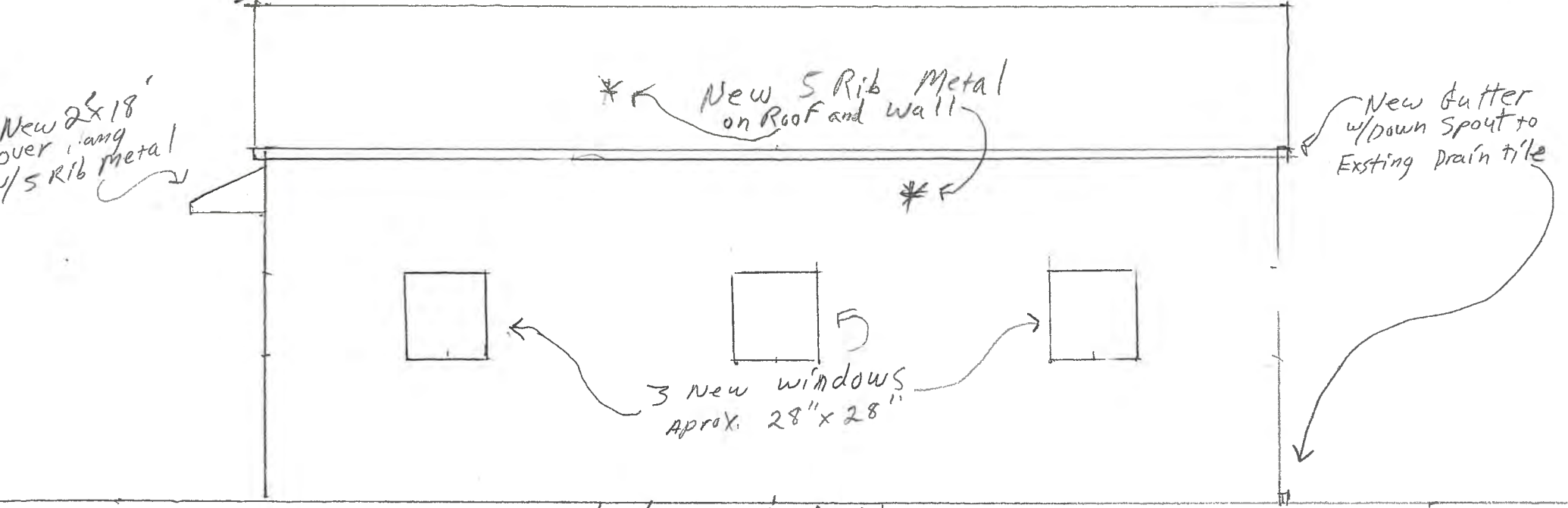
* ←

New Gutter
w/Down Spout to
Existing Drain tile

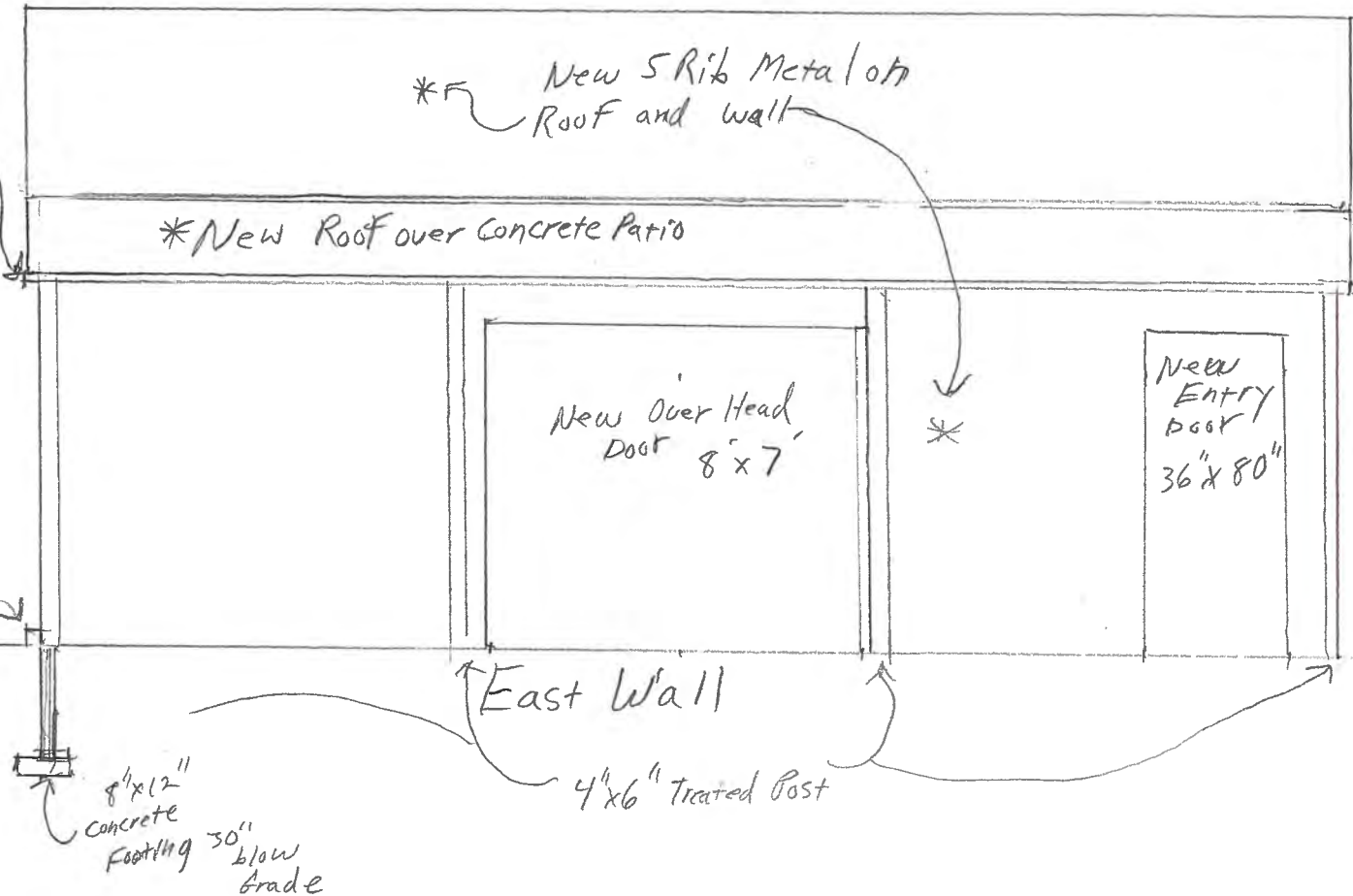


3 new windows
Approx. 28" x 28"

West Wall



28' Existing Pole Barn w/new Patio



New Gutter w/down Spout to Existing drain tile

* New 5 Rib Metal on Roof and wall

* New Roof over Concrete Patio

New 2' x 18' Over Hing w/5 Rib Metal

New Over Head Door 8' x 7'

New Entry Door 36" x 80"

Existing Grade

East Wall

8' x 12" concrete Footing 30" below grade

4" x 6" Treated Post

Franklin County Economic Development
and Planning
150 South Front Street
FSL, Suite10
Columbus, Ohio 43215-7104

To Whom it may concern,

Neighbors, John and Gwen Whittaker residing at 5321 Denton Rd.
Orient, Ohio 43146 are requesting a zoning variance.

This request is to build an addition to the existing pole barn less than 10
feet from the property line, adjacent to the one that is there. This addition
will be 24 X 30 feet.

This addition would not be detrimental to our neighborhood but in fact, an
asset.

Sincerely,

Daniel Piccinini 10/29/19

Dan Piccinini
5253 Denton Rd.
Orient, Ohio 43146

To Whom it may concern in reference
to the pole barn addition located at
5231 DENTON ROAD, ORIENT, OH. 43146

Pertaining to the addition to
our neighbor's pole barn located at
5231 DENTON ROAD, my wife and I,
Stella L. Ball and Michael A. Ball have
no objections to the addition to
the existing roof line and the space
that John and Gwen Whittaker have
requested.

Allowing the addition to be approved
as planned, will have a more appealing
appearance than in the original condition.

Stella and Michael Ball are 100%
in approval of the addition to the
existing pole barn.

Address 5225 DENTON Rd
ORIENT, OH. 43146
614-877-3773

Years at this address 42 yrs.

Michael A. Ball

Michael A. Ball

Stella L. Ball

Stella L. Ball

October 14, 2019

Franklin County Economic Development
and Planning
150 S. Front St.
Columbus, OH. 43215

11/10/2019

In regards to my neighbors, Mr. & Mrs. Whitaker,
at 5321 Denton rd. Orient, OH. and their desire to add
to their existing barn; I, Damon Dickerson 7373 Stahl rd.
Orient, OH. Have no objection to their plans to do so.
It will have no adverse affect to any of the surrounding
properties and can only add to the desirability of the
neighborhood.

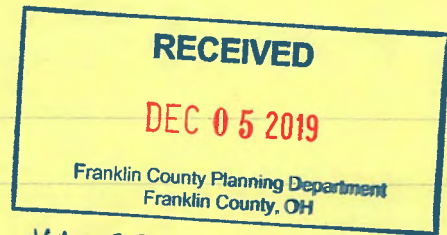
Sincerely,

Damon Dickerson

7373 Stahl Rd.

Orient, OH. 43146

To whom it may concern
in regards to VA-3954,



VA-3954

I would like the Franklin County Board of Commissioners and all involved with the zoning board to know that I am in favor of the building expansion project of John & Gwen Whittaker at 5231 Denton Rd. Orient, OH. It will only serve to add to the aesthetic quality of the neighborhood and increase our overall property value of the surrounding area.

Furthermore I would like to add that I have absolutely no problem with any of my neighbors doing whatever they want to their own property for whatever reason they see fit to do it.

Please, by all means, grant the variance (VA-3954) to John Whittaker.

Sincerely,

Damon Dickerson

7373 Stahl Rd.

Orient, OH. 43146

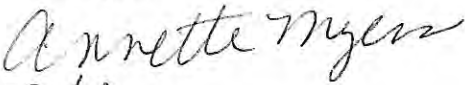
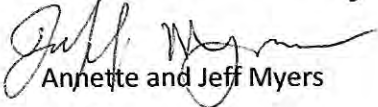
614-315-4359

Nov 6, 2019

Dear Franklin County Board of Zoning:

This letter is to affirm support for Gwen and John Whittaker's request to add-on to the existing structure that sits behind their house. As neighbors, we all benefit from improvements made in our neighborhood. The Whittaker's not only have the right to make their desired improvements but the support and blessing of several other neighbors who live on Denton road. I ask that you allow them to proceed with improvements and addition to their structure.

Thank you,



Annette and Jeff Myers

5282 Denton Rd

Orient, Ohio 43146

STAFF REPORT

Board of Zoning Appeals
December 16, 2019

Case: VA-3955

Prepared by: Brad Fisher

Owner:	James Stevenson
Applicant:	Alec Land
Agent:	Kimberly Land
Township:	Madison Township
Site:	7000 Lithopolis Rd. (PID #180-000382)
Acreage:	130.52-acres
Request:	Requesting a Variance from Section 302.042 of the Franklin County Zoning Resolution to allow the creation of a lot that would not meet the minimum lot width requirement in an area zoned Rural.

Summary

The applicant is requesting a Variance from Section 302.042 of the Franklin County Zoning Resolution to allow the creation of a lot that would not meet the minimum lot width requirement in an area zoned Rural. The request satisfies the criteria necessary for granting a Variance. Staff recommends **conditional approval**.

Request

The subject site is currently landlocked, developed with a single-family home that was built in 1918 and located between Groveport Road and Lithopolis Road in Madison Township. The request is to split 9.842-acres from the 130.52-acre parcel with the intention of deeding the 9.842-acre lot to the adjacent parcel to the east. The 9.842-acres and the adjacent lot to the east are located in different taxing districts which does not allow for the lots to be combined.

Surrounding Zoning and Land Use

The subject site and lots to the north, west and southwest are zoned Rural in Madison Township. Land to the north and west are part of the Walnut Woods Metropark. Land to the southwest is developed with very low-density residential and agricultural uses. Land to the east and southeast are zoned Low-Density Residential in the City of Canal Winchester and developed with single-family homes, schools and the Walnut Creek Park.

Comprehensive Plan

The Blacklick-Madison Area Plan, adopted in 2011, includes a Future Land Use Map that recommends the subject site for parks and open space. A stream buffer is also recommended over Little Walnut Creek, which crosses the site.

Staff Review

Variance from Section 302.042 – Minimum Lot Width:

- A lot shall have access to and abut on an improved, dedicated, publicly maintained street right-of-way for a distance of at least 150 feet.
 - The proposed 9.842-acre lot would have no road frontage.
 - A variance is required to reduce the required road frontage from 150 feet to zero (0) feet.

Technical Review Agencies

No agencies have any concerns with the request.

Staff Analysis

The Franklin County Zoning Resolution identifies five (5) criteria in Section 810.041 that must be satisfied to approve a variance request.

- 1) *Special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district;*
 - » The applicant indicated that this is a special circumstance because the area to be split is bound by a stream to the north, west and south and only accessible from the applicants' property.
 - » Additionally, adjacent properties in different taxing districts is unique and prevents the combination of properties. If the properties could be combined, no variance would be needed.
- 2) *A literal interpretation of the provisions of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Zoning Resolution;*
 - » There are nearby lots that are landlocked which gain access from adjacent properties that front along a publicly maintained roadway. These lots are located in the same taxing district and could be combined if necessary, unlike the subject site and adjacent lot.
- 3) *The special conditions and circumstances do not result from the action of the applicant;*
 - » The subject site and adjacent property being located in different taxing districts, preventing the combination of properties is not a result from any action of the applicant.
- 4) *Granting the variance requested will not confer on the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District;*
 - » The existing 130.52-acre site is currently land locked. The request will create one more landlocked parcel, however the applicant has the only functional access to the site without building a stream crossing.
 - » Staff does not believe a special privilege would be granted in this case.
- 5) *Granting the variance will not adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare or injurious to private property or public improvements in the vicinity;*
 - » Staff believes the proposed lot split will have no impact on the health or safety of the community or be materially detrimental to the public welfare.
 - » The applicant acknowledged that the site is located in the floodplain and that development is not supported in this area.

Recommendation

Staff's recommendation is that the BZA **conditionally approve** a Variance from Section 302.042 of the Franklin County Zoning Resolution to allow the creation of a lot that would not meet the minimum lot width requirement in an area zoned Rural. The conditions are as follows:

1. The applicant must apply for and receive approval of a Lot Split application from the Franklin County Economic Development and Planning Department.
2. The applicant must deed the 9.842-acre lot to parcel number 184-001332 within one year of receiving approval of the lot split.

Resolution

For your convenience, the following is a proposed resolution:

Proposed Resolution for Request:

_____ moves to approve a variance from Section 302.042 of the Franklin County Zoning Resolution as outlined in the request for the applicant identified in Case No. VA-3955 with the conditions recommended by Staff.

Seconded by: _____

Voting:

Findings of Fact

For your convenience, the following are proposed findings of fact:

If the resolution fails for lack of support, the following are proposed findings of fact for adoption by the BZA:

_____ moves that the basis for denying the applicant's request for the variance from Sections 302.042 of the Franklin County Zoning Resolution as outlined in the request for the applicant identified in Case No. VA-3955 results from applicant's failure to satisfy the criteria for granting a variance under Section 810.041.

Seconded by: _____

Voting:

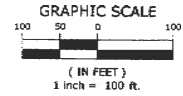
PLAT OF SURVEY

9.842 ACRES

SITUATED IN THE
SOUTHEASTERLY QUARTER OF
SECTION 26, TOWNSHIP 11, RANGE 21
CONGRESS LANDS (MATTHEWS SURVEY)
MADISON TOWNSHIP, FRANKLIN COUNTY, OHIO

NORTHERLY LINE OF THE S.W. 1/4
OF SECTION 26
ORIGINAL $\frac{1}{2}$ OF GROVEPORT ROAD

REFERENCE POINT
9.842 ACRE TRACT
N.E. COR. OF THE S.W. QTR.
OF SECTION 26
ALUMINUM DISK IN CONC.
FRANKLIN CO. GEODETIC SURVEY
MONUMENT #3307 (FCGE 3307)
3" NORTH OF NORTH E/P



BASIS OF BEARINGS:

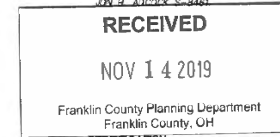
BEARINGS SHOWN HEREON ARE BASED ON A BEARING OF SOUTH 41° 34' 31" WEST FOR THE EASTERLY LINE OF THE SOUTHEASTERLY QUARTER OF SECTION 26 AS DERIVED FROM GPS OBSERVATIONS, BEING THE OHIO STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (CORS 96).

NOTES:

1. ALL PERTINENT DOCUMENTS USED FOR THIS BOUNDARY SURVEY ARE AS SHOWN HEREON.
2. IN GENERAL, ALL EVIDENCE OF OCCUPATION FOUND ALONG BOUNDARY LINES AGREES WITH THE LINES CITED IN THE DEEDS.

LEGEND:

- IRON PIN FOUND
- MONUMENT FOUND
- 5/8" X 30" IRON PIN SET W/PLASTIC CAP INSCRIBED JON B. ADCOCK S-8461



CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAT OF SURVEY IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED IN JANUARY 2019 AND MEETS ALL OF THE REQUIREMENTS FOR A BOUNDARY SURVEY AS SET FORTH IN THE OHIO ADMINISTRATIVE CODE CHAPTER 4733-37.

Jon B. Adcock 8461 1/19/19
JON B. ADCOCK, Ohio P.S. No. Date:

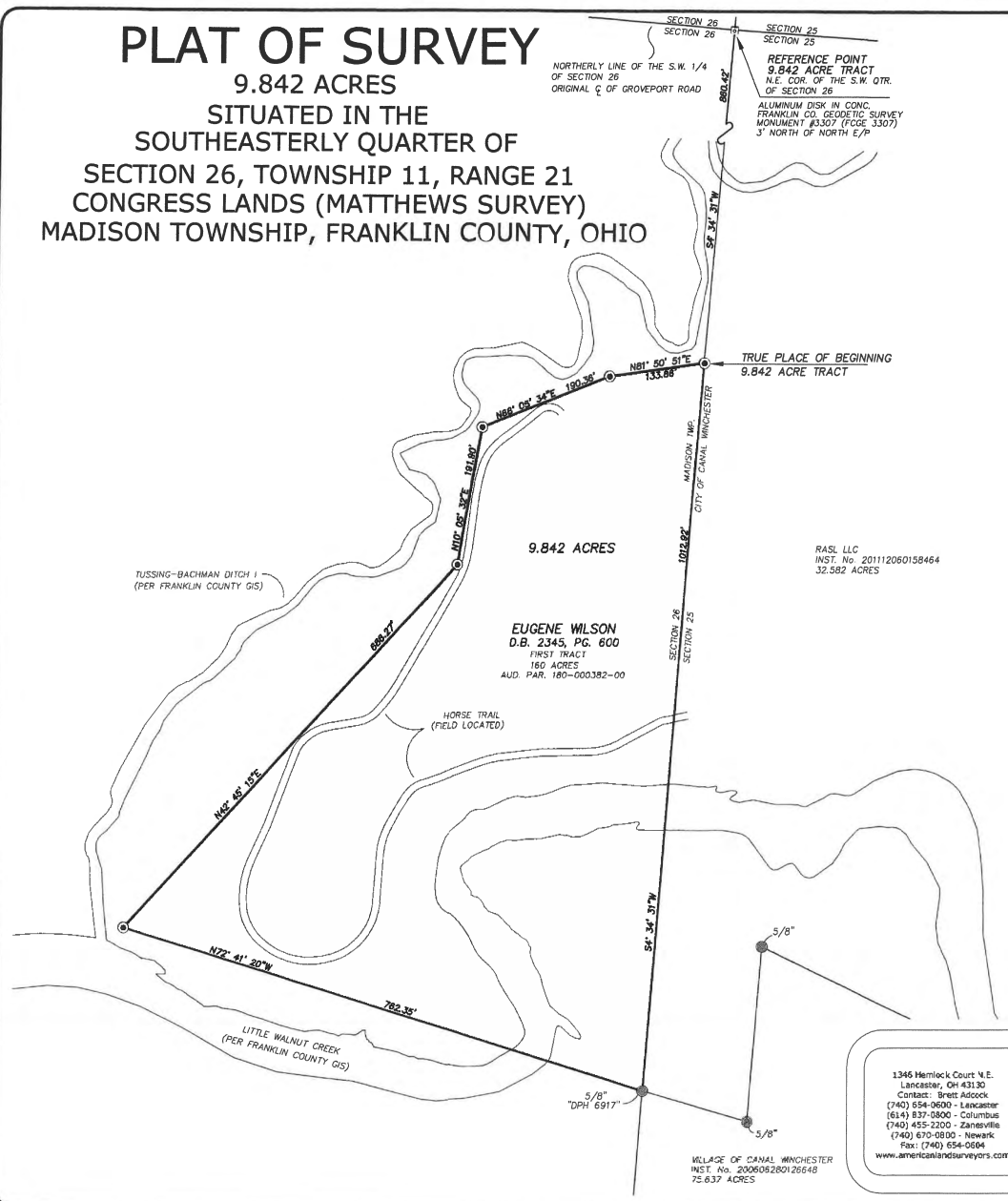


1346 Hemlock Court N.E.
Lancaster, OH 43130
Contact: Brett Adcock
(740) 654-0600 - Lancaster
(614) 837-0800 - Columbus
(740) 455-3200 - Zanesville
(740) 670-0800 - Newark
Fax: (740) 654-0604
www.americanlandsurveyors.com



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on
Excellence

FIELD	DRAFT	CHECK
JBA	JBA	JBA
JOB NO.:	19-003	
DATE:	JANUARY 24, 2019	
SCALE:	1"=100'	

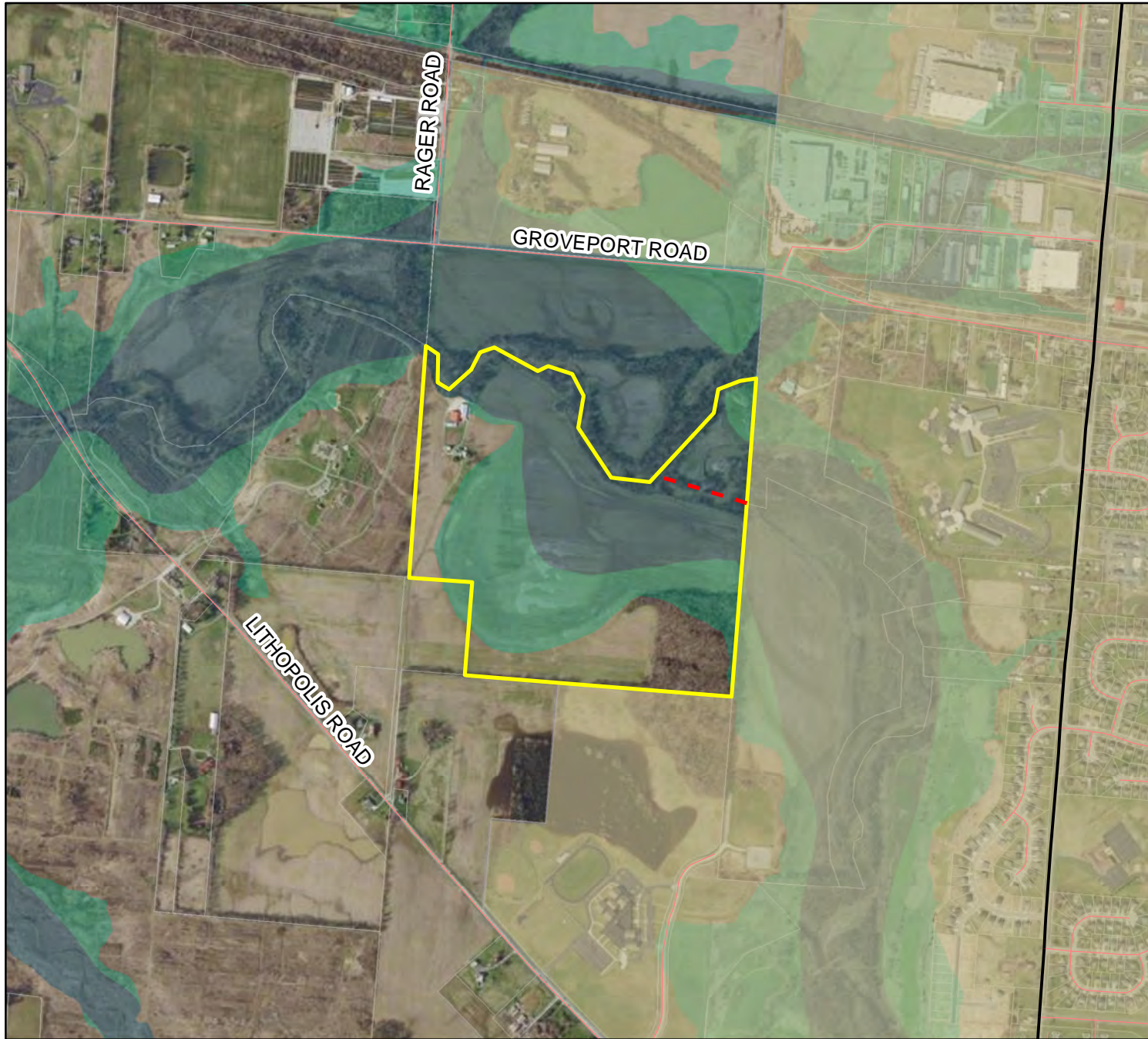


WILLAGE OF CANAL WINCHESTER
INST. No. 200608280126648
75.637 ACRES

RASL LLC
INST. No. 201112060158464
32.582 ACRES

9.842 ACRES
EUGENE WILSON
D.B. 2345, PG. 600
FIRST TRACT
160 ACRES
AUD. PAR. 180-000382-00







VA-3955

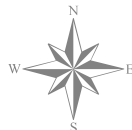
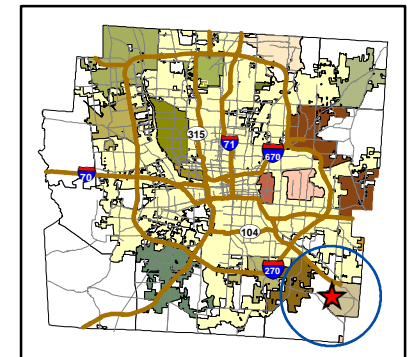


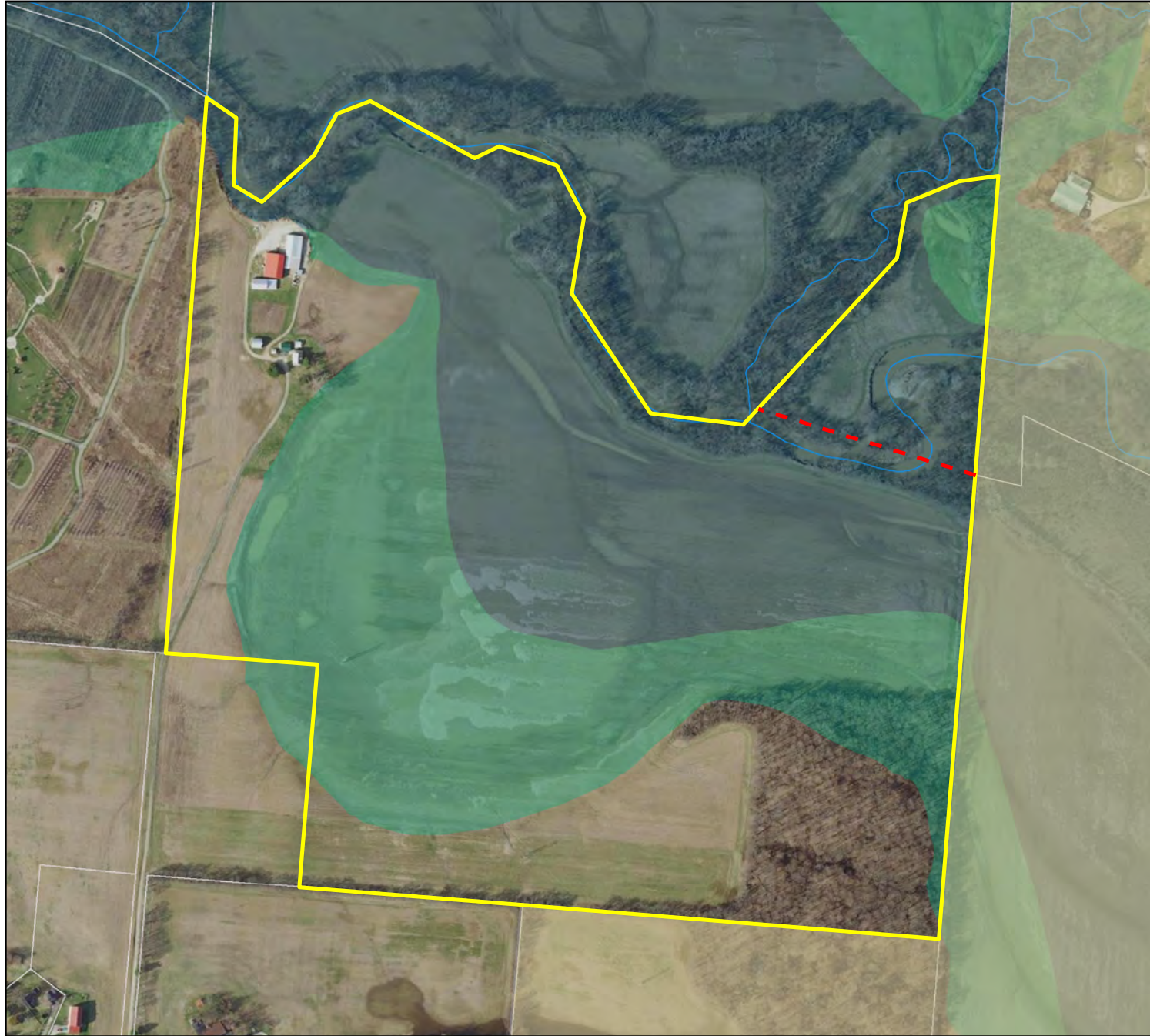
VA-3955

Requesting a Variance from Section 302.042 of the Franklin County Zoning Resolution to allow the creation of a lot that would not meet the minimum lot width requirement in an area zoned Rural.

Acres: 130.52
Township: Madison

-  7000 Lithopolis Road
-  Streets
-  Parcels
-  Floodway
-  Floodway Fringe
-  Canal Winchester









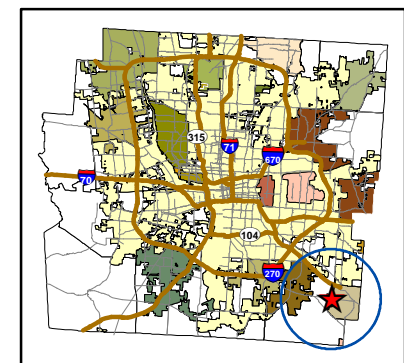


VA-3955

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Acres: 130.52
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-  7000 Lithopolis Road
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-  Floodway
-  Floodway Fringe
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STAFF REPORT

Board of Zoning Appeals
December 16, 2019

Case VA-3956

Prepared by: Brad Fisher

Owner/Applicant:	Sedalia Drive LLC
Agent:	Isaac Wiles – Thomas Hart
Township:	Madison Township
Site:	3425-3431 Olde Cape East (PID #180-004671)
Acreage:	5.56-acres
Zoning:	Suburban Apartment Residential (R-24) and Community Service (CS)
Utilities:	Districts Public water and sewer
Request:	Requesting Variances from Section 610.081(1) of the Franklin County Zoning Resolution and Sections 4.1-2(1), 4.1-2(3) and 4.2-1(A(1)) of the Franklin County Special Resolution NFIP Regulation to allow for construction of an apartment building in the floodplain that fails to meet elevation requirements and will be built with materials that are not resistant to flood damage.

Summary

The applicant is requesting Variances to allow for construction of an apartment building in the floodplain that fails to meet elevation requirements and will be built with materials that are not resistant to flood damage. The request does not satisfy all criteria necessary for granting the variances. Staff recommends ***denial*** of a Variance to Section 610.081(1) of the Franklin County Zoning Resolution. Staff recommends ***denial*** of a Variance from Sections 4.1-2(1), 4.1-2(3) and 4.2-1(A(1)) of the Franklin County Special Resolution NFIP Regulation.

Description of the Request

The subject site is located on the north side of the Sedalia Drive and Latonia Road intersection in Madison Township. The site includes 14 garden style apartment buildings and an office that were built in 1971. The applicant is proposing to replace a garden style apartment that was damaged by fire and subsequently removed. The proposed apartment building would be 4,672 square feet in size, include 8 units, and be centrally located on the property just south of the northern parking lot. The proposed construction is entirely located in the regulatory floodplain. The owner began reconstruction of the building before applying for a Certificate of Zoning Compliance and NFIP permit.

Surrounding Land Use/Zoning

The subject site and all surrounding properties are located in Madison Township. The subject site is split zoned as Suburban Apartment Residential (R-24) and Community Service (CS). The property to the west is developed with a small shopping center that is anchored by a Family Dollar store and zoned Community Service (CS). The properties to the north, east and south are developed as medium-density residential and zoned Urban Residential (R-12).

Area Plan

The Blacklick-Madison Area Plan, adopted in 2011, includes a Future Land Use Map that recommends the site for a limited range of commercial uses and multi-unit residential development. Another recommendation is to limit and mitigate floodplain development. The Plan's Vision for Healthy Living recommends that when a proposal requires approval from a decision making Board, the applicant must provide information on how they will offset lost storage capacity.

The request keeps with the recommended multi-unit residential use of the property. The proposed development is on the same footprint as the structure that previously existed on the site and therefore does not further reduce flood storage capacity.

Staff Review

Franklin County Zoning Resolution

Variance from Section 610.081(1) – Buildings and Structures in the Floodplain:

- Buildings shall not be permitted with flood levels below the base flood elevation (BFE). The lowest floor, including basement, shall be at least 1 foot plus floodway computations increases above the base flood elevation.
 - The BFE is 755.9 feet above sea level (ASL) and the floodway computation increase for the property is 0.5 feet. This means that the lowest floor, including basement, must be at or above 757.4 feet ASL.
 - The proposed building has a lowest floor elevation of 749.32 ASL.
 - A variance of 8.08 feet is required

Franklin County Special Resolution National Flood Insurance Program (NFIP) Regulation

Variance from Section 4.1-2(1) – Construction Materials and Methods:

- All new construction and substantial improvements shall be constructed with materials resistant to flood damage.
 - At the time of applying for a Zoning Compliance a list of all construction materials below the BFE was not provided and therefore it is not possible to determine what construction materials are not flood damage resistant.
 - FEMA Technical Bulletin 2 – Flood Damage Resistant Materials Requirements identifies materials resistant to flood damage.
 - The applicant has requested a variance from this requirement without identifying the specific materials being used which would fail to meet the requirement.

Variance from Section 4.1-2(3) – Construction Materials and Methods:

- All new construction and substantial improvements shall be constructed with electrical, heating, ventilation, plumbing and air conditioning equipment and other service facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.
 - At the time of applying for a Zoning Compliance it appeared as though AC units, electrical panels, electrical outlets, cable boxes, phone boxes and water heaters will be located below the BFE and no information was provided indicating that those facilities would be designed to prevent water from entering or accumulating within the components.
 - The applicant has indicated in the variance application materials that they will elevate the electric panels, furnaces, and electric, cable, and telephone outlets to above the Base Flood Elevation. Additionally, the applicant would consider raising outside electrical meter, water heaters and AC units above the BFE for the building and all units if the same would be code compliant.
 - Staff notes that if all requirements found in Section 4.1-2(3) are able to be met, no variance is needed. Updated materials would need to be included with a new Zoning Compliance application to determine the requirements have been met.

Variance from Section 4.2-1(A(1)) – Residential Construction:

- Flood protection shall be achieved by elevating the structure; the lowest floor, including basement, shall be at least 1 foot plus floodway computation increases above BFE.
 - The BFE is 755.9 feet ASL and the floodway computation increase from the property is 0.5 feet. This means that the lowest floor, including basement, must be at or above 757.4 feet ASL.
 - The proposed building has a lowest floor elevation of 749.32 feet ASL.
 - A variance of 8.08 feet is required.

Technical Review Committee Agency Review

Franklin Soil and Water Conservation District, Franklin County Drainage Engineer's Office & Franklin County Engineer's Office

Indicated no concerns with the proposed development.

Madison Township Fire Department

Not in support of the requested variances and believes the proposed development should comply with the adopted floodplain regulations.

Staff Analysis

Franklin County Zoning Resolution

Section 810.041 – Approval of Variance:

The Board of Zoning Appeals shall only approve a variance or modification thereof if all the following findings are made:

- 1) *That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same Zoning District.*
 - » The applicant indicated that the special circumstance is that the location of the subject apartment building will be constructed is on the existing building foundation that was built in 1971 and to relocate the foundation and building are not economically feasible.
 - » Staff does not believe that the pre-existing foundation warrants the reconstruction of an apartment building in a manner that will not protect residents of the building during a flood event. There are no special conditions or circumstances that would have prevented the owner from elevating the structure on its existing footprint.
- 2) *That a literal interpretation of the provisions of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Zoning Resolution.*
 - » The applicant indicated that there are 14 other apartment buildings on the subject site and residential development on adjacent properties with a similar floodplain elevation, and to deny this request would deprive the applicant of rights commonly enjoyed by others.
 - » The applicant further indicated that flood protection methods have been addressed and include the installation of 20 flood vents in the foundation and the electric panels, furnaces and all utility outlets inside the unit are proposed to be relocated above the BFE.
 - » Staff notes that the development of the site and surrounding area pre-dated floodplain development standards and if any non-conforming structures were substantially damaged or substantially improved then the (re)construction would be required to comply with current standards.
- 3) *That the special conditions and circumstances do not result from the action of the applicant.*
 - » The applicant indicated that the building suffered fire damage and was demolished. The intent is to reconstruct the building as it was previously constructed, which was prior to the adoption of the floodplain regulations.
 - » The applicant's stated special circumstance of the building being constructed on the original footprint does not preclude the property owner from properly elevating the structure. Staff notes that the building has been partially erected prior to receiving approval of a Zoning Compliance. If the

property owner had applied for the proper permitting prior to initiating construction the current deficiencies could have addressed.

- 4) *That granting the variance requested will not confer on the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.*
 - » The applicant indicated that the request is only to replace the building that was damaged in its previous location, which would not grant a special privilege.
 - » Staff believes that approving the request would set a precedent for allowing the reconstruction of a non-conforming structure in the floodplain when no special circumstance has been identified which would make compliance with development standards impracticable.
- 5) *That granting the variance will not adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.*
 - » The applicant does not believe that the variances requested would have any adverse impacts as an apartment building previously existed in this location. The new building would include flood mitigation elements that were not part of the old building. Those improvements include the installation of flood vents in the existing foundation, locating furnaces in the attics, raising electrical panels, and raising electric, phone, and cable outlets above the BFE inside each unit.
 - » The applicant indicated that they would consider additional mitigation steps which would include raising the outside electrical meters, water heaters and A/C units above the BFE for the building and all units if such actions would be code compliant.
 - Staff notes that if the proposed improvements were made the variance to Section 4.1-2(3) of the NFIP Regulation would not be required.
 - » Staff believes that granting the Variance will allow the construction of an 8-unit apartment building to be at risk of substantial damage from flooding that could negatively impact future residents and set a precedent to allow for at risk development. Aside from the property damage that would occur to the apartment building based on using non-flood damage resistant materials and elevating the structure, the proposal will negatively impact the safety of future residents and cause damage to their personal property. If approved, the units could have up to 2.2 feet of flood water inside the apartment units during a 100-year flood event.

Special Resolution National Flood Insurance Program (NFIP) Regulation

Section 3.5-2(5) – Approval of Variance:

The Board of Zoning Appeals shall only approve a Variance or modification thereof if all the following findings are made:

- 1) *A showing of good and sufficient cause;*
 - » The applicant indicated that the foundation location and structure remains unchanged and only the structure above the foundation is being rebuilt. Steps are being taken to mitigate from flood damage. Mitigation from flood damage was not taken into consideration when the previous building was constructed.
 - » Staff does not believe that there is good and sufficient cause to allow a structure that was torn down to its foundation to not meet all floodplain standards.
- 2) *A determination that failure to grant the variance would result in exceptional hardship due to the physical characteristics of the property. Increased cost or inconvenience of meeting the requirements of these regulations does not constitute an exceptional hardship to the applicant;*
 - » The applicant indicated that the physical characteristics of the property, the age and location of the existing foundation means raising the foundation level is not financially feasible. Failure to grant the variance will cause a total market value loss estimated at \$432,000, a loss of the proceeds of insurance replacement value of \$869,362, the loss of future rents and incurred costs for the removal or remediation of the existing foundation.
 - » The potential loss of market value and therefore reduced property tax revenue to the community does not outweigh the potential negative impacts to resident safety if the variances are approved. Additionally, there are no identified physical characteristics of the property that would cause an

exceptional hardship. The applicant's identified hardship is based on increased cost of compliance which is not to be taken into consideration when reviewing variance requests.

- 3) *A determination that the granting of a variance will not result in increased flood heights beyond that which is allowed in this resolution, additional threats to public safety, extraordinary public expense, create nuisances, cause fraud on or victimization of the public as identified or conflict with existing local laws or resolutions; and,*
 - » Granting the requested variances would not result in increased flood heights.
 - » Granting the variances will result in additional threats to public safety, specifically the residents of the apartment building, and potential increases to public expenses. Such public expense increases may be at the local level for emergency services and at the national level associated with increased flood insurance program payouts.
- 4) *A determination that the structure or other development is protected by methods to minimize flood damages.*
 - » Methods have been identified that could minimize flood damage, however not elevating the building above the BFE would allow for significant damage to the structure in a flood event.

Recommendation

Staff recommends ***denial*** of a Variance from Section 610.081(1) of the Franklin County Zoning Resolution to allow for the construction of an apartment building in the floodplain that fails to meet elevation requirements and will be built with materials that are not resistant to flood damage. The reason for denial is that the proposal fails to satisfy the criteria of Section 810.041 of the Franklin County Zoning Resolution for granting a variance.

Staff recommends ***denial*** of a Variance from Sections 4.1-2(1), 4.1-2(3) and 4.2-1(A(1)) of the Franklin County Special Resolution NFIP Regulation to allow for the construction of an apartment building in the floodplain that fails to meet elevation requirements and will be built with materials that are not resistant to flood damage. The reason for denial is that the proposal fails to satisfy the criteria of Section 3.5-2(5) of the Franklin County Special Resolution NFIP Regulation for granting a variance.

Resolution

For your convenience, the following is a proposed resolution for the Variance request from Section 610.081(1) of the Franklin County Zoning Resolution and Sections 4.1-2(1), 4.1-2(3) and 4.2-1(A(1)) of the Franklin County Special Resolution NFIP Regulation.

Proposed Resolution for Request from Section 610.081(1) & 4.1-2(1), 4.1-2(3) and 4.2-1(A(1)):

_____ moves to approve a Variance from Section 610.081(1) of the Franklin County Zoning Resolution and a Variance from Sections 4.1-2(1), 4.1-2(3) and 4.2-1(A(1)) of the Special Resolution National Flood Insurance Program (NFIP) Regulation as outlined in the request above for the applicant identified in Case No. VA-3956.

Seconded by: _____

Findings of Fact

If the resolution fails for lack of support, the following are proposed findings of fact for adoption by the BZA:

_____ moves that the basis for denying the applicant’s request for a Variance from Section 610.081(1) of the Franklin County Zoning Resolution and a Variance from Sections 4.1-2(1), 4.1-2(3) and 4.2-1(A(1)) of the Special Resolution National Flood Insurance Program (NFIP) Regulation as outlined in the request above for Case No. VA-3956 results from the applicant’s failure to satisfy the criteria for granting a Variance under Section 810.041 of the Franklin County Zoning Resolution and Section 3.5-2(5) of the Special Resolution National Flood Insurance Program (NFIP) Regulation.

Seconded by: _____

SBA STUDIOS PROJECT #: 2018-163
3401 / 3403 / 3405 / 3407 OLDE CAPE ST. E.
5179 / 5181 / 5183 / 5185 OLDE CAPE ST. N.
 COLUMBUS, OHIO 43232
 FIRE RESTORATION

Case: VA-3956 Received: 11/14/19

INDEX OF DRAWINGS

- A0-0 COVER SHEET
- A1-0 FOUNDATION PLAN
- D1-0 EXISTING FOUNDATION PLAN
- A1-1 FLOOR PLAN
- A1-2 ROOF PLAN
- A2-1 EXTERIOR ELEVATIONS
- A3-1 WALL SECTIONS / LAY SCHEDULE
- A4-1 STRUCTURAL NOTES
- M1-1 HVAC PLAN
- M2-1 HVAC SCHEDULES AND DETAILS
- E1-1 ELECTRICAL PLAN
- E2-1 ELECTRICAL RISER AND SCHEDULES
- P1-1 PLUMBING PLAN
- P2-1 PLUMBING SCHEMATICS

CODE INFORMATION

APPLICABLE CODES:

- 2017 OHIO BUILDING CODE
- 2017 OHIO MECHANICAL CODE
- 2017 OHIO PLUMBING CODE
- 2017 NFPA 70 NATIONAL ELECTRICAL CODE

BUILDING DATA:

- TENANT SOURCE FOOTAGE: 578 S.F. (EXISTING)
- BUILDING SQUARE FOOTAGE: 4,624 S.F. (EXISTING)
- USE GROUP: R-3
- CONSTRUCTION TYPE: VB

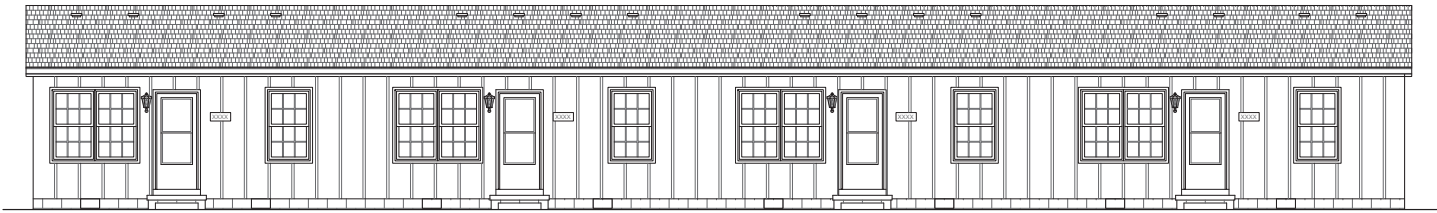
FIRE PROTECTION:

- BUILDING IS NOT EQUIPPED WITH A SPRINKLER SYSTEM

INTERIOR WALL AND CEILING REQUIREMENTS (IBC TABLE 603.11):

TEXT ENCLOSURES:

- CORRIDORS: C
- ROOMS & ENCLOSED SPACES: C



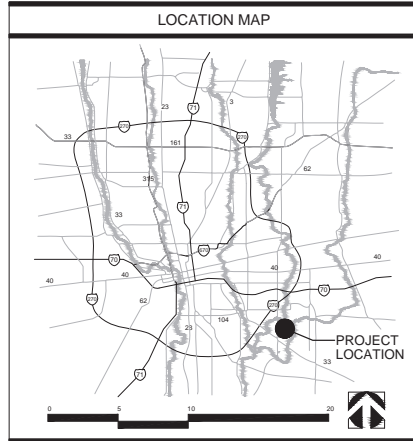
SCOPE OF WORK

REBUILD 8-UNIT FIRE DAMAGED APARTMENT. EXISTING FOUNDATION AND FLOOR FRAMING TO REMAIN

GENERAL NOTES

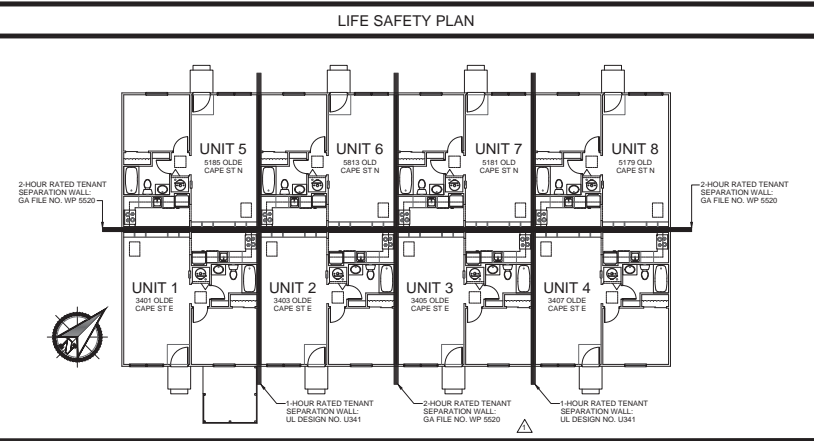
ANY CHANGES TO THESE DRAWINGS MUST BE REPORTED TO SBA STUDIOS, LLC IMMEDIATELY IN WRITING. SBA STUDIOS, LLC ASSUMES NO RESPONSIBILITY FOR CHANGES TO THESE DRAWINGS THAT ARE NOT REPORTED TO THE ARCHITECT.

#	DATE	ISSUED WITH: CHANGE DESCRIPTION
07.02.2018		REVISION #01 - REVISIONS FOR PERMIT
10.24.2018		REVISION #02 - FND / CRAWL SPACE REVISIONS
07.25.2019		REVISION #3 - HVAC REVISIONS
10.10.2019		REVISION #4 - FLOOD PLAIN MODIFICATION



GENERAL LEGEND

	EARTH		ELEVATION MARKER
	CONCRETE		SECTION CUT
	GRAVEL		COLUMN LINE
	CONCRETE BLOCK		DETAIL MARKER
	BRICK		BREAK LINE
	WOOD - ROUGH FRAMING		WALL TYPE
	WOOD - FINISHED		REVISION TRIANGLE
	RIGID INSULATION		CODED NOTE
	PLYWOOD		WINDOW TYPE
	GYPSUM WALL BOARD		ELEVATION HEIGHT
	STEEL		
	BATT INSULATION		



3401 / 3403 / 3405 / 3407 OLDE CAPE ST. E.
 5179 / 5181 / 5183 / 5185 OLDE CAPE ST. N.
 COLUMBUS, OHIO 43232
 FIRE RESTORATION
 PREPARED FOR:
ROTH CONSTRUCTION



	SCALE: VARIOUS
	SHEET # / DESCRIPTION
	COVER SHEET
DATE: 05/18/2019	
CONSTRUCTION DOCUMENTS	
SBA STUDIOS PROJECT # 2018-163	

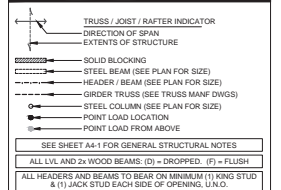
FOUNDATION CODED NOTES

- EXISTING 16" x 8" CONCRETE FOOTING TO REMAIN
- EXISTING 8" CMU FOUNDATION WALL TO REMAIN
- NEW 16" x 8" CONCRETE FOOTING W/ (2) #5 CONTINUOUS
- NEW 1-HR TENANT SEPARATION WALL, UL DESIGN NO. L041
- NEW 2-HR TENANT SEPARATION WALL, GA FILE NO. WP 5503, PROVIDE 2x6 STUDS
- EXISTING 32"x32" CONCRETE FOOTING TO REMAIN
- NEW 16" x 16" CMU PIER ON 30"x30"x12" CONC. FOOTING, SEE FOOTER REINFORCING REQUIREMENTS THIS SHEET. TOP OF CONCRETE PIER TO BE FLUSH WITH TOP OF EXG FOUNDATION. SEE 24" x 24" FLOOR ACCESS TO DRAWL SPACE.
- EXISTING 24" x 24" FLOOR ACCESS TO DRAWL SPACE, FRAME AROUND OPENING W/ (2) 2x6 (F) ALL SIDES
- NEW 16" x 12" CONCRETE FOOTING W/ (2) #5 CONTINUOUS
- PROVIDE NEW 2x8 JOISTS THIS AREA AT THIS UNIT ONLY AT DAMAGED JOIST LOCATIONS. PROVIDE JOIST HANGERS AT FLUSH BEARS.
- NEW 8" CMU FOUNDATION WALL
- EXISTING 8" CMU WALL TO BE REMOVED DOWN TO TOP OF EXG EXTERIOR FOUNDATION WALL HEIGHT. EXG FOOTER TO REMAIN
- FLOOR VENT IN EXG OPENING
- 8" x 12" x 14" FLOOR VENT IN WOOD FRAMED WALL BY SMART VENT. MODEL # 1540-570 W/ TRIM KIT CAPABLE OF 200 SQUARE INCHES FLOOD COVERAGE W/ SMART VENT FIRE DAMPER RATED FOR 2 HOURS
- NEW EXG OPENING W/ NEW 8" CMU

FIRE RATED NOTES

- SLEEVE AND FIRE STOP ALL NEW PENETRATIONS THROUGH RATED WALLS, FLOORS AND CEILINGS IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS
- WHERE 2-HR RATED WALLS INTERSECT W/ 1-HR RATED WALLS, THE 2-HR RATED WALL SHALL BE CONTINUOUS AND INTERRUPT THE 1-HR RATED WALLS.
- ALL PENETRATIONS THROUGH RATED ASSEMBLIES ARE TO BE COMPLETED IN COMPLIANCE WITH AN UL APPROVED AND TESTED PENETRATION DETAIL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE IF THE UL PENETRATION DETAIL(S) ARE COMPATIBLE, EQUAL TO OR BETTER THAN THE RATED ASSEMBLY, AND MEETS ALL REQUIREMENTS OF APPROVED UL PENETRATION DETAILS USED.

STRUCTURAL LEGEND



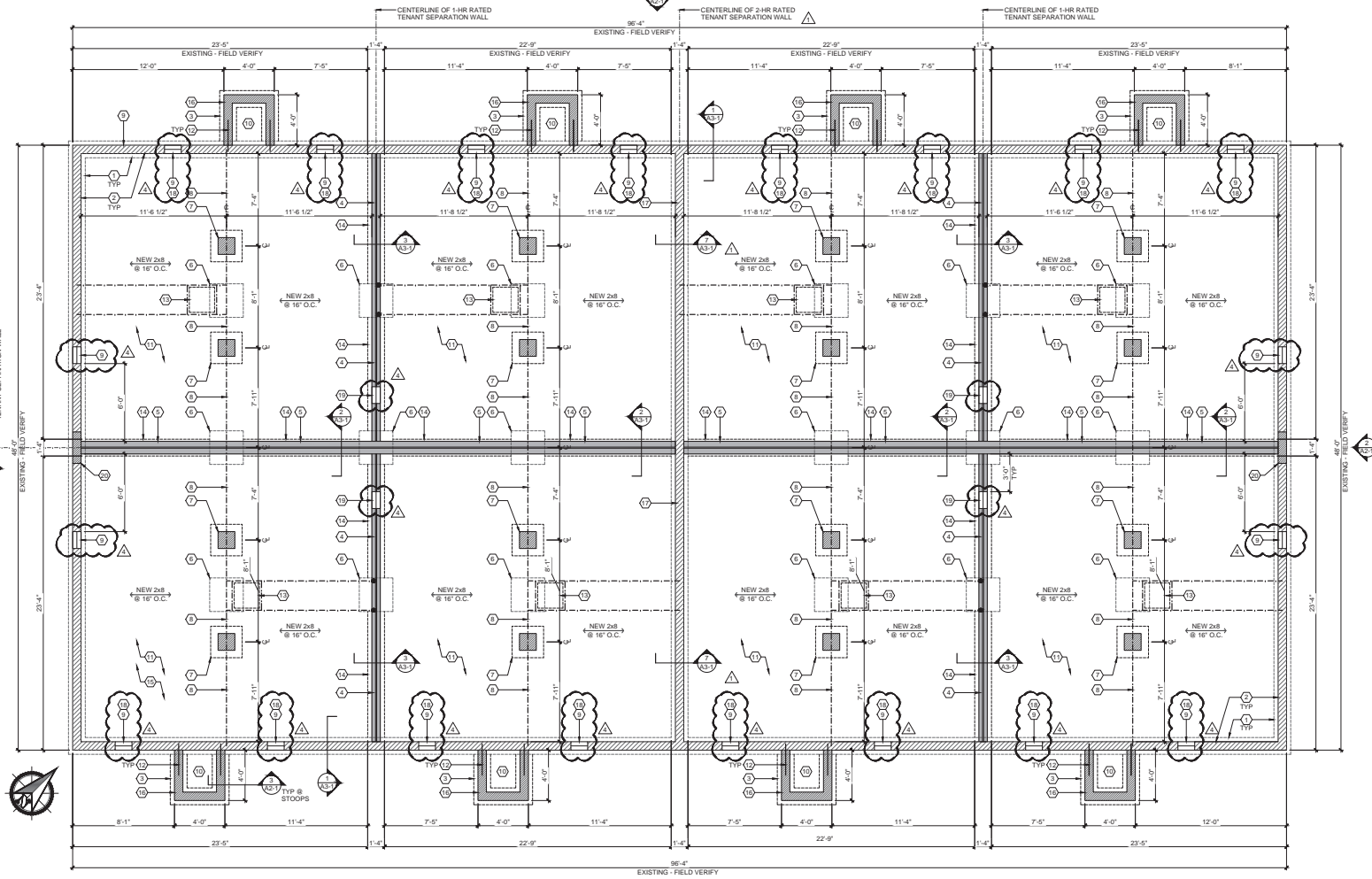
#	DATE	ISSUED WITH: CHANGE DESCRIPTION
△	07.02.2018	REVISION #01 - REVISIONS FOR PERMIT
△	10.24.2018	REVISION #02 - FND / CRAWL SPACE REVISIONS
△	07.25.2019	REVISION #3 - HVAC REVISIONS
△	10.10.2019	REVISION #4 - FLOOD PLAN MODIFICATION

3401 / 3403 / 3405 / 3407 OLDE CAPE ST. E.
5179 / 5181 / 5183 / 5185 OLDE CAPE ST. N.
COLUMBUS, OHIO 43222

FIRE RESTORATION
PREPARED FOR:
ROTH CONSTRUCTION

SBA STUDIOS
ARCHITECTURAL DESIGN
414.588.7261 WWW.SBA-STUDIOS.COM

SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
FOUNDATION PLAN
A1-0
DATE: 06.10.2019
CONSTRUCTION DOCUMENTS
SCOTT D. BAKER, LICENSE #14654
EXPIRATION DATE: 03/31/2025
SBA STUDIOS PROJECT # 2018-163



FLOOD VENT CALCULATIONS

SIZE OF (A) CORNER UNITS	527.08 SQUARE FEET
REQUIRED FLOOD VENTS	527.08 SQUARE INCHES
(B) SMART VENTS PROVIDED	600 SQUARE INCHES PROVIDED
600 SQUARE INCHES > 527.08 SQUARE INCHES = COMPLES	
SIZE OF (A) MIDDLE UNITS	534.68 S.F.
REQUIRED FLOOD VENTS	534.68 SQUARE INCHES
(B) SMART VENTS PROVIDED	600 SQUARE INCHES PROVIDED
600 SQUARE INCHES > 534.68 SQUARE INCHES = COMPLES	

FOUNDATION GENERAL NOTES

THE PRESUMPTIVE SOIL LOAD BEARING VALUE FROM OBC TABLE 1806.2 IS 1500 PSF.

CENTER NEW 16"x12" CONCRETE FOOTERS ON EXG CMU PIER IN CRAWL SPACE. FIELD VERIFY ALIGNMENT WITH TENANT SEPARATION WALLS AT FIRST FLOOR.

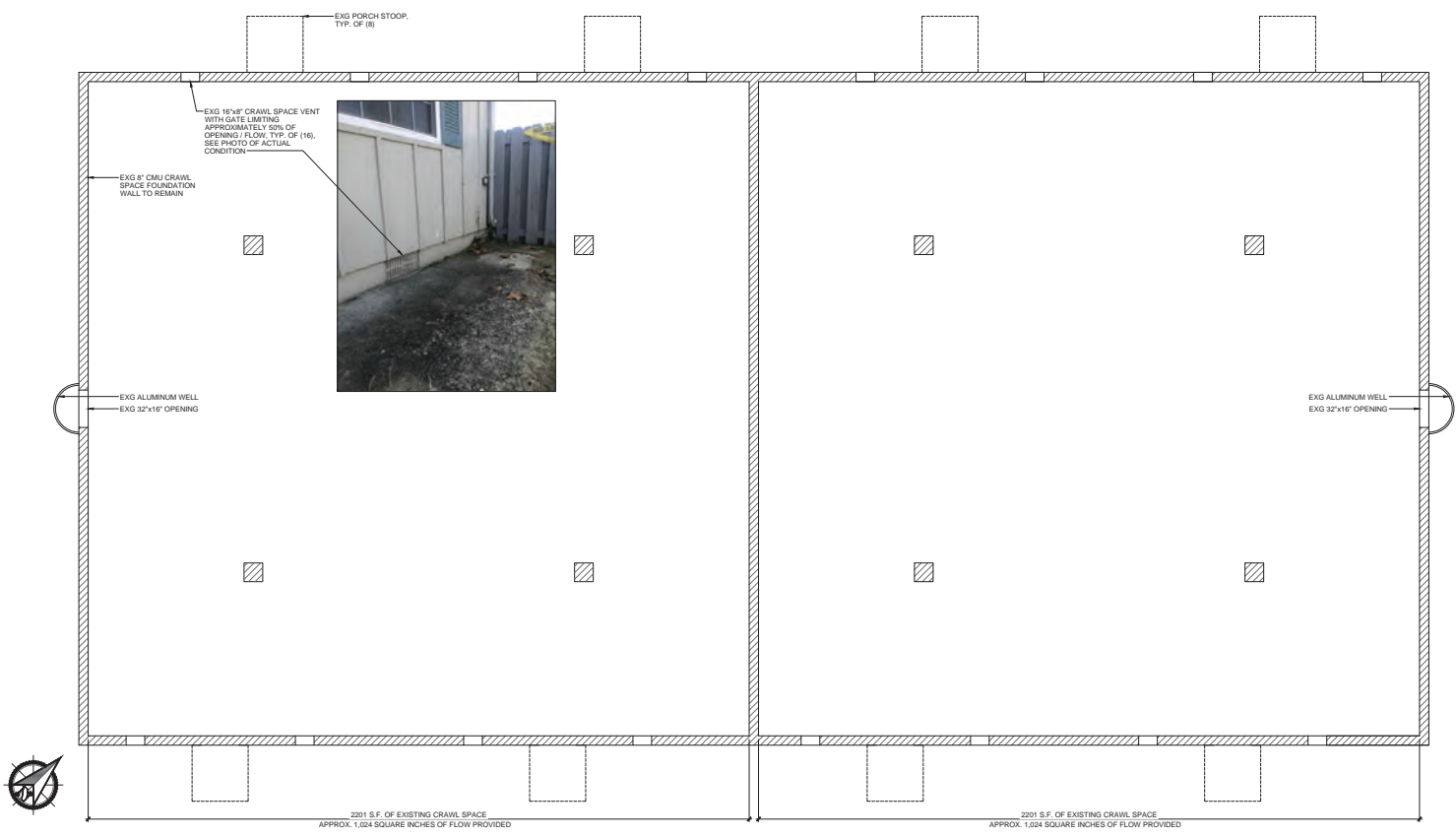
FOOTER REINFORCING SCHED (2' CLEAR FROM BOTTOM)
30"x30"x12" - (2) #5 E.W.
36"x36"x12" - (3) #5 E.W.
42"x42"x12" - (4) #5 E.W.
48"x48"x12" - (5) #5 E.W.
54"x54"x12" - (6) #5 E.W.
60"x60"x12" - (8) #5 E.W.

FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS, VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN STORES AND ROOF.

MOST NEW CHEMICALS USED TO PRESSURE TREAT LUMBER HAVE BEEN FOUND TO BE INCOMPATIBLE WITH STANDARD GALVANIZED CONNECTORS, BOLTS AND SCREWS, AS WELL AS MANY PREPARED FINISH PRODUCTS. WHEN SELECTING FASTENERS AND/OR CONNECTORS TO USE WITH TREATED LUMBER, PLEASE CHECK FOR CORROSION COMPATIBILITY ISSUES. WHEN USING STAINLESS STEEL OR G-160 HOT DIPPED GALVANIZED METAL PRODUCTS, THE CONNECTORS AND FASTENERS MUST BE MADE OF THE SAME MATERIAL.

BLOCK ALL BEARING POINTS TO BEAM OR FOUNDATION.

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△	07.02.2018	REVISION #01 - REVISIONS FOR PERMIT
△	10.24.2018	REVISION #02 - FND / CRAWL SPACE REVISIONS
△	07.25.2019	REVISION #03 - HVAC REVISIONS
△	10.10.2019	REVISION #04 - FLOOD PLAIN MODIFICATION

3401 / 3403 / 3405 / 3407 OLDE CAPE ST. E.
 5179 / 5181 / 5183 / 5185 OLDE CAPE ST. N.
 COLUMBUS, OHIO 43232
 FIRE RESTORATION
 PREPARED FOR:



	SCALE: 1/4" = 1'-0"
	SHEET # / DESCRIPTION
	EXG FOUNDATION PLAN
	D1-0
	DATE: 06.18.2019
	CONSTRUCTION DOCUMENTS
SCOTT D. BAKER, LICENSE #14654 EXPIRATION DATE: 12/31/2019	SBA STUDIOS PROJECT # 2018-163

1 EXG FOUNDATION PLAN

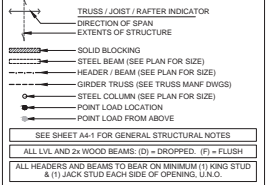
FLOOR PLAN CODED NOTES

- 2x4 EXTERIOR WALL
- 2x6 WALL FOR ELECTRICAL PANEL
- NEW WOOD BUILT-INS, MATCH EXG
- 2"x2" CRAWL SPACE ACCESS PANEL, SEE A10
- 2"x3" ATTIC ACCESS BETWEEN TRUSSES
- ELECTRICAL PANEL, SEE MEP DRAWINGS
- 30" WIDE REFRIGERATOR
- 24" WIDE DISHWASHER
- 30" WIDE RANGE
- WATER HEATER
- CONTINUOUS TENANT SEPARATION WALL BEHIND TUB
- EXC. CONCRETE PATIO TO REMAIN, PROVIDE NEW CONCRETE PATIO IF EXISTING PATIO FOUND TO BE DAMAGED. REBUILD EXG FENCE AS NECESSARY, MATCH EXG. TYPICAL ALL UNITS, SHOWN ON UNIT 1 ONLY FOR REFERENCE
- 2x6 STUDS PER C.A. FILE NO. W/F 5209
- 2x6 STUDS PER C.A. FILE NO. W/F 5209
- 2x6 STUDS PER C.A. FILE NO. W/F 5209

FIRE RATED NOTES

- SEAL AND FIRE STOP ALL NEW PENETRATIONS THROUGH RATED WALLS, FLOORS AND CEILINGS IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS
- WHERE 2-HR RATED WALLS INTERSECT W/ 1-HR RATED WALLS, THE 2-HR RATED WALL SHALL BE CONTINUOUS AND INTERRUPT THE 1-HR RATED WALLS
- ALL PENETRATIONS THROUGH RATED ASSEMBLIES ARE TO BE COMPLETED IN COMPLIANCE WITH AN UL APPROVED AND TESTED PENETRATION DETAIL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE IF THE UL PENETRATION DETAILS ARE COMPATIBLE, EQUAL TO OR BETTER THAN THE RATED ASSEMBLY, AND MEETS ALL REQUIREMENTS OF APPROVED UL PENETRATION DETAILS USED.

STRUCTURAL LEGEND



#	DATE	ISSUED WITH: CHANGE DESCRIPTION
07.02.2018	REVISION #01 - REVISIONS FOR PERMIT	
10.24.2018	REVISION #02 - FND / CRAWL SPACE REVISIONS	
07.25.2019	REVISION #3 - HVAC REVISIONS	
10.10.2019	REVISION #4 - FLOOD PLAN MODIFICATION	

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5179 / 5181 / 5183 / 5185 OLDE CAPE ST. N.
COLUMBUS, OHIO 43222

FIRE RESTORATION
PREPARED FOR:
ROTH CONSTRUCTION

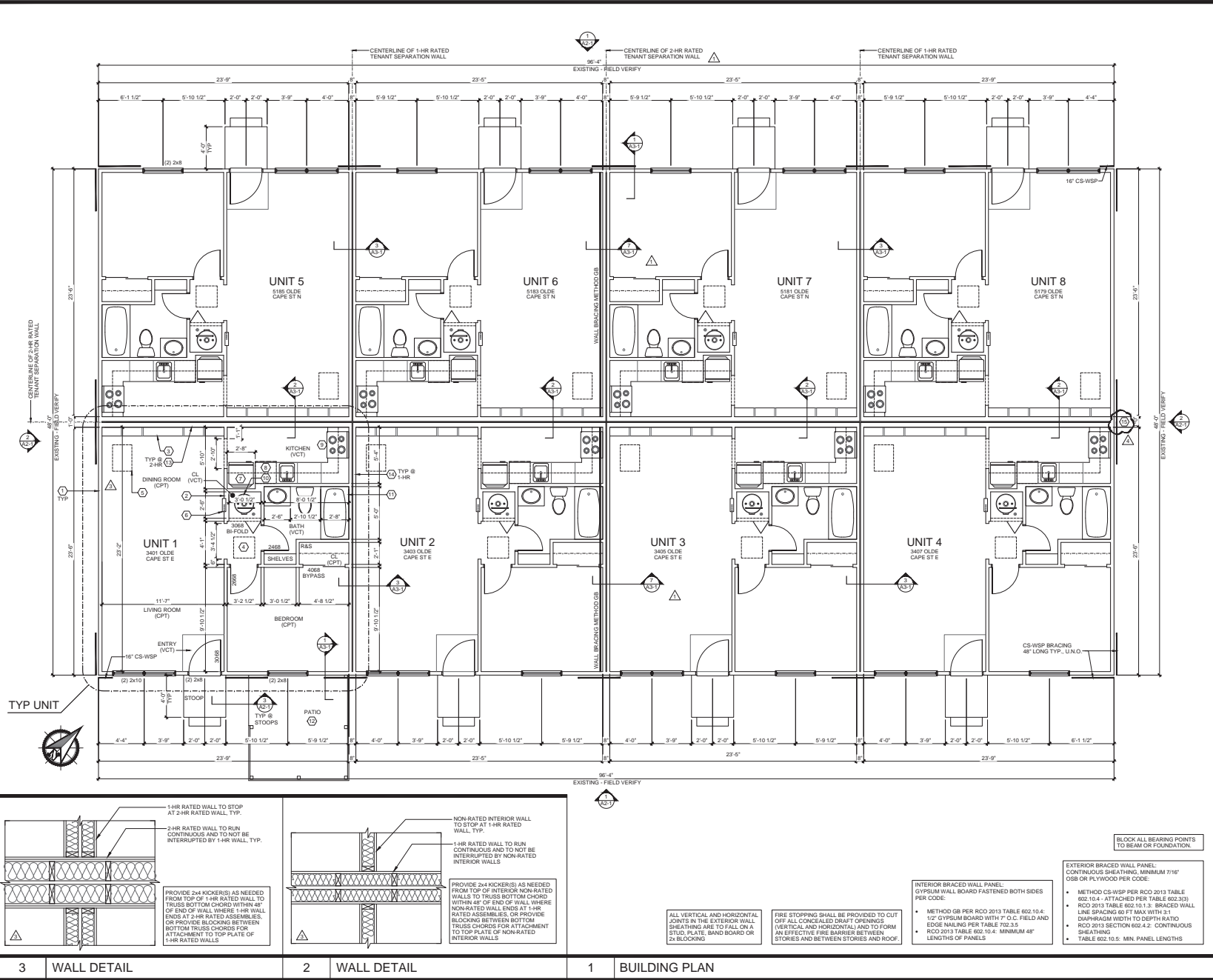
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ARCHITECTURAL DESIGN
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SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
BUILDING PLAN
A1-1
DATE: 05/18/2019
CONSTRUCTION DOCUMENTS
SBA STUDIO PROJECT # 2018-163

STATE OF OHIO
REGISTERED ARCHITECT
SCOTT D. BAKER
14654

SCOTT D. BAKER, LICENSE #14654
EXPIRATION DATE: 12/31/2019

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3	WALL DETAIL	2	WALL DETAIL	1	BUILDING PLAN
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ROOF PLAN CODED NOTES

- 5" ALUMINUM GUTTER, MATCH EXG
- ALUMINUM DOWNSPOUT MATCH EXG
- HAT VENT, MIN. 50 SQ. IN. VENTILATION EACH
- FIRE RETARDANT FL WOOD ROOF SHEATHING 48" EACH SIDE OF TENANT SEPARATION WALL. NO PENETRATIONS PERMITTED
- 1-HOUR RATED WALL IN ATTIC. EXTEND INTO OVERHANGS
- FURNACE IN ATTIC. TRUSS MANUFACTURER TO DESIGN FOR SIZE AND WEIGHT OF FURNACE. PROVIDE ACCESS FROM ATTIC ACCESS TO FURNACE PER OMC 306.3

ROOF VENT CALCULATIONS

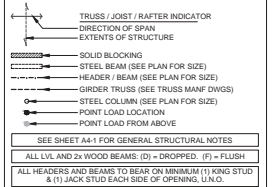
ATTIC VENTILATION:
ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED FROM THE ENTRANCE OF RAIN OR SNOW. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1 TO 100, PROVIDED AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS. THE NET FREE CROSS-VENTILATION AREA MAY BE NOT LESS THAN 1 TO 300 OF THE AREA OF THE SPACE VENTILATED WHEN THE VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING.

- ATTICS: 648 S.F. EACH
- 1.07 SF OF FREE FLOW REQUIRED IN UPPER 1/3 OF ROOF
 - 4 HAT VENTS PROVIDED @ UPPER 1/3 OF ROOF
 - 4 HAT VENTS @ 50 SQ. IN. / EACH = 200 SQ. IN.
 - 200 SQ. IN. / 144 = 1.39 S.F. OF UPPER VENTILATION
 - 1.39 S.F. = 1.07 S.F. REQUIRED = COMPLIES
 - 114 LINEAR FEET OF SOFFIT VENT PROVIDED.
 - 231.5 S.F. = 1.93 INCHES PER LINEAR FOOT = 211.5 SQ. IN.
 - 211.5 SQ. IN. / 144 = 1.469 S.F. OF LOWER VENTILATION
 - 1.469 = 1.07 S.F. REQUIRED = COMPLIES

FIRE RATED NOTES

- SLEEVE AND FIRE STOP ALL NEW PENETRATIONS THROUGH RATED WALLS, FLOORS AND CEILING IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS
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STRUCTURAL LEGEND



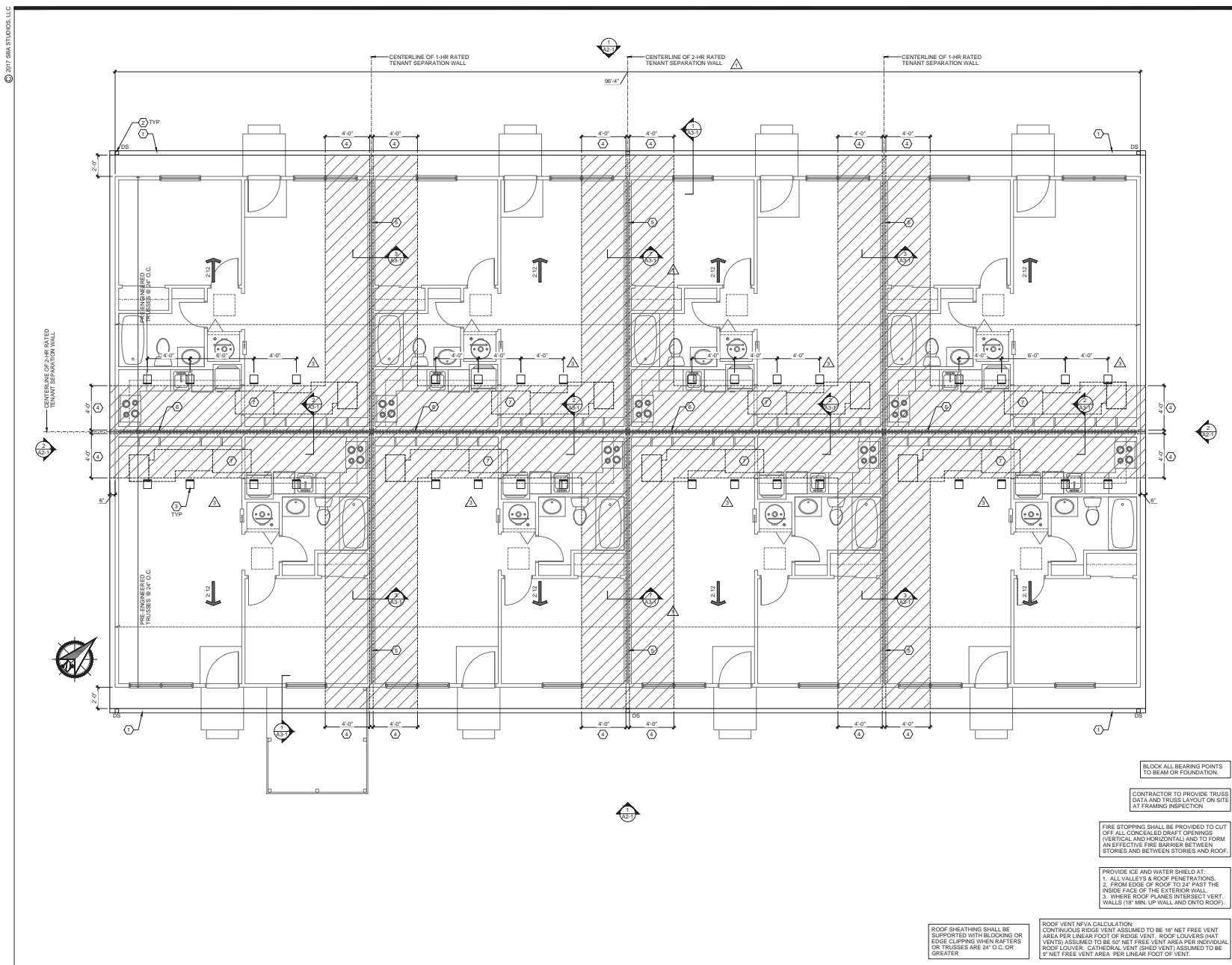
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▲	07.25.2019	REVISION #3 - HVAC REVISIONS
▲	10.10.2019	REVISION #4 - FLOOD PLAIN MODIFICATION

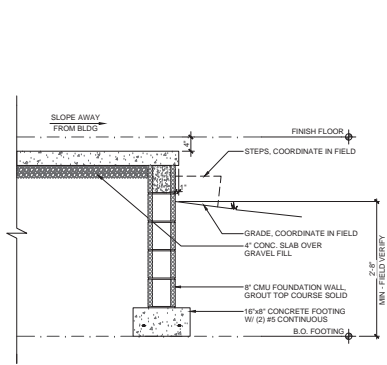
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COLUMBUS, OHIO 43222

FIRE RESTORATION
PREPARED FOR:
ROTH CONSTRUCTION

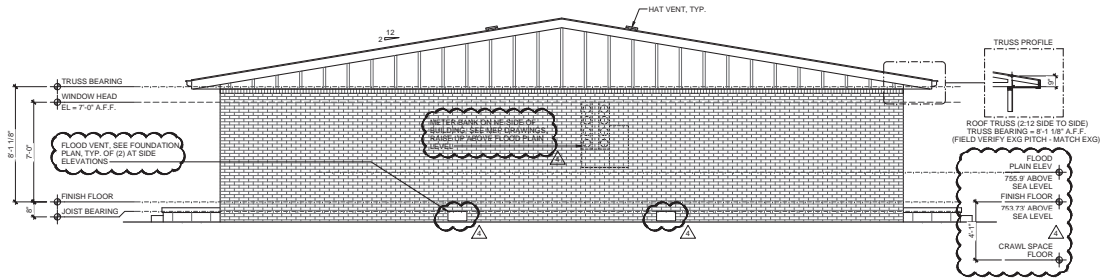
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SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
ROOF PLAN
A1-2
DATE: 06.10.2019
CONSTRUCTION DOCUMENTS
SCOTT D. BAKER, LICENSE #14654
EXPIRATION DATE: 12/31/2019
SBA STUDIO PROJECT # 2018-163

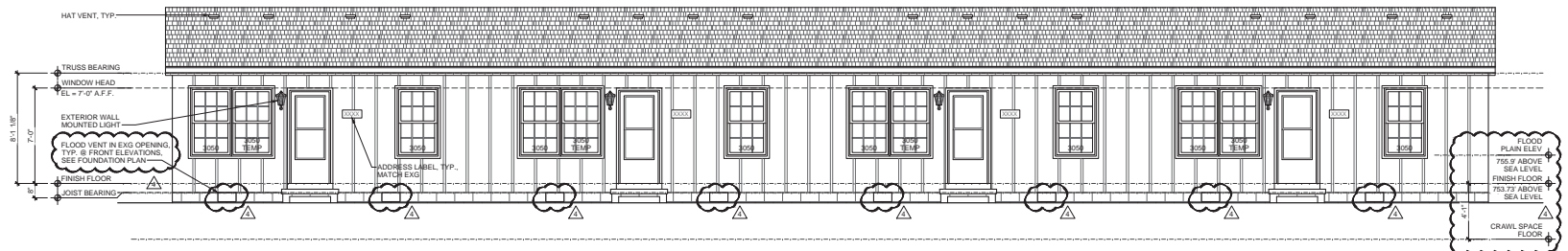




3 STOOP SECTION SCALE: 3/4" = 1'-0"







2 SIDE ELEVATIONS



1 FRONT ELEVATIONS

ELEVATION MATERIAL LEGEND


-  NEW ASPHALT SHINGLES, MATCH EXG
-  BRICK PANEL SIDING, MATCH EXG
-  T1-11 SIDING, MATCH EXG
-  EXG CMU FOUNDATION

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 FIRE RESTORATION

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14654

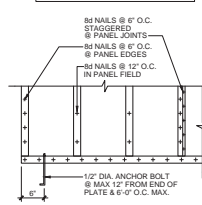
SCALE: 1/4" = 1'-0" (AS SHOWN)
 SHEET # / DESCRIPTION
ELEVATIONS / SECTION
A2-1

LIGHT AND VENTILATION REQUIREMENTS FOR HABITABLE SPACES

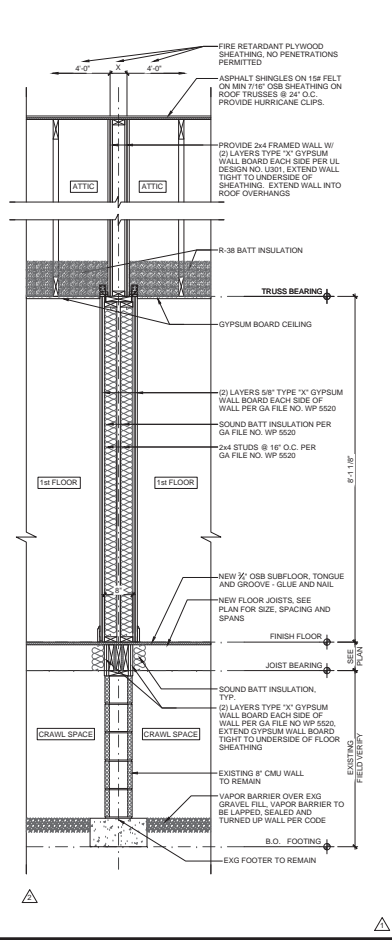
ROOM NAME	ROOM SIZE	WINDOW TYPE	REQUIRED GLAZING	ACTUAL GLAZING	REQUIRED VENTILATION	ACTUAL VENTILATION	TEMPERED GLAZING	BEDROOM EGRESS
BASEMENT								
NONE	XXXX	XXXX	XXXX	XXXX	XXXX	XXXX	NO	XXXX
FIRST FLOOR								
LIVING ROOM	269 S.F.	S.H./DOOR	21.52 S.F.	51.0 S.F.	10.76 S.F.	35.0 S.F.	NO	XXXX
KITCHEN	63 S.F.	NONE	5.04 S.F.	75.0 S.F.	2.52 S.F.	43.5 S.F.	NO	XXXX
BEDROOM	114 S.F.	S.H.	9.12 S.F.	15.0 S.F.	4.56 S.F.	7.5 S.F.	NO	(1) @ 7.5 S.F.

2013 RCO - SECTION 303 LIGHT, VENTILATION AND HEATING
 303.3 - HABITABLE ROOMS: ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS. NATURAL LIGHT SHALL BE PROVIDED THROUGH WINDOWS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTSIDE AIR. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS.
 THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED.
 EXCEPTIONS:
 1. THE GLAZED AREAS NEED NOT BE OPENABLE WHERE THE OPENING IS NOT REQUIRED BY SECTION 310 AND AN APPROVED MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 0.35 AIR CHANGE PER HOUR IN THE ROOM IS INSTALLED OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED CAPABLE OF SUPPLYING OUTDOOR VENTILATION AIR OF 15 CUBIC FEET PER MINUTE (CFM) (7L/s) PER OCCUPANT COMPUTED ON THE BASIS OF TWO OCCUPANTS FOR THE FIRST BEDROOM AND ONE OCCUPANT FOR EACH ADDITIONAL BEDROOM.
 2. THE GLAZED AREAS NEED NOT BE INSTALLED IN ROOMS WHERE EXCEPTION 1 ABOVE IS SATISFIED AND ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES (65 LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE FLOOR LEVEL.
 ** DENOTES ROOMS REQUIRING ADDITIONAL VENTILATION OR LIGHTING BY THE BUILDING COMPONENTS.

ALTERNATE ATTACHMENT METHOD:
 16 GA. 1 3/4" LONG STAPLES AND 1/2" CROWN WIDTH INSTALLED AT 3" O.C. AT ALL PANEL EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS

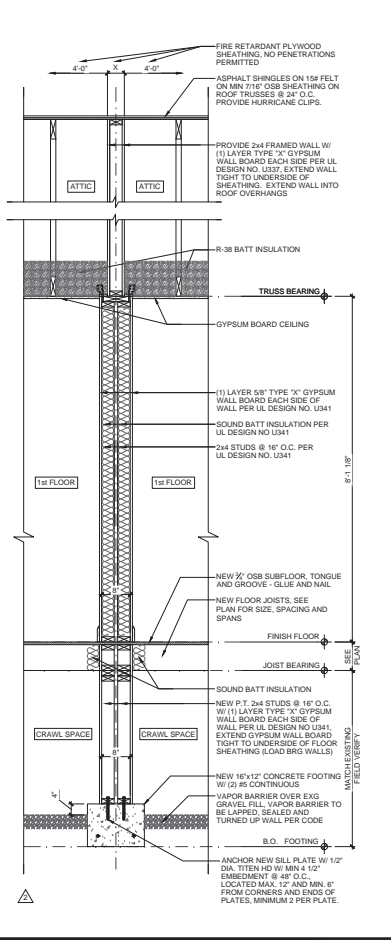


8 NOT USED



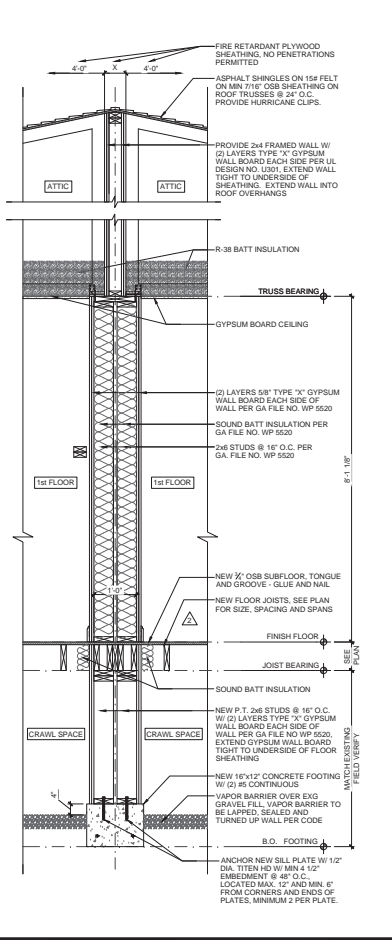
7 WALL SECTION (2-HOUR RATED)

6 WALL SHEATHING ATTACHMENT



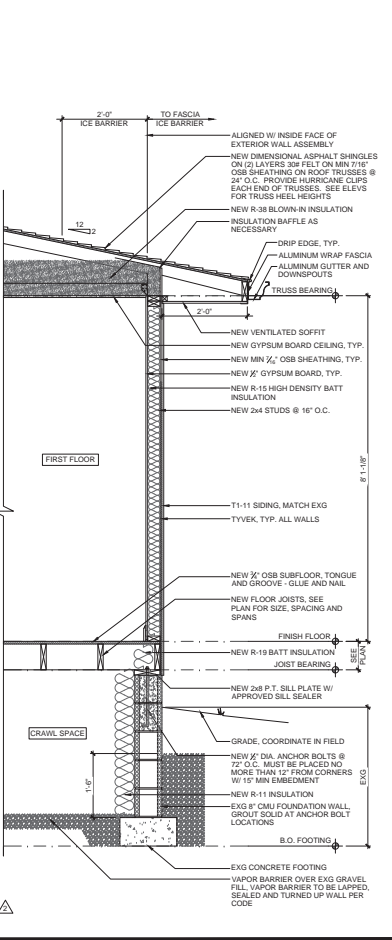
3 WALL SECTION (1-HOUR RATED)

5 LIGHT AND VENTILATION SCHEDULE



2 WALL SECTION (2-HOUR RATED)

1 WALL SECTION



1 WALL SECTION

WALL SECTION NOTES

- ALL MATERIALS ARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, INDUSTRY STANDARD AND APPLICABLE CODES
- SEE TRUSS / RAFTER PROFILES FOR TRUSS AND RAFTER BEARING HEIGHTS.
- ANY CONFLICTS WITH MATERIALS AND INSTALLATION SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY IN WRITING FOR CORRECTION OR CLARIFICATION.
- GRADE TO BE 4" MIN. FOR THE FIRST 10' AWAY FROM THE BUILDING.
- APPROVED CORROSION RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PREVENTION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM RE-ENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION RESISTANT FLASHING SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:
 - AT TOP OF ALL EXTERIOR DOOR AND WINDOW OPENINGS IN SUCH A MANNER AS TO BE LEAK PROOF.
 - AT THE INTERSECTION OF CHIMNEYS OR ANY OTHER MASONRY WITH FRAME OR STUCCO WALLS, W/ PROJECTING LIPS.
 - UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
 - WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION.
 - AT ALL WALL AND ROOF INTERSECTIONS
 - ALL EXTERIOR PENETRATIONS INCLUDING BUT NOT LIMITED TO: EXHAUSTS / VENTS, INTAKES, CONDUITS, WIRES, PLUMBING, & CONDENSER LINES
 - LOCATIONS WHERE DISMILAR MATERIALS ABUT, CARE IS BE TAKING TO FLASH, CAULK, OR OTHERWISE SEAL TO PREVENT PENETRATION AT JOINTS

FIRE RATED NOTES

- SLEEVE AND FIRE STOP ALL NEW PENETRATIONS THROUGH RATED WALLS, FLOORS AND CEILING IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.
- ALL EXISTING FIRE PENETRATIONS DISCURED DURING CONSTRUCTION SHALL BE BROUGHT UP TO APPLICABLE CODE REQUIREMENTS.
- ALL PENETRATIONS THROUGH RATED ASSEMBLIES ARE TO BE COMPLETED IN COMPLIANCE WITH AN UL APPROVED AND TESTED PENETRATION DETAIL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE IF THE UL PENETRATION DETAIL(S) ARE COMPATIBLE, EQUAL TO OR BETTER THAN THE RATED ASSEMBLY AND MEETS ALL REQUIREMENTS OF APPROVED UL PENETRATION DETAILS) USED.

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3401 / 3403 / 3405 / 3407 OLDE CAPE ST. E.
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 COLUMBUS, OHIO 43232
 FIRE RESTORATION
 PREPARED FOR:



SCALE: 3/4" = 1'-0"
 SHEET # / DESCRIPTION
WALL SECTIONS
A3-1
 DATE: 05.18.2019
 CONSTRUCTION DOCUMENTS
 SCOTT D. BAKER, LICENSE #14654
 EXPIRATION DATE: 03/31/2029
 SBA STUDIOS PROJECT # 2018-163

			<p>GENERAL</p> <p>GOVERNING CODE: 2013 RESIDENTIAL CODE OF OHIO</p> <p>DESIGN ROOF SNOW LOAD = 25 PSF PLUS THE EFFECTS OF DRIFTING SNOW PER OBC</p> <p>A: GROUND SNOW LOAD = (Pg) = 25 PSF B: FLAT ROOF SNOW LOAD = 20 PSF C: SNOW LOAD EXPOSURE FACTOR (Ce) = 1.0 D: SNOW LOAD IMPORTANCE FACTOR (I) = 1.0</p> <p>WIND PARAMETERS: A: BASIC WIND SPEED = 90 MPH B: WIND LOAD IMPORTANCE FACTOR = 1.0 C: WIND EXPOSURE = EXPOSURE B</p> <p>SOIL DESIGN PARAMETERS: A: ASSUMED ALLOWABLE SOIL BEARING PRESSURE FOR FOUNDATIONS = 1,500 PSF B: EQUIVALENT FLUID PRESSURE FOR WALL LOADINGS = 60 PCF C: IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THAT THE SOIL IS ADEQUATE TO SUPPORT THE STRUCTURE AND THAT THE ASSUMED WALL LOADINGS IS CORRECT</p> <p>GENERAL NOTES: A: THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTORS RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE, AND TO ENSURE THE STABILITY OF THE BUILDING AND ITS COMPONENT PARTS, AND THE ADEQUACY OF TEMPORARY OR PROVISIONAL CONNECTIONS, DURING ERECTION. THIS INCLUDES THE ADDITION OF ANY SHORING, SHEETING, TEMPORARY GUYS, BRACING OR TIE-DOWNS THAT MIGHT BE NECESSARY. SUCH MATERIAL IS NOT SHOWN ON THE DRAWINGS. IF ANY SUCH MATERIAL IS REQUIRED AS CONDITIONS PERMIT, IT SHALL REMAIN THE CONTRACTORS PROPERTY. THE ARCHITECT AND ENGINEER HAVE NO EXPERTISE IN, AND TAKE NO RESPONSIBILITY FOR, CONSTRUCTION MEANS OR METHODS OR JOB SITE SAFETY DURING CONSTRUCTION. B: IT IS SOLELY THE RESPONSIBILITY OF EACH CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION. THE ARCHITECT AND ENGINEER ARE NOT ENGAGED IN, AND DO NOT SUPERVISE CONSTRUCTION. C: SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE DRAWINGS CONFLICT WITH THESE STRUCTURAL NOTES, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.</p> <p>PREFABRICATED WOOD TRUSSES</p> <p>MATERIALS: A: LUMBER: SOUTHERN PINE #2, ALLOWABLE STRESSES PER THE NATIONAL DESIGN SPECIFICATION SUPPLEMENT, 2005 EDITION; 19% MAX. M.C. B: METAL CONNECTOR PLATES, GALVANIZED SHEET STEEL, ASTM A446, GRADE A, COATING CLASS 960 PER ASTM A525, MANUFACTURE WITH HOLES, FLUGS, TEETH OR PRONGS UNIFORMLY SPACED AND FORMED.</p> <p>DESIGN: ROOF TRUSSES: A: TOP CHORD LIVE LOAD = 25 PSF TOP CHORD DEAD LOAD = 10 PSF BOTTOM CHORD DEAD LOAD = 5 PSF BOTTOM CHORD LIVE LOAD = 5 PSF B: MAXIMUM UNIFORM LOAD = 8 PSF</p> <p>ALL JOISTS AND CONNECTIONS IS TO BE BY A PROFESSIONAL ENGINEER, REGISTERED IN OHIO, EXPERIENCED IN SIMILAR DESIGN, RETAINED BY THE MANUFACTURER. C: SHOP DRAWINGS SHALL EXHIBIT THE SERIAL NUMBER OF THE ENGINEER RESPONSIBLE FOR THE TRUSS DESIGN. D: MAXIMUM LIVE LOAD DEFLECTION IS TO BE L/360. E: MAXIMUM TOTAL LOAD DEFLECTION IS TO BE L/240.</p> <p>MISCELLANEOUS: A: BOLT TOP CHORDS OF ALL MULTIPLE TRUSSES TOGETHER WITH 1/2" DIAMETER BOLTS AT 4' 0" O.C. BOLT WEB MEMBERS TOGETHER WITH 1/2" DIAMETER BOLTS AT 2' 0" O.C. AT CONCENTRATED LOADS, OR PER TRUSS DESIGNER RECOMMENDATION. B: IN AREAS WHERE TOP CHORDS OF TRUSSES DO NOT RECEIVE PLYWOOD SHEATHING, PROVIDE 1x4 CONTINUOUS BRIDGING PERPENDICULAR TO TOP CHORDS AND SPACED AT 3' 0" O.C. C: TRUSS FABRICATOR SHALL SUBMIT COPIES OF THE FINAL, APPROVED FABRICATION DRAWINGS TO THE BUILDING DEPARTMENT OR BUILDER, PRIOR TO FABRICATION AND ERECTION.</p> <p>STRUCTURAL STEEL</p> <p>MATERIALS: A: STRUCTURAL STEEL CHANNEL, ANGLES, PLATES, ETC.: ASTM A36, Fy = 36 KSI; STRUCTURAL STEEL WIDE FLANGE: ASTM A333 OR ASTM A588, Fy = 50 KSI; HIGH STRENGTH BOLTS: ASTM A325 OR A490; ANCHOR BOLTS: ASTM A307 OR A309, ELECTRODES: SERIES F70; STRUCTURAL PLATE: ASTM A572 OR A572; Fy = 50 KSI; HSLI SQUARE AND RECTANGULAR TUBING: ASTM A500, Fy = 46 KSI; EXPANSION BOLTS: HELIX "KWIK-BOLT"; B: MINIMUM BEAM BEARING ON CONCRETE = 5 INCHES UNLESS NOTED OTHERWISE. C: MINIMUM LEMMA BEARING INTO SOLID MASONRY SHALL BE AS FOLLOWS: 1/2 INCH DIAMETER BOLTS = 3 1/2 INCHES EMBEDMENT 3/4 INCH DIAMETER BOLTS = 5 INCHES EMBEDMENT D: ALL STEEL PIPE COLUMNS TO BE FIXED, NON-ADJUSTABLE, SCHEDULE 40 PIPE COLUMNS. SEE ALTERNATE COLUMN DETAIL FOR ADJUSTABLE PIPE COLUMNS. IT IS THE BUILDER'S RESPONSIBILITY TO VERIFY THAT THE COLLUMS INSTALLED ARE RATED FOR THE LOADS SHOWN ON THE DRAWINGS</p> <p>CONNECTIONS: A: WOOD NAILERS SHALL BE PROVIDED AND ATTACHED TO THE TOP FLANGE OF STEEL BEAMS PER THE FOLLOWING OR ANOTHER APPROVED METHOD: FLANGE WIDTH BOLTS POWER ACTUATED FASTENERS 3/8" DIA. @ 3' 0" O.C. 1/4" DIA. @ 18" O.C. 1/2" OR GREATER 1/2" DIA. @ 24" O.C. 1/4" DIA. @ 18" O.C.</p> <p>STRUCTURAL LUMBER</p> <p>MATERIALS: A: STRUCTURAL LUMBER INCLUDING BEARING AND EXTERIOR WALL STUDS: SPRUCE PINE FIR #2 OR EQUAL, ALLOWABLE STRESSES PER THE 2005 NATIONAL DESIGN SPECIFICATION SUPPLEMENT; 19% MAX. M.C. B: PLYWOOD: ALL WOOD JOIST, STRUCTURAL, FOR RETICUL, EXTERIOR GABLE, JOIST PANEL AND WINDS PANEL (DECA) 2 1/8 INCH THICK WITH 1/4" WOOD CLIPS FLOOR FLOORS: PANEL IDENTIFICATION INDEX 2018 - 2332 INCH C: JOIST FOR WALL: MINIMUM 7/16 INCH THICK WITH 2416 SPAN RATING, EXPOSURE 1, FLOOR FLOORS: 2332 INCH THICK, STURD-FLOOR WITH SPAN RATING OF 24 O.C., EXPOSURE 1, TONGUE AND GROOVE D: MICROLAM (M-LVL): MODULUS OF ELASTICITY = 1,900,000 PSI, Fb = 2,800 PSI. DESIGN BASED ON LEVEL JOIST.</p> <p>SPECIFICATIONS: A: SPECIFICATIONS, UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION AND ERECTION SHALL BE GOVERNED BY THE LATEST EDITION OF: NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION U.S. PRODUCT STANDARD PS 1, 2009 INTERNATIONAL RESIDENTIAL CODE</p> <p>CONNECTIONS: A: JOISTS TO SIDES OF BEAMS: 16 GA. GALVANIZED STU, JOIST HANGERS, UNLESS SHOWN OTHERWISE. B: JOISTS AND TRUSSES TO TOPS OF WALLS AND BEAMS: 16 GA. GALVANIZED HURKORNE ANCHORS C: SHEATHING TO FLOOR JOISTS: GLEED AND NAILED - USE 80 COATED SNIKERS AT 6 INCHES O.C. AT PANEL EDGES AND 12 INCHES O.C. AT INTERMEDIATE SUPPORTS. USE ADHESIVE MEETING APA SPECIFICATIONS AP-91 AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION. D: SHEATHING TO ROOF TRUSSES OR RAFTERS: NAILED - USE 80 COATED SNIKERS @ 6 INCHES O.C. AT PANEL EDGES AND 12 INCHES O.C. AT INTERMEDIATE SUPPORTS. PROVIDE PLYWOOD CLIPS AT MID-SPAN OF PLYWOOD BETWEEN SUPPORTS. E: SHEATHING TO WALLS: NAILED - USE 80 COATED SNIKERS @ 6 INCHES O.C. AT PANEL EDGES AND 12 INCHES O.C. AT INTERMEDIATE SUPPORTS. F: ALL CONNECTORS HANGERS, NAILS, ETC.) IN CONTACT WITH TREATED LUMBER SHALL BE STAINLESS STEEL OR HOT DIP GALVANIZED COMPATIBLE WITH THE CHEMICALS IN THE WOOD. G: SILL PLATES TO FOUNDATION: 1/2" DIA. ANCHOR BOLTS AT 6' 0" O.C. AND 12" MAXIMUM FROM CORNERS AND ENDS OF PLATES. ANCHOR BOLTS TO BE EMBEDDED IN THE FOUNDATION A MINIMUM OF 7" IN CONCRETE OR 6" IN MASONRY. H: 1 OR MORE PLY WOOD AND LVL BEAMS AND FLITCH BEAMS: 1/2" DIAMETER THRU BOLTS AT 24" O.C. 2" FROM TOP AND BOTTOM LVL'S STAGGER TOP AND BOTTOM ROOFS 12" I: 1 PLY WOOD AND LVL BEAMS (2) ROWS OF 16 NAILS @ 12" O.C. J: MULTIPLE STUD COLUMNS: GLEED AND NAILED WITH 16 NAILS AT 12" O.C. EACH PLY.</p> <p>MISCELLANEOUS: A: USE ONE LINE OF SOLID BLOCKING OR CROSS BRIDGING AT 8' 0" O.C. MAX. FOR ALL JOISTS AND RAFTERS, USE SOLID BLOCKING AT JOIST AND RAFTER BEARING. B: IT IS ASSUMED THAT THE STRUCTURAL SHEATHING WILL PROVIDE LATERAL BRACING FOR THE STUDS AND INTERIOR STRUCTURE. IF SHEATHING IS NOT PROVIDED, USE SOLID BLOCKING AT MID-HEIGHT FOR ALL EXTERIOR STUD WALLS AND INTERIOR BEARING PARTITIONS AND METAL DIAGONAL BRACING AS REQUIRED FOR LATERAL STABILITY OF THE STRUCTURE. C: USE DOUBLE JOIST UNLESS OTHERWISE SHOWN OTHERWISE. D: USE DOUBLE STUDS (1) KING STUD & (1) JACK STUD) AT BEAM AND UNTEL BEARING, UNLESS SHOWN OTHERWISE. E: APPLY CONTINUOUS BEAD OF ADHESIVE ON JOISTS AND GROOVE OF TONGUE AND GROOVE PANELS F: IN AREAS WHERE TOP CHORD OF TRUSSES DO NOT RECEIVE PLYWOOD OR OSB SHEATHING, PROVIDE 1x4 CONTINUOUS BRIDGING PERPENDICULAR TO TOP CHORDS AND SPACED AT 3' 0" O.C. G: BEFORE APPLYING FINISH FLOORING, SET NAILS 1/8" BELOW SURFACE. DO NOT PULL AND LIGHTLY SAND ANY SURFACE ROUGHNESS, PARTICULARLY AT JOISTS AND ARCH AND NAILS. H: PROVIDE AND INSTALL BRIDGING FOR PREFABRICATED WOOD TRUSSES AS INDICATED ON THE TRUSS MANUFACTURER'S APPROVED SHOP DRAWINGS. I: WHERE FLOOR JOISTS SPAN PARALLEL TO FOUNDATION WALLS, PROVIDE 2x4 BLOCKING EQUAL TO THE JOISTS DEPTH AT MAXIMUM 24" ON CENTER BETWEEN BAN BOARD OVER WALL AND ADJACENT JOISTS. EXTEND BLOCKING OVER MINIMUM THREE JOIST SPACES. BLOCKING SHALL BE ADEQUATELY FASTENED TO THE FLOOR SHEATHING.</p> <p>REINFORCED CONCRETE</p> <p>MATERIALS: A: SPECIFICATIONS: IN GENERAL, COMPLY WITH ACI 301-05 'SPECIFICATIONS FOR STRUCTURAL CONCRETE' B: STRUCTURAL CONCRETE:</p> <table border="1"> <thead> <tr> <th>CLASS</th> <th>LOCATION</th> <th>MINIMUM STRENGTH (PSI)</th> <th>MINIMUM COMPRESSIVE STRENGTH (PSI)</th> </tr> </thead> <tbody> <tr> <td>I</td> <td>FOOTINGS, WERS & UNDERPINNING</td> <td>3,000</td> <td>3,000</td> </tr> <tr> <td>II</td> <td>INTERIOR SLABS ON GRADE, WALLS, AND ALL INTERIOR CONCRETE NOT OTHERWISE DESIGNATED</td> <td>3,000</td> <td>3,000</td> </tr> <tr> <td>III</td> <td>EXTERIOR SLABS ON GRADE, RETAINING WALLS, BASEMENT WALL, PIERS, AND COLUMNS, PLACED INTEGRALLY WITH BASEMENT WALLS, AND ALL EXTERIOR CONCRETE NOT OTHERWISE IDENTIFIED</td> <td>4,000 (W/ AIR)</td> <td>4,000 (W/ AIR)</td> </tr> </tbody> </table> <p>C: DO NOT BACKFILL AGAINST BASEMENT WALLS UNTIL BOTH THE SLAB-ON-GRADE AND THE FLOOR ABOVE ARE IN PLACE AND CURED.</p>	CLASS	LOCATION	MINIMUM STRENGTH (PSI)	MINIMUM COMPRESSIVE STRENGTH (PSI)	I	FOOTINGS, WERS & UNDERPINNING	3,000	3,000	II	INTERIOR SLABS ON GRADE, WALLS, AND ALL INTERIOR CONCRETE NOT OTHERWISE DESIGNATED	3,000	3,000	III	EXTERIOR SLABS ON GRADE, RETAINING WALLS, BASEMENT WALL, PIERS, AND COLUMNS, PLACED INTEGRALLY WITH BASEMENT WALLS, AND ALL EXTERIOR CONCRETE NOT OTHERWISE IDENTIFIED	4,000 (W/ AIR)	4,000 (W/ AIR)
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I	FOOTINGS, WERS & UNDERPINNING	3,000	3,000																
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4	NOT USED	3	NOT USED																
		2	NOT USED																
		1	STRUCTURAL NOTES																

#	DATE	ISSUED WITH: CHANGE DESCRIPTION
1	10/22/2018	REVISION #01 - REVISIONS FOR PERMIT
2	10/24/2018	REVISION #02 - FND / CRAWL SPACE REVISIONS
3	10/25/2018	REVISION #03 - HVAC REVISIONS
4	10/10/2019	REVISION #04 - FLOOD PLAIN MODIFICATION

3401 / 3403 / 3405 / 3407 OLDE CAPE ST. E.
 5179 / 5181 / 5183 / 5185 OLDE CAPE ST. N.
 COLUMBUS, OHIO 43232

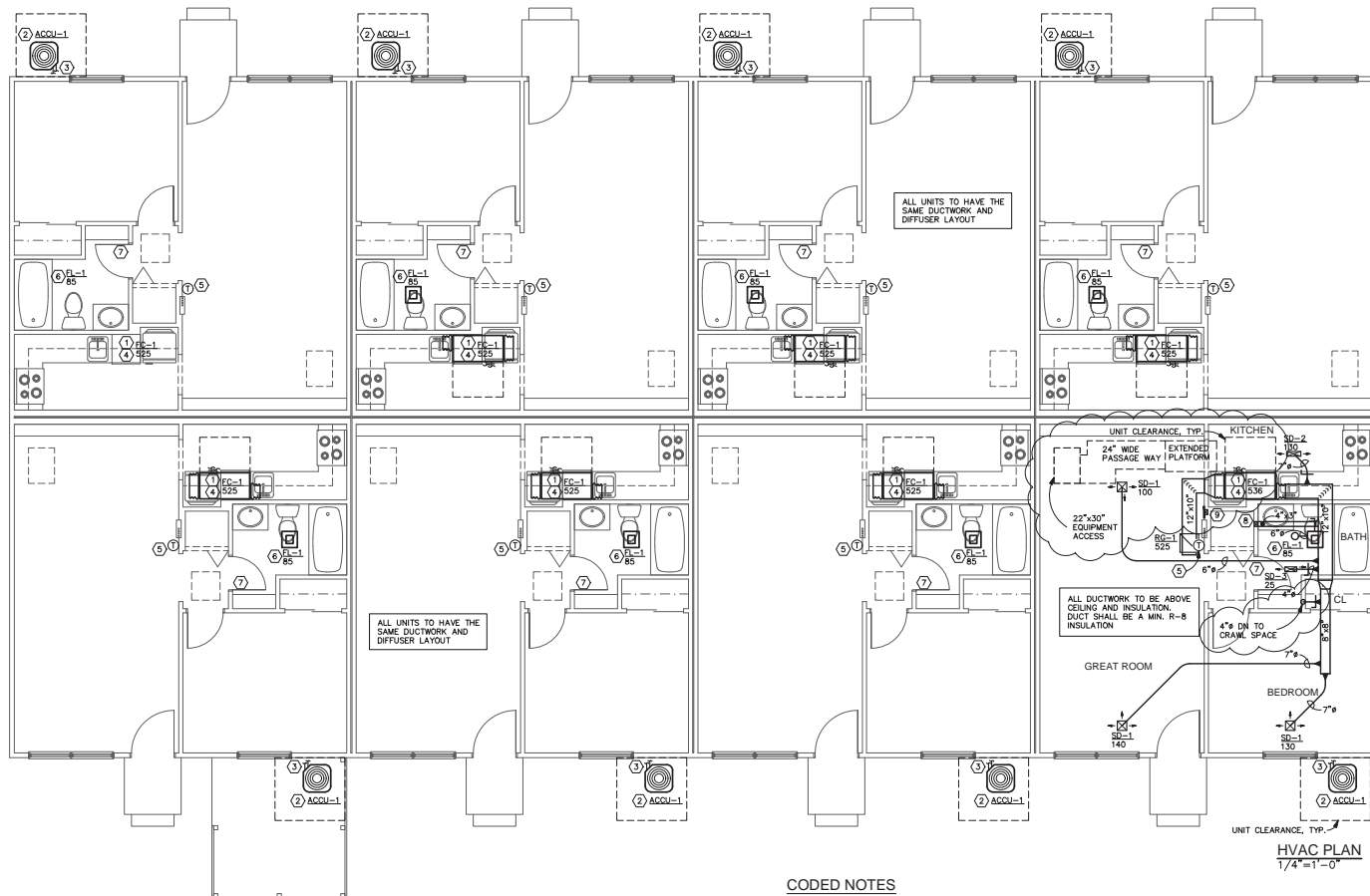
FIRE RESTORATION

PREPARED FOR:
ROTH CONSTRUCTION

SBA STUDIOS
 ARCHITECTURAL DESIGN
 414 SBA 781 WWW.SBA-STUDIOS.COM

SCALE: NO SCALE
SHEET # / DESCRIPTION
STRUCTURAL NOTES
A4-1
DATE: 06/18/2019
CONSTRUCTION DOCUMENTS
SCOTT D. BAKER, LICENSE #14654 EXPIRATION DATE: 12/31/2019
SBA STUDIOS PROJECT # 2018-163

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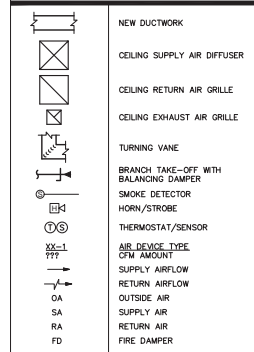
CODED NOTES

1. PROVIDE AND INSTALL NEW SPLIT DX FAN COIL WITH ELECTRIC HEAT. SEE SHEET M2-1 FOR ADDITIONAL UNIT INFORMATION. UNIT SHALL BE MOUNTED ABOVE CEILING AS SHOWN ON PLAN. UNIT SHALL BE PROVIDED WITH TWO SETS OF STANDARD FILTERS. CONTRACTOR TO REPLACE FILTERS PRIOR TO OPENING OF STORE. FIELD COORDINATE EXACT LOCATION.
2. PROVIDE AND INSTALL NEW SPLIT DX AIR COOLED CONDENSING UNIT. SEE SHEET M2-1 FOR ADDITIONAL UNIT INFORMATION. UNIT TO BE MOUNTED ON GROUND ON 4" CONCRETE PAD, PAD TO EXTEND 4" BEYOND UNIT ON ALL SIDES. INSTALL WITH ALL MINIMUM CLEARANCES AS REQUIRED BY UNIT MANUFACTURER. FIELD COORDINATE EXACT LOCATION AND REQUIREMENTS.
3. EXTEND REFRIGERANT LINES FROM CONDENSING UNIT TO FAN COIL AND MAKE FINAL CONNECTIONS. REFRIGERANT LINES SHALL BE SIZED PER MANUFACTURER'S REQUIREMENTS. PROVIDE INSULATION, VALVING, OIL TRAPS, DRYER, SIGHT GLASSES AND ACCESSORIES AS REQUIRED FOR A COMPLETE AND OPERABLE SYSTEM. FIELD COORDINATE EXACT RUN OF LINES PRIOR TO STARTING WORK.
4. PROVIDE AND INSTALL AUXILIARY DRAIN PAN UNDER FAN COIL. MINIMUM DRAIN SIZE TO BE 3/4" CONDENSATE DRAIN TO BE TRAPPED WITH A TRAP DEPTH OF 1.5 X UNITS TOTAL STATIC PRESSURE (MINIMUM 4" DEEP). DRAIN SHALL EXTEND AT A SLOPE OF 1" PER 40'. EXTEND DRAIN FROM FAN COIL AND DRAIN PAN TO NEAREST FLOOR DRAIN IN CLOSET. FIELD COORDINATE WITH GENERAL CONTRACTOR.
5. PROVIDE AND INSTALL A 7 DAY PROGRAMMABLE THERMOSTAT WITH COOLING STAGES AND HEATING STAGES TO MATCH UNIT, AUTO CHANGEOVER, OCCUPIED AND UNOCCUPIED MODES AND TEMPERATURE OVERRIDE WHILE OCCUPIED. MOUNT AT 4 FT. ABOVE FINISHED FLOOR IN LOCATION SHOWN. COORDINATE EXACT LOCATIONS WITH TENANT. THERMOSTAT MUST BE FULLY COMPATIBLE WITH HVAC UNIT USED FOR PROJECT. COORDINATE TYPE WITH UNIT MANUFACTURER.
6. EL-1 BROWN MODEL #01X1101FT PROVIDE AND INSTALL A CEILING MOUNTED EXHAUST FAN/LIGHT COMPLETE WITH INTEGRAL BACKDRAFT DAMPER, SPEED CONTROL AND ALUMINUM GRILL. EXHAUST CAPACITY SHALL BE 80 CFM AT A PRESSURE UP TO 0.25" S.P. FAN SHALL BE 120V, 1 PH., 60 HZ. TRANSITION FROM FAN DISCHARGE TO DUCT SIZE SHOWN AND EXTEND UP THRU ROOF. TERMINATE WITH FLASHING, WRAP SCREEN AND RAIN CAP. ALL ROOF CUTTING, FLASHING, ETC. TO BE DONE BY THE ROOFING CONTRACTOR AT THIS CONTRACTOR'S EXPENSE.
7. GENERAL CONTRACTOR TO UNDERCUT DOOR 3/4" ABOVE THRESHOLD FOR TRANSFER AIR.
8. EXTEND DUCT DOWN IN WALL INTO CRAWL SPACE. TURN DUCT UNDER FLOOR TO BLOW HORIZONTALLY. PROVIDE AND INSTALL INSECT SCREEN AT DUCT OPENING IN CRAWL SPACE. BALANCE DAMPER SHALL BE SET FOR A MINIMUM OF 11 CFM.
9. PROVIDE AND INSTALL 4"x3 1/2" RETURN VENT FROM CRAWL SPACE UP WALL INTO GREAT ROOM. PROVIDE AND INSTALL INSECT SCREEN AT DUCT OPENING IN CRAWL SPACE. PROVIDE AND INSTALL A CONTINENTAL G35, 10"Ø" RETURN GRILLE LOW ON THE WALL.

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY THAT ALL EQUIPMENT, AS SHOWN ON THESE DRAWINGS, WILL NOT CONFLICT WITH ANY DRAINS, JOINTS, VENTS, PIPING, EQUIPMENT, ETC.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ADMINISTERING ALL WARRANTIES ON EQUIPMENT WHICH THIS CONTRACTOR INSTALLS.
3. ALL EXHAUST FANS OR PLUMBING VENTS SHALL BE A MINIMUM OF 10" (OR AS LOCAL CODE REQUIRES) FROM ANY OUTSIDE AIR INTAKE.
4. PROVIDE VIBRATION ISOLATION DEVICES AND FLEXIBLE CONNECTIONS TO ALL MOVING MACHINERY.
5. ALL DUCTWORK TO BE RIGID SHEETMETAL CONSTRUCTED FROM GALVANIZED SHEET STEEL IN ACCORDANCE WITH SMACNA 2" PRESSURE CLASS DUCT CONSTRUCTION STANDARDS. ALL DUCTWORK AND INSULATION SHALL BE FABRICATED AND INSTALLED ACCORDING TO THE MOST RECENT PUBLISHED ASHRAE AND SMACNA STANDARDS AND RECOGNIZED INDUSTRY PRACTICE FOR ACHIEVING AIR TIGHT (5% LEAKAGE) AND NOISELESS (NO OBJECTIONABLE NOISE) SYSTEMS, CAPABLE OF PERFORMING EACH INDICATED SERVICE. FURNISH ALL REQUIRED DAMPERS, TRANSITIONS, CONNECTIONS TO AIR TERMINALS AND OTHER ACCESSORIES NECESSARY FOR A COMPLETE OPERATING SYSTEM.
6. ALL SUPPLY AND RETURN RECTANGULAR DUCT SHALL BE INSULATED WITH R-8 LINED INSULATION UNLESS OTHERWISE NOTED. ALL SUPPLY ROUND DUCT SHALL BE INSULATED WITH R-8 FOL FACED INSULATION EXCEPT EXPOSED DUCT. ALL DUCTWORK INSTALLED OUTSIDE OF BUILDING ENVELOPE INSULATION SHALL BE INSULATED WITH R-8 FOL FACED INSULATION.
7. ALL FLEXIBLE DUCTS SHALL BE SUPPORTED EVERY 3'-0" WITH 2" WIDE GALV. STEEL BANDS. MINIMUM ONE PER EACH SECTION OF FLEXIBLE DUCT. THE MAXIMUM ALLOWABLE LENGTH OF THE FLEX DUCT SHALL BE 5'-0" AND MAY NOT BE USED AS AN ELBOW.
8. ALL DUCT DIMENSIONS SHOWN ON DRAWINGS ARE CLEAR INSIDE DIMENSIONS.
9. ALL RECTANGULAR ELBOWS GREATER THAN 144 SQUARE INCHES SHALL HAVE DOUBLE THICKNESS TURNING VANES.
10. ALL ITEMS PROJECTING THROUGH ROOF SHALL BE FLASHED THROUGH CURBS OR PIPE SEALS A MINIMUM OF 1" ABOVE THE ROOF. THE PIPE CURBS AND SEALS SHALL BE SUPPLIED BY THE GENERAL CONTRACTOR AND INSTALLED BY THE ROOFING CONTRACTOR AT THIS CONTRACTOR'S EXPENSE. INSURE THAT AMPLE BOOT OPENINGS ARE PROVIDED TO ACCOMMODATE ANY ELECTRICAL CONDUIT PENETRATIONS REQUIRED.
11. THERMOSTATS SHALL BE LOCATED GENERALLY AS SHOWN; EXACT LOCATIONS SHALL BE FIELD COORDINATED WITH OWNER.
12. CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR AND ALL OTHER TRADES BEFORE FABRICATING DUCTWORK.
13. CONTRACTOR SHALL FOLLOW ALL APPLICABLE STATE AND LOCAL CODES AND OBTAIN ALL PERMITS IN A TIMELY FASHION AS TO NOT DELAY THE JOB.

MECHANICAL LEGEND



* ALL SYMBOLS MAY NOT BE USED

#	DATE	ISSUED WITH CHANGE DESCRIPTION
1	01.29.2019	HVAC changes
2	03.13.2019	HVAC changes
3	08.09.2019	HVAC Inspector changes

3401 / 3403 / 3405 / 3407 OLDE CAPE ST. E.
5179 / 5181 / 5183 / 5185 OLDE CAPE ST. N.
COLUMBUS, OHIO 43232
FIRE RESTORATION
PREPARED FOR:



SHEET # / DESCRIPTION
HVAC PLAN

M1-1

DATE: 04.30.2019
CONSTRUCTION DOCUMENTS
AEG PROJECT # 18183

7402 East Broad Street
Blacklick, Ohio 43004
Phone: 614.322.7050
Fax: 614.322.7049
www.aegid.com

MEP Building Consultants

DATE: 04.30.2019 04:08 PM - 18183 - M1-1 DATE: 07/18/19

HVAC INDOOR FAN COIL SCHEDULE													CONDENSER SCHEDULE													
MARK	MANUFACT. MODEL #	CFM	ENT DB/WH	TOTAL	SENSE	HEAT INPUT	HEAT OUTPUT	FAN		MCA	MOCP	FILTERS	WT/LBS	MARK	MANUFACT. / MODEL / CARRIER	NOMINAL TONS	REFRIG. / LB. R-410A	VOLTS / PHASE		MCA	MOCP	EER/SEER	WT/LBS	REMARKS		
								EXTERNAL STATIC	HP									208/230	1φ							
FC-1	CARRIER FV4CNF002	525	80/677	17.5 MBH	13.0 MBH	5 KW	17.0 MBH	0.5"	1/2	208/230	1φ	28.4	30	1"FLAT	135	ACCU-1	2448B318	1.5	R-410A	208/230	1φ	11.8	20	-/14.5	107	

- NOTES:
- ALL COOLING CAPACITIES SHOWN ARE BASED ON AN AMBIENT OUTDOOR TEMPERATURE OF 95F.
 - ALL CAPACITIES LISTED ARE MINIMUM REQUIRED QUANTITIES.
 - ALL COMPRESSORS SHALL HAVE 5 YEAR WARRANTIES SERVICED BY INSTALLING CONTRACTOR, ALL HEAT EXCHANGES TO HAVE A 10 YR WARRANTY.
 - PROVIDE WITH 1" FLAT FILTER AND FLAT RACK AS PROVIDED BY MANUFACTURER.
 - CONTRACTOR SHALL INSTALL ALL NEW FILTERS PRIOR TO TEST AND BALANCE WORK.
 - PROVIDE LOW AMBIENT COOLING CAPABILITY DOWN TO 0F.
 - PROVIDE 7 DAY DIGITAL PROGRAMMABLE THERMOSTAT.
 - CONTRACTOR TO FIELD VERIFY VOLTAGE AND PHASE WITH ELECTRICAL CONTRACTOR PRIOR TO ORDERING UNIT.

Natural Ventilation Schedule						
2 Unit Apartment #1						AEG # 5183
Area Name	SD FT	Vent Area Req	Opening Area Req	Opening Type	SD FT	Total Opening Area
Living Room	273	0.04	11	Window	14.12	14.12
Bedroom	83	0.04	3	Window	3.6	3.6
Bathroom	114	0.04	5	Window	5.75	5.75
Total			19			23.47

Per Section 402.2 of the 2017 Ohio Mechanical Code
Minimum Openable Area shall be 4% of Floor Area

AIR DISTRIBUTION DEVICES											
SYMBOL	CATALOG #	UNIT SIZE	MOUNTING		MATERIAL	FINISH	ACCESSORIES			BORDER STYLE	REMARKS
			WALL	CEILING			DUCT	DPR.	EQUAL GRID		
SD-1	23	8"x8"	●	●	STEEL	D	A			A	
SR-2	22	12"x4"	●	●	STEEL	D	A			A	
SR-3	22	10"x4"	●	●	STEEL	D	A			A	
RG-1	035	14"x14"	●	●	STEEL	D	-			A	1

- NOTES:
- TRANSITION TO DUCT AS REQUIRED.
 - PROVIDE WITH PLENUM AS MFG BY DIFFUSER MANUFACTURER.

MECHANICAL LEGEND

- NEW DUCTWORK
- CEILING SUPPLY AIR DIFFUSER
- CEILING RETURN AIR GRILLE
- CEILING EXHAUST AIR GRILLE
- TURNING VANE
- BRANCH TAKE-OFF WITH BALANCING DAMPER
- SMOKE DETECTOR
- HORN/STROBE
- THERMOSTAT/SENSOR
- AIR DEVICE TYPE CFM AMOUNT
- SUPPLY AIRFLOW
- RETURN AIRFLOW
- OA OUTSIDE AIR
- SA SUPPLY AIR
- RA RETURN AIR
- FD FIRE DAMPER

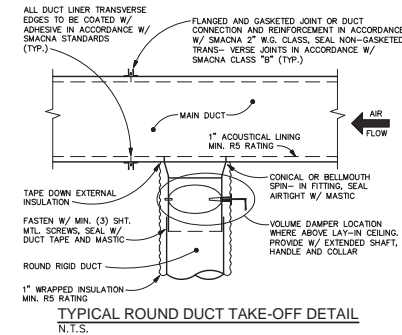
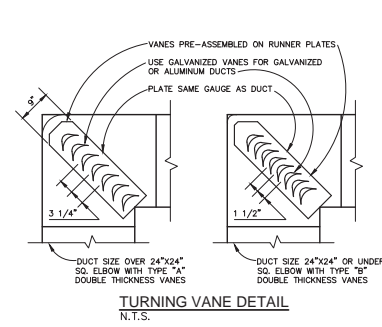
* ALL SYMBOLS MAY NOT BE USED

#	DATE	ISSUED WITH CHANGE DESCRIPTION

3401 / 3403 / 3405 / 3407 OLDE CAPE ST. E.
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FIRE RESTORATION
PREPARED FOR:
ROTH CONSTRUCTION

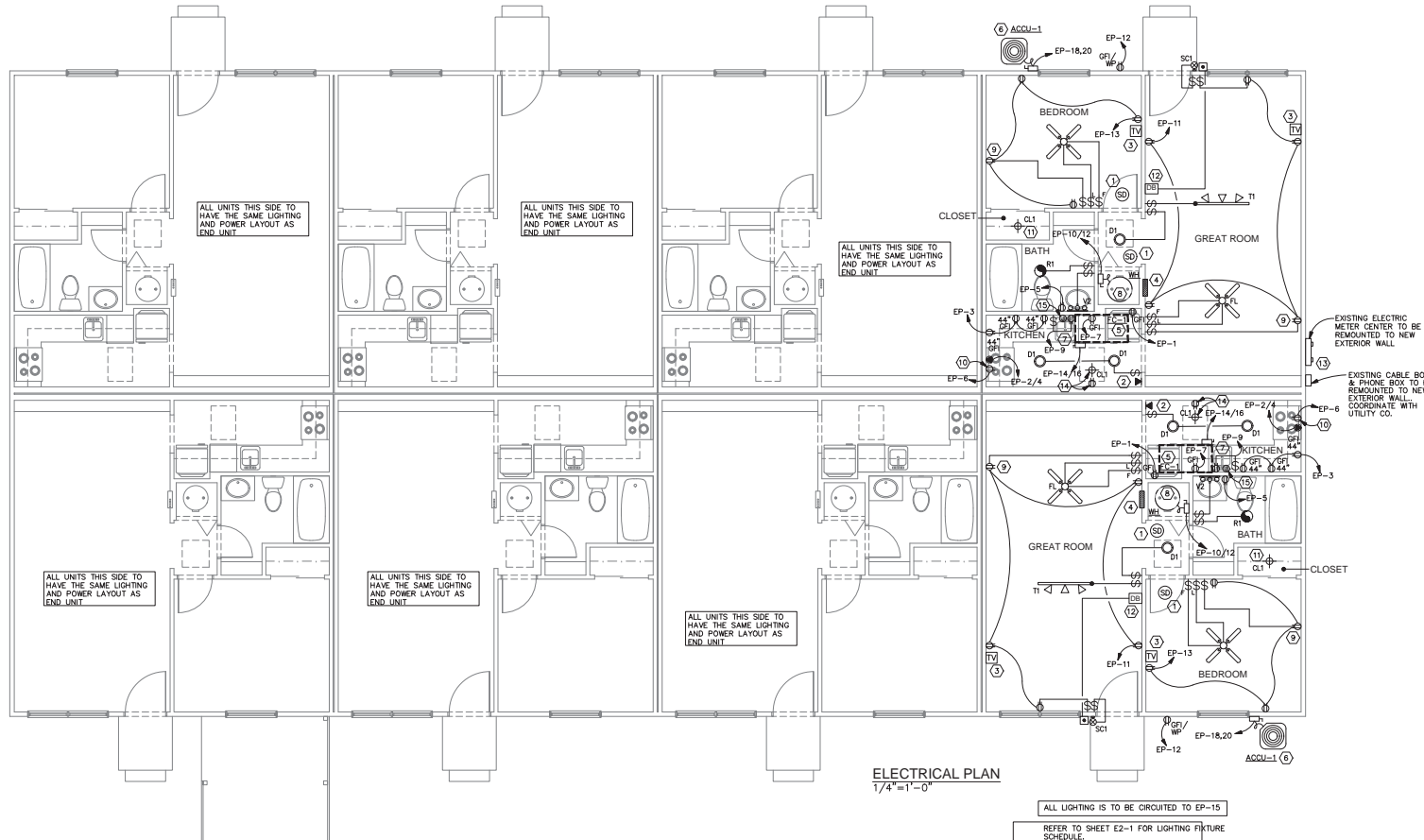
SBA STUDIOS ARCHITECTURAL DESIGN
414.522.7261 WWW.SBA-STUDIOS.COM

SHEET # / DESCRIPTION
SCHEDULES - DETAILS
M2-1
DATE: 04/30/2019
CONSTRUCTION DOCUMENTS
AEG PROJECT # 18183



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AEG Building Consultants

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GENERAL NOTES

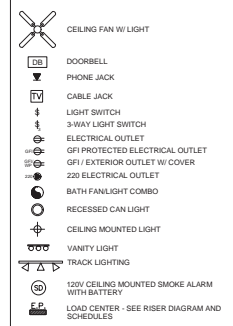
- E.C. RESPONSIBLE TO SECURE AND PAY FOR ALL PERMITS, ADHERE TO ALL STATE, LOCAL AND NATIONAL ELECTRIC CODES, AND SCHEDULE INSPECTION TIMES AS TO NOT DELAY JOB PROGRESS.
- COORDINATE ALL WORK WITH OTHER TRADES TO ELIMINATE CONFLICTS ON THE JOB.
- PERFORM ALL WORK IN A NEAT AND PROFESSIONAL MANNER, AND SUPPLY ALL NEW EQUIPMENT AND ACCESSORIES.
- SUBMIT SHOP DRAWINGS AND OPERATION MANUALS OF ALL EQUIPMENT AND ACCESSORIES FOR OWNER APPROVAL, PRIOR TO STARTING WORK.
- SEE RISER DIAGRAMS FOR CABLE/PHONE/ELEC ROUTING OF WIRING.
- ALL ELECTRICAL PANELS TO BE BASED ON SQUARE "D" OR EQUAL BY G.E. OR ITE SIEMENS WITH SNAP ON TYPE CIRCUIT BREAKERS.
- ALL PENETRATIONS OF WALL, ROOF AND CEILING TO BE SEALED AS REQUIRED WITH FIRE SEALANT TO MAINTAIN FIRE RATING AS REQUIRED.
- WIRE SIZES 20A-1P & 20A-2P BREAKER: 2#12 @#12 GRD. 30A-2P BREAKER: 2#10 @#12 GRD. 50A-2P BREAKER: 2#6 & #10 GRD.
- ALL WIRING MAY BE TYPE NM CABLE (ROMEX) PER NEC ART 334.
- ALL WIRING TO BE COLOR-CODED AS FOLLOWS:
120/240 VOLT SYSTEM:
NEUTRAL - WHITE
PHASE A OR L1 - BLACK
PHASE B OR L2 - RED
GROUND - GREEN

- PROVIDE FLEXIBLE CONDUIT FOR ALL VIBRATING EQUIPMENT, NOT TO EXCEED 3 FT. IN LENGTH.
- ALL CONDUIT AND WIRE TO BE CONCEALED IN WALLS AND CEILINGS.
- BALANCE ALL PANELS WITHIN 10% OF EACH PHASE LEG.
- PROVIDE LABELS AND TAPS FOR ALL PANELS AND SWITCHGEAR EQUIPMENT. PROVIDE TYPED DIRECTORY OF ALL CIRCUITS LABELED BY ROOM NUMBER OR NAME.
- REFER TO MECHANICAL PLAN FOR LOCATION OF MECHANICAL EQUIPMENT. FIELD VERIFY EXACT LOCATIONS.
- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH NATIONAL ELECTRIC CODE AND ALL LOCAL CODES AND ORDINANCES. THE CONTRACTOR SHALL INQUIRE INTO AND COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. AFTER CONTRACT IS ISSUED, NO ADDITIONAL COST DUE TO CODE ISSUES SHALL BE REIMBURSED BY THE OWNER TO THE CONTRACTOR.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE TO INQUIRE WITH THE LOCAL CODE AUTHORITY ON ANY FIRE ALARM SYSTEM REQUIREMENTS; IF THE FIRE ALARM SYSTEM IS NOT ADEQUATELY DESCRIBED ON THE DRAWINGS, THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO INFORM THE GENERAL CONTRACTOR AND INCLUDE THE COST AS A SEPARATE LINE ITEM IN THE BID. NO ADDITIONAL MONIES SHALL BE AWARDED WITHOUT A SEPARATE LINE ITEM FOR THE FIRE ALARM SYSTEM AT THE TIME OF THE BID.
- ELECTRICAL CONTRACTOR SHALL VERIFY EXACT/ALL MOUNTING HEIGHTS, LOCATIONS AND COLOR (FINISH) OF ALL DEVICES AND EQUIPMENT WITH THE ARCHITECT AND/OR OWNERS REPRESENTATIVE PRIOR TO ROUGH-IN.
- LOW VOLTAGE WIRING (PHONE/CATV) BY OTHERS. VERIFY REQUIREMENTS.

CODED NOTES

- CEILING MOUNTED SMOKE ALARM WITH BATTERY BACKUP. WIRE TO LOCAL LIGHTING CIRCUIT AHEAD OF SWITCH. WIRE SO THAT WHEN ONE ALARM IS ACTIVATED WITHIN A UNIT ALL ALARMS WITHIN THAT UNIT ARE ACTIVATED.
- PROVIDE AND INSTALL ONE COMMUNICATION OUTLET WITHIN DWELLING UNIT PER N.E.C. ARTICLE 800.156.
- PROVIDE AND INSTALL CABLE COAXIAL DEVICE FOR CONNECTION TO CABLE SERVICE.
- PROVIDE AND INSTALL 120/240V, 1A, 3W, 100A MCB ELECTRICAL PANEL "EP".
- HVAC UNIT FC-1. PROVIDE AND INSTALL 240V, 1PH, 30A DISCONNECT SWITCH, DISCONNECT IN ACCESSIBLE LOCATION AT UNIT. RUN #10/2 NM CABLE FROM 30A-2P BREAKER IN PANEL TO DISCONNECT SWITCH AT UNIT. MAKE FINAL CONNECTION TO UNIT. COORDINATE WITH MECHANICAL CONTRACTOR PRIOR TO STARTING WORK. INCLUDE IN BID ALL WORK REQUIRED FOR A COMPLETE HVAC SYSTEM.
- HVAC UNIT ACCU-1. PROVIDE AND INSTALL NEMA 3R NON-FUSED DISCONNECT SWITCH IN ACCESSIBLE LOCATION AT UNIT. RUN (2) #12 THHN CU AND (1) #12 GROUND IN 3/4" CONDUIT FROM 20A-2P BREAKER IN PANEL TO DISCONNECT SWITCH AT UNIT. MAKE FINAL CONNECTION TO UNIT. COORDINATE WITH MECHANICAL CONTRACTOR PRIOR TO STARTING WORK. CONFIRM DISCONNECT LOCATIONS WITH G.C. & MC PRIOR TO INSTALLATION.
- PROVIDE AND INSTALL 120V, 20A DUPLEX RECEPTACLE FOR CONNECTION TO 1/2"IP GARBAGE DISPOSAL. PROVIDE AND INSTALL 120V, 20A TOGGLE SWITCH MOUNTED ABOVE COUNTER FOR CONTROL OF GARBAGE DISPOSAL.
- ELECTRIC WATER HEATER. 6000 WATT, 240V, 1Φ. PROVIDE AND INSTALL 30A-2P NON-FUSED DISCONNECT SWITCH IN ACCESSIBLE LOCATION NEXT TO UNIT. RUN (2) #10 THHN CU & (1) #10 GRD. IN 3/4" CONDUIT FROM 30A-2P BREAKER IN PANEL TO DISCONNECT SWITCH NEXT TO WATER HEATER. MAKE FINAL CONNECTION TO WATER HEATER. COORDINATE WITH PLUMBING CONTRACTOR PRIOR TO STARTING WORK.
- SWITCH BOTTOM HALF OF RECEPTACLE ONLY.
- MICROWAVE/ RANGE HOOD EXHAUST FAN RECEPTACLE IN CABINET ABOVE RANGE.
- INSTALL CLOSET LIGHT FIXTURE IN ACCORDANCE WITH SECTION #410-8 OF THE NATIONAL ELECTRIC CODE.
- MOUNT DOOR BELL HIGH ON WALL CLOSE TO CEILING. WIRE TO DOOR PUSHBUTTON. PAINT CHIME TO MATCH WALLS. VERIFY EXACT LOCATION PRIOR TO INSTALLATION.
- EXISTING ELECTRIC METER CENTER, TELEPHONE, & CATV PEDESTALS THIS END. PROVIDE LIGHT AND POWER ABOVE THE CEILING IN THE ATTIC SPACE AREA. FIELD VERIFY EXACT MOUNTING LOCATION AND REQUIREMENTS PRIOR TO INSTALLATION.
- PROVIDE POWER FOR SWITCHED LIGHT ABOVE KITCHEN SINK. FEED FROM KITCHEN LIGHTING CIRCUIT. FIELD VERIFY EXACT MOUNTING LOCATION AND REQUIREMENTS PRIOR TO INSTALLATION.

ELECTRICAL LEGEND



#	DATE	ISSUED WITH CHANGE DESCRIPTION
1	01.29.2019	HVAC changes
2	03.13.2019	HVAC changes

3401 / 3403 / 3405 / 3407 OLDE CAPE ST. E.
5179 / 5181 / 5183 / 5185 OLDE CAPE ST. N.
COLUMBUS, OHIO 43232
FIRE RESTORATION



7402 East Broad Street
Blacklick, Ohio 43004
Phone: 614.322.7050
Fax: 614.322.7049
www.aegld.com



SHEET # / DESCRIPTION
ELECTRICAL PLAN
E1-1
DATE: 04.30.2019
CONSTRUCTION DOCUMENTS
AEG PROJECT # 18183

04/30/19 - 15:03 - E1-1 DATE - 4/30/19 04:09:05

10/15/22-1 DATE: 10/15/22 CASE: 098-05
 10/15/22 DATE: 10/15/22 CASE: 098-05
 10/15/22 DATE: 10/15/22 CASE: 098-05

MECH EQUIPMENT SCHEDULE					
MARK	SIZE	VOLTS/PHASE	MCA	MOCP	FEEDER
FC-1	1/2HP (9KW HEAT)	240/1	28.4	30A	2#10 & 1#10 GRD IN 3/4" C.
ACCU-1	3 TON	240/1	11.8MCA	20A	2#12 & 1#12 GRD IN 3/4" C.
WH	6 KW	240/1	25 FLA	30A	2#10 & 1#10 GRD IN 3/4" C.

Oude Cape St. Inc.
 Electric Service Connections

Load	VA	Watts	VA
Refrigeration	11,800	11,800	11,800
Lighting	1,700	1,700	1,700
Wiring	500	500	500
Panel	1,000	1,000	1,000
Wiring	1,000	1,000	1,000
Wiring	1,000	1,000	1,000
Wiring	1,000	1,000	1,000
Wiring	1,000	1,000	1,000
Wiring	1,000	1,000	1,000
Wiring	1,000	1,000	1,000

Derating per NEC 250.67B
 Standard 100%
 Derating Factor
 Total
 Minimum Service Size
 Use 125 amp service

Feeder Wire Handout to Meter Center

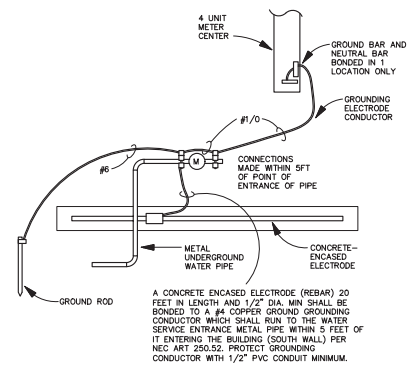
Item	Qty	Size	Length	Notes
1/2" x 1/2" x 1/2" EMT	1	1/2"	100'	From meter center to panel
1/2" x 1/2" x 1/2" EMT	1	1/2"	100'	From meter center to panel
1/2" x 1/2" x 1/2" EMT	1	1/2"	100'	From meter center to panel
1/2" x 1/2" x 1/2" EMT	1	1/2"	100'	From meter center to panel
1/2" x 1/2" x 1/2" EMT	1	1/2"	100'	From meter center to panel
1/2" x 1/2" x 1/2" EMT	1	1/2"	100'	From meter center to panel
1/2" x 1/2" x 1/2" EMT	1	1/2"	100'	From meter center to panel
1/2" x 1/2" x 1/2" EMT	1	1/2"	100'	From meter center to panel
1/2" x 1/2" x 1/2" EMT	1	1/2"	100'	From meter center to panel
1/2" x 1/2" x 1/2" EMT	1	1/2"	100'	From meter center to panel

Derating Per NEC 250.67B
 Standard 100%
 Derating Factor
 Total
 Minimum Service Size
 Use 600 amp 1 pole service to meter center

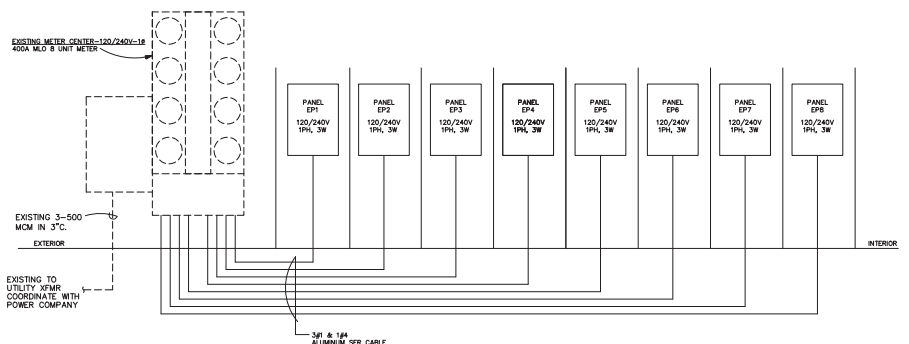
PANEL WIRING SCHEDULE 1-PHASE										
PANEL BOARD		"EP" LOAD CENTER		VOLTAGE 120/240		PHASE 1 WIRE 3		AC RATING 22,000		
PANEL TYPE		LOAD CENTER		MANS 125A M.C.B.L.		MANS RATING 125A		OPTIONS		
NEMA TYPE ENCLOSURE		1		MOUNTING RECESSED		NOTE		TYPICAL FOR UNITS 1-8		
DIST. NO.	LOAD DESCRIPTION	BRKLD. SIZE	NEC. KW	NEC. VA	PHASE	NEC. KW	NEC. VA	BRKLD. SIZE	LOAD DESCRIPTION	DIST. NO.
1	REC-REFRIGERATOR	AWG 0.800	A	2,450	A	2,450	A	40/2	ELECTRIC RANGE/OVEN (#8 AWG)	2
3	REC-HOTWATER	AWG 0.180	B	1,500	A	1,500	A			4
5	REC-RESTROOM	AWG 1.127	A	3,000	A	3,000	A			6
7	REC-COINWASHER	AWG 1.127	A	3,000	A	3,000	A			8
9	REC-PROPANE	AWG 0.720	A	3,000	A	3,000	A			10
11	REC-LIVING ROOM	AWG 0.720	A	3,000	A	3,000	A			12
13	REC-KITCHEN	AWG 0.720	A	3,408	A	3,408	A			14
15	REC-OUTSIDE	AWG 0.251	B	3,408	A	3,408	A			16
17	REC-OUTSIDE	AWG 0.180	A	1,416	A	1,416	A			18
19	SPACE									20
21	SPACE									22
23	SPACE									24

PANEL LOAD SUMMARY			BREAKER TYPES	
NEC	CONNECTED TOTALS		15 - HANDLE LOCK-OFF DEVICE	20 - GROUND FAULT INTERRUPTER
AWG	14,788	KVA	AWG	AWG
#8	13,545	KVA	AWG	AWG
TOTAL	28,336	KVA	CONNECTED LOAD	

LIGHTING SCHEDULE					VERIFY ALL FIXTURE TYPES AND FINISHES WITH ARCHITECT PRIOR TO ORDERING
DESIGNATION	MANUFACTURER	LAMPS	VOLTS	REMARKS	
CL1	BY G.C.	LED 8 WATTS	120V	PORCELAIN SOCKET WITH PULL STRING IN CLOSET AND ATTIC	
FL	BY G.C.	(3) LED 11 WATTS	120V	FAN LIGHT COMBO IN RESTROOM COORDINATE WITH HVAC CONTRACTOR	
D1	BY G.C.	LED 9 WATTS	120V	6" RECESSED DOWNLIGHT WITH WHITE TRIM CAN LIGHT	
V2	BY G.C.	(3) LED 9 WATTS	120V	18" WALL MOUNTED 2 LAMP VANITY LIGHT VERIFY FINISH TYPE	
R1	BY G.C.	LED 9 WATTS	120V	COMBO LIGHT/EXHAUST FAN VERIFY MOUNTING LOCATION	
SC1	BY G.C.	LED 9 WATTS	120V	OUTDOOR WALL LANTERN (TRADITIONAL)	
T1	BY G.C.	(3) LED 9 WATTS	120V	4" PIECE OF TRACK	



GROUNDING DETAIL N.T.S.



RISER DIAGRAM N.T.S.



7402 East Broad Street
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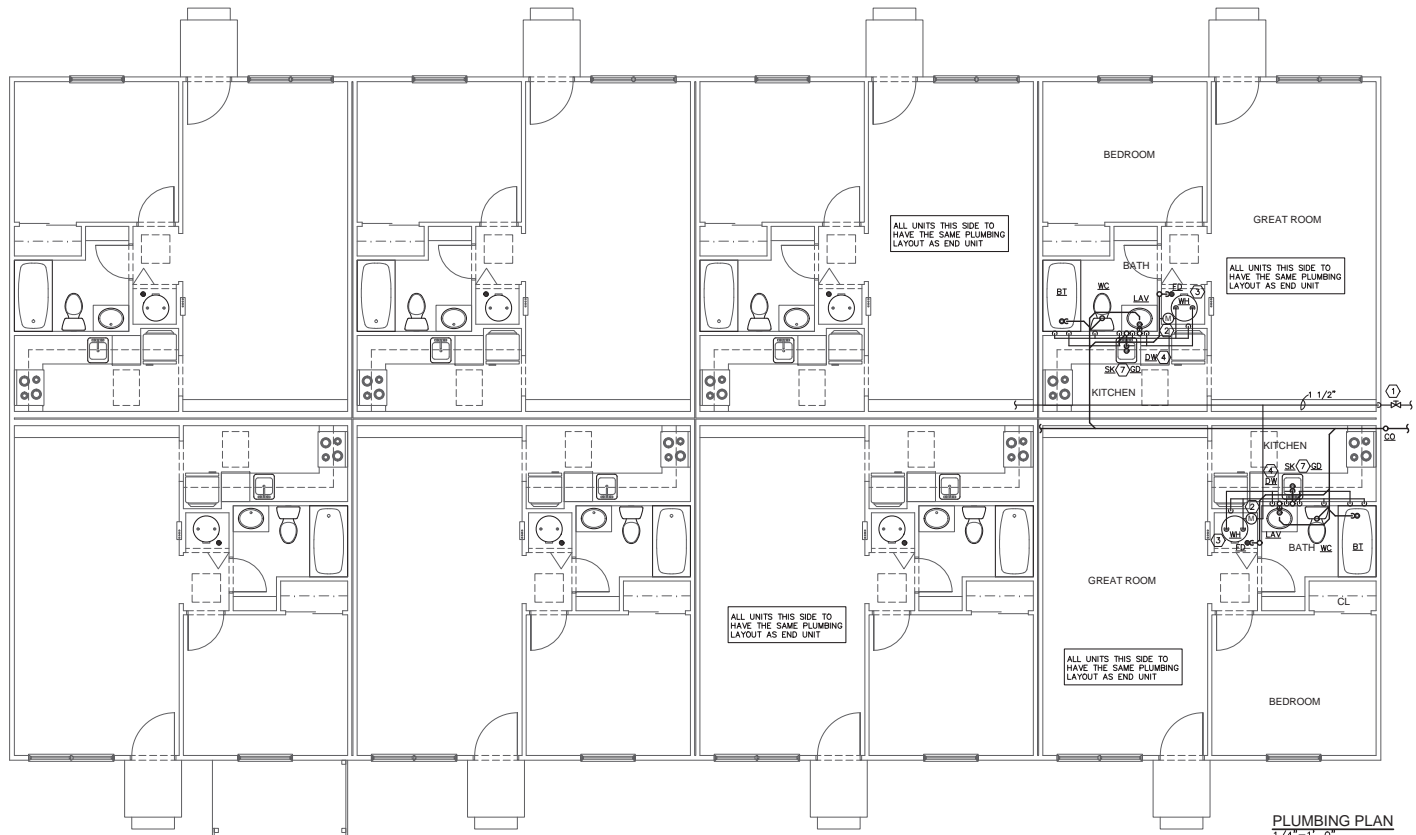
Case: VA-3956 Received: 11/14/19

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

3401 / 3403 / 3405 / 3407 OLDE CAPE ST. E.
 5179 / 5181 / 5183 / 5185 OLDE CAPE ST. N.
 COLUMBUS, OHIO 43222
 FIRE RESTORATION



	SHEET # / DESCRIPTION RISER SCHEDULES
	E2-1 DATE: 04-30-2019 CONSTRUCTION DOCUMENTS AEG PROJECT # 18183



PLUMBING PLAN
1/4"=1'-0"

GENERAL NOTES

- ALL CRITICAL DIMENSIONS, PLUMBING, MECHANICALS, LOCATIONS, AND SPECIFICATIONS SHOWN ON THE DRAWING FOR THE CONVENIENCE OF THE CUSTOMER, SHOULD BE CHECKED AND VERIFIED BY THE ARCHITECT, OWNER AND/OR CONTRACTOR. VERIFY EXACT LOCATIONS, ELEVATIONS AND CHARACTERISTICS OF UTILITIES AND PIPING BEFORE COMMENCEMENT OF WORK, AND IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. THE PLUMBING CONTRACTOR SHALL APPLY FOR ALL NECESSARY PERMITS AND SHALL SUBMIT INSPECTIONS AND APPROVALS AS REQUIRED.
- PLUMBING CONTRACTOR TO FURNISH ALL CONDENSATE DRAINS AND INDIRECT WASTE LINES REQUIRED FOR REFRIGERATION AND OTHER EQUIPMENT.
- PLUMBING CONTRACTOR TO VERIFY ALL DIMENSIONS PER ARCHITECTURAL DRAWINGS. PROCURE ALL PERMITS, PREPARE STACK DIAGRAMS, ETC. (IF REQUIRED) AND SUBMIT INSPECTIONS AND APPROVALS AS REQUIRED.
- WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE DESIGNER AND COMPANY CANNOT GUARANTEE AGAINST ERROR OR UNDESIGNED FIELD CONDITIONS. THE CONTRACTOR OR BUILDER MUST CHECK ALL DIMENSIONS AND DETAILS AND REPORT ANY DISCREPANCIES.
- PLUMBING CONTRACTOR MUST CHECK EQUIPMENT NOT IN CONTRACT SO THAT THE SERVICE REQUIREMENTS ARE CORRECTLY TYPED, ACCURATELY SIZED AND ROUGHED-IN PROPERLY SO AS TO MINIMIZE THE AMOUNT OF MATERIALS AND FITTINGS NEEDED FOR FINAL HOOK-UP RESULTING IN A NEAT AND ORDERLY LOOKING INSTALLATION.
- ALL SERVICES SHOWN WITH SYMBOLS CENTERED ON FACE OF WALL SHOULD BE BROUGHT TO THAT POINT, CONCEALED IN WALL, AND STUBBED OUT OF WALL CENTERED AT HEIGHT SHOWN BY ENGINEER DRAWINGS. DO NOT STUB OUT FLOOR AND RUN EXPOSED UP FACE OF WALL.
- ALL SERVICES SHOWN WITH SYMBOLS AWAY FROM ANY WALL OR COLUMN SHOULD BE STUBBED OUT OF FLOOR TO A MAXIMUM OVERALL HEIGHT AS SHOWN BY ENGINEER DRAWINGS.
- UNLESS OTHERWISE NOTED ALL LABOR, FAUCETS, TRAPS, STOPS, GATE VALVES, GAS COCKS, WATER HAMMER ARRESTERS, WALL CLEANOUTS, CLEANOUT COVERS, FLEX CONNECTIONS, SHUT-OFF VALVES, INDIRECT WASTE TO AN APPROVED RECEPTOR AND ALL NECESSARY TRIM FOR A COMPLETELY INSTALLED & CONNECTED PLUMBING SYSTEM AND AS NECESSARY TO COMPLY WITH ALL CODES, INCLUDING ALL INTERCONNECTIONS, TO BE FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR.
- ALL WORK SHALL BE PERFORMED IN A NEAT AND PROFESSIONAL MANNER USING GOOD ENGINEERING PRACTICES. ALL WORK SHALL CONFORM TO STATE'S, COUNTY'S, CITY'S AND LOCAL CODES AND ORDINANCES, SAFETY AND HEALTH CODES, NFPA CODES, ENERGY CODES AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS. THE CONTRACTOR SHALL INQUIRE INTO AND COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. AFTER CONTRACT IS ISSUED, NO ADDITIONAL COST DUE TO CODE ISSUES SHALL BE REBURSED BY THE OWNER TO THE CONTRACTOR.

- INSULATE ALL WATER AND INTERIOR CONDENSATE PIPING WITH 1" THICK (K=0.23 @ 75 F) SNAP-ON FIBERGLASS PIPE INSULATION WITH AN ALL SERVICE JACKET TO MEET LOCAL CODES AND UL FLAME SPREAD RATING OF 25 AND SMOKE DEVELOPED RATINGS OF 50. APPROVED MANUFACTURER: MANULIFE MICRO-LOK.
- ALL WATER AND INTERIOR CONDENSATE PIPING THAT IS RUN IN EXTERIOR WALLS TO BE RUN ON INTERIOR SIDE OF WALL INSULATION FIELD COORDINATE.
- TERMINATE ALL VENT AND FLEE OUTLETS AT 10'-0" MIN. FROM ANY FRESH AIR INTAKES OR PER LOCAL JURISDICTION.
- INSTALL ALL PLUMBING TO AVOID INTERFERENCE WITH ELECTRICAL AND MECHANICAL EQUIPMENT AND STRUCTURAL FRAMING. NO WATER OR DRAIN LINES PERMITTED OVER OR UNDER ELECTRICAL PANELS.
- RECORD ON AS-BUILT DRAWINGS, ALL SIZES, LOCATIONS, INVERTS AND MATERIALS OF EXISTING PIPES THAT ARE ENCOUNTERED AND NEW PIPES INSTALLED DURING THE COURSE OF THE PROJECT. DELIVER AS-BUILTS TO CONSTRUCTION MANAGER AT THE END OF THE PROJECT.
- UPON COMPLETION OF JOB, INSPECT ALL EXPOSED PORTIONS OF THE PLUMBING INSTALLATIONS AND COMPLETELY REMOVE ALL EXPOSED LABELS, SOLI, MARKINGS, AND FOREIGN MATERIAL EXCEPT PRODUCT LABELS AND THOSE REQUIRED BY LAW AND LOCAL CODES.
- VERIFY ALL EQUIPMENT AND APPLIANCE CONNECTION SIZES PRIOR TO MAKING FINAL CONNECTION. AS REQUIRED, REDUCE BRANCH PIPE SIZING JUST PRIOR TO CONNECTION TO UNIT, TO MATCH EQUIPMENT CONNECTION SIZES.
- POTABLE WATER TO BE DISINFECTED PER LOCAL CODES. IF LOCAL CODE HAS NO REQUIREMENTS OR DIRECTIONS, SEE BELOW FOR DISINFECTATION STEPS.
 - THE PIPE SYSTEM SHALL BE FLUSHED WITH CLEAN POTABLE WATER UNTIL DIRTY WATER DOES NOT APPEAR AT THE POINTS OF OUTLET.
 - THE SYSTEM OR PART THEREOF SHALL BE FILLED WITH A WATER/CHLORINE SOLUTION CONTAINING AT LEAST 50 PARTS PER MILLION OF CHLORINE, AND THE SYSTEM OR PART THEREOF SHALL BE VALVED OFF AND ALLOWED TO STAND FOR 24 HOURS, OR THE SYSTEM OR PART THEREOF SHALL BE FILLED WITH A WATER/CHLORINE SOLUTION CONTAINING AT LEAST 200 PARTS PER MILLION OF CHLORINE AND ALLOWED TO STAND FOR 3 HOURS.
 - FOLLOWING THE REQUIRED STANDING TIME, THE SYSTEM SHALL BE FLUSHED WITH CLEAN POTABLE WATER UNTIL THE CHLORINE IS PURGED FROM THE SYSTEM.
 - THE PROCEDURE SHALL BE REPEATED WHERE SHOWN BY A BACTERIOLOGICAL EXAMINATION THAT CONTAMINATION REMAINS PRESENT IN THE SYSTEM.

PLUMBING FIXTURE SCHEDULE

- WC** WATER CLOSET - AMERICAN STANDARD #215CA.104, TANK TYPE, (1.28 GAL./FLUSH) FLOOR MOUNTED WATER CLOSET WITH ELONGATED BOWL, FURNISH WITH #521-110 SEAT AND COVER, OR EQUAL AS APPROVED BY OWNER
- LAV** LAVATORY - AMERICAN STANDARD #0476028 AQUALYN COUNTER MOUNT VITREOUS CHINA SINK, FAUCET: AMERICAN STANDARD #7075.202, LEVER HANDLES, AND POP-UP DRAIN, 1.2 GPM. INSTALL WITH AN ASSE 1070 LISTED MIXING VALVE, OR EQUAL AS APPROVED BY OWNER
- SK** KITCHEN SINK - AMERICAN STANDARD #22DB6332845.075 COUNTER MOUNTED, SELF-DRAINING DOUBLE BOWL, STAINLESS STEEL SINK, FAUCET: AMERICAN STANDARD #4285.951, GOOSENECK SPOUT, LEVER HANDLES, 2.2 GPM, MATCHING COLOR SPRAYEAD OR EQUAL AS APPROVED BY OWNER
- BT** BATH TUB WITH SHOWER - AMERICAN STANDARD #2848 BATH TUB WITH #2848.BW BATH AND SHOWER TRIM KIT AND BRITISS PRESSURE BALANCE VALVE, ASSE 1018 COMPLIANT WITH SCREWDRIVER STOPS. INSTALL VALVE PER MANUFACTURER'S INSTRUCTIONS TO LIMIT MAXIMUM TEMPERATURE TO 120°F. OR EQUAL AS APPROVED BY OWNER
- SH** WATER HEATER - A.O. SMITH #PNS-30, 30 GALLON, 6KW, 21 GPH RECOVERY @ 90°F RISE, 240V, OR EQUAL AS APPROVED BY OWNER
- FD** FLOOR DRAIN - SIOUX CHIEF MODEL #840 SERIES WITH 18 GA. STAINLESS STEEL STRAINER, OR EQUAL AS APPROVED BY OWNER
- CD** CLEANOUT - SIOUX CHIEF MODEL #852 SERIES ADJUSTABLE CLEANOUT WITH NICKEL-BRONZE RING AND COVER, OR EQUAL AS APPROVED BY OWNER
- WCQ** WALL CLEANOUT - SIOUX CHIEF MODEL #875 SERIES WITH STAINLESS STEEL COVER OR EQUAL AS APPROVED BY OWNER
- DW** DISHWASHER - AS APPROVED BY OWNER
- TP** TRAP PRIMER - SIOUX CHIEF 695 TRAP PRIMERS, ASSE 1018 LISTED, OR EQUAL AS APPROVED BY OWNER
- WA** WATER HAMMER ARRESTOR - SIOUX CHIEF WATER HAMMER ARRESTORS, ASSE 1010 LISTED, OR EQUAL AS APPROVED BY OWNER

CODED NOTES

- CONNECT TO EXISTING DOMESTIC WATER SERVICE IN THIS VICINITY. FIELD COORDINATE WITH G.C. FIELD VERIFY EXACT LOCATIONS, CONDITIONS, AND REQUIREMENTS.
- PROVIDE AND INSTALL NEW REMOTE READ WATER SUB METER, SHUT OFF VALVES, AND BACKFLOW PREVENTER AS REQUIRED BY OWNER, LOCAL UTILITY AND LOCAL CODE REQUIREMENTS. FIELD VERIFY EXACT LOCATIONS, CONDITIONS, AND REQUIREMENTS.
- PROVIDE AND INSTALL NEW 8X6, 24X19, 18, 30 GALLON ELECTRIC WATER HEATER, INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND LOCAL CODE REQUIREMENTS. FIELD COORDINATE WITH ELECTRICAL CONTRACTOR. FIELD VERIFY EXACT LOCATIONS, CONDITIONS, AND REQUIREMENTS.
- PROVIDE AND INSTALL NEW DISHWASHER PER MANUFACTURER'S RECOMMENDATIONS AND LOCAL CODE REQUIREMENTS. DISHWASHER TO DRAW THROUGH GARBAGE DISPOSAL AT SINK. FIELD COORDINATE WITH ELECTRICAL CONTRACTOR. FIELD VERIFY EXACT LOCATIONS, CONDITIONS, AND REQUIREMENTS.
- CONNECT TO EXISTING SANITARY PIPING PER LOCAL CODE REQUIREMENTS IN THIS VICINITY. FIELD COORDINATE WITH G.C. FIELD VERIFY EXACT LOCATIONS, CONDITIONS, AND REQUIREMENTS.
- PROVIDE AND INSTALL NEW VENT THRU ROOF IN THIS VICINITY. VENT TO BE A MINIMUM OF 10'-0" FROM ANY FRESH AIR INTAKE. FIELD VERIFY EXACT LOCATIONS, CONDITIONS AND REQUIREMENTS.
- PROVIDE AND INSTALL GARBAGE DISPOSAL AT THIS SINK. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND LOCAL CODE REQUIREMENTS. FIELD VERIFY EXACT LOCATIONS, CONDITIONS AND REQUIREMENTS.

PLUMBING LEGEND

EX CW	EXISTING COLD WATER
CW	COLD WATER
EX HW	EXISTING HOT WATER
HW	HOT WATER
EX SAN	EXISTING SANITARY
SAN	SANITARY
EX SAN VENT	EXISTING SANITARY VENT
SAN VENT	SANITARY VENT
EX G	EXISTING GAS
G	GAS
FD	FLOOR DRAIN
FS	FLOOR SINK
D	DROP
BV	BALL VALVE
GV	GATE VALVE
BLV	BALANCE VALVE
VT	VENT THRU ROOF

* ALL SYMBOLS MAY NOT BE USED

#	DATE	ISSUED WITH CHANGE DESCRIPTION

3401 / 3403 / 3405 / 3407 OLDE CAPE ST. E.
5179 / 5181 / 5183 / 5185 OLDE CAPE ST. N.
COLUMBUS, OHIO 43222

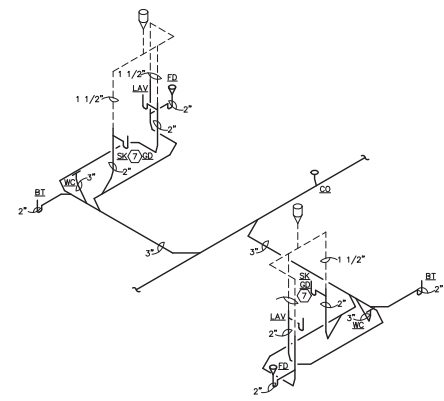
FIRE RESTORATION
PREPARED FOR:



7402 East Broad Street
Blacklick, Ohio 43004
Phone: 614.322.7050
Fax: 614.322.7049
www.aegld.com

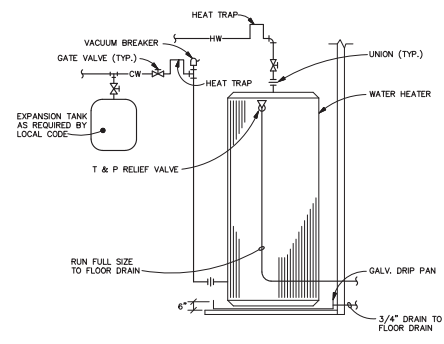


SHEET # / DESCRIPTION
PLUMBING PLAN
P1-1
DATE: 04.30.2019
CONSTRUCTION DOCUMENTS
AEG PROJECT # 18183

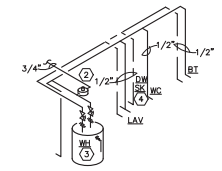


SANITARY STACK
N.T.S.

SEE SHEET P1-1 FOR CODED NOTES AND PLUMBING FIGURE SCHEDULE



WATER HEATER DETAIL
N.T.S.



WATER RISER
N.T.S.

PLUMBING LEGEND

— EX CW —	EXISTING COLD WATER
— CW —	COLD WATER
— EX HW —	EXISTING HOT WATER
— HW —	140°F HOT WATER
— EX SAN —	EXISTING SANITARY
— SAN —	SANITARY
— Y —	SANITARY VENT
— EX G —	EXISTING GAS
— G —	GAS
Ⓧ	FLOOR DRAIN
Ⓞ	DROP
Ⓚ	BALL VALVE
Ⓜ	GATE VALVE
Ⓛ	BALANCE VALVE
Ⓢ	VENT THRU ROOF

* ALL SYMBOLS MAY NOT BE USED

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

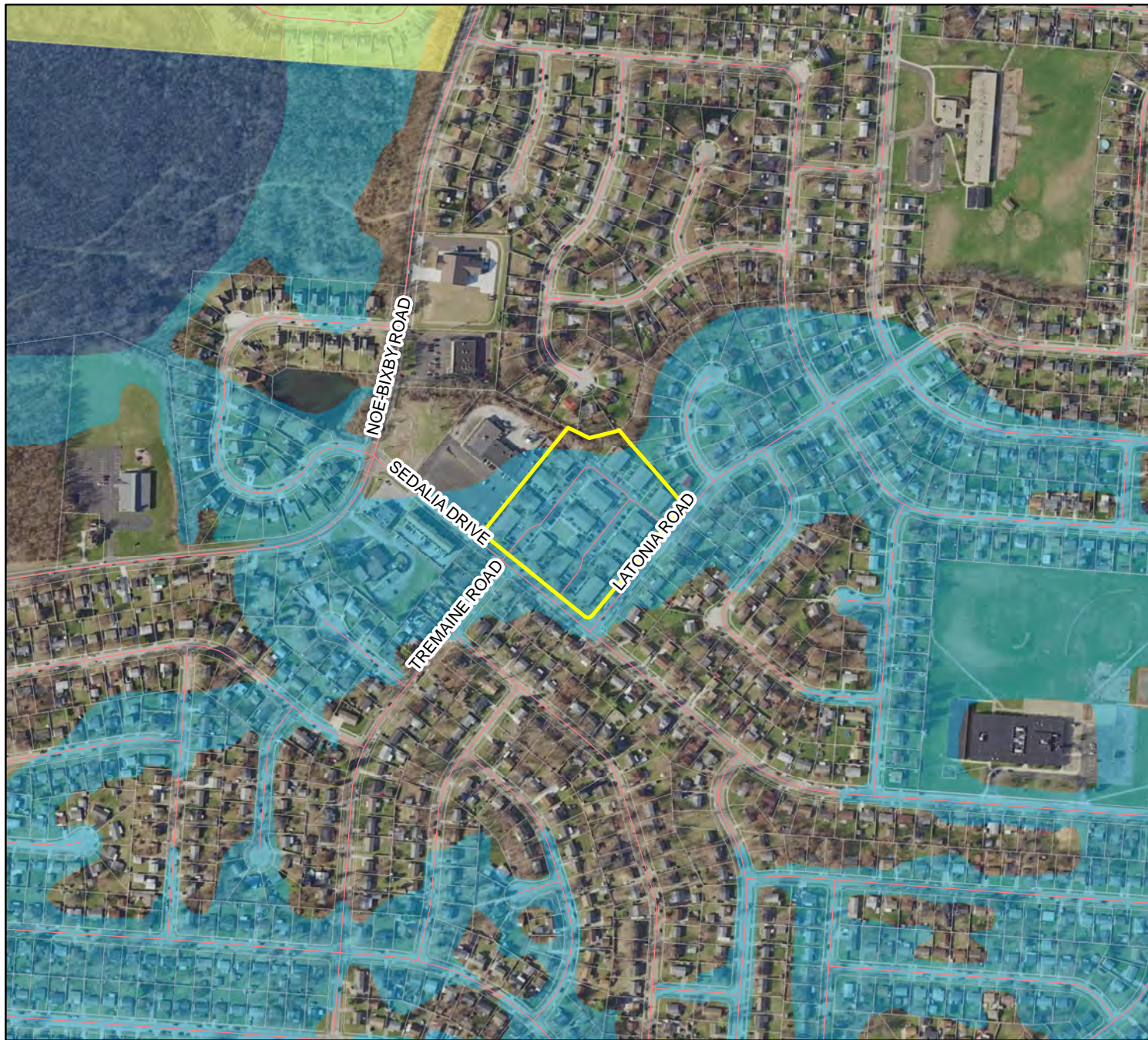
3401 / 3403 / 3405 / 3407 OLDE CAPE ST. E.
5179 / 5181 / 5183 / 5185 OLDE CAPE ST. N.
COLUMBUS, OHIO 43222
FIRE RESTORATION
PREPARED FOR:



DATE OF ORIGINAL: 6/13/18

DAN R. RHODES E-67289 REGISTERED PROFESSIONAL ENGINEER







SHEET # / DESCRIPTION
PLUMBING ISOMETRICS
P2-1
DATE: 04-30-2019
CONSTRUCTION DOCUMENTS
AEG PROJECT # 18183

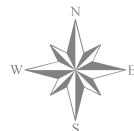
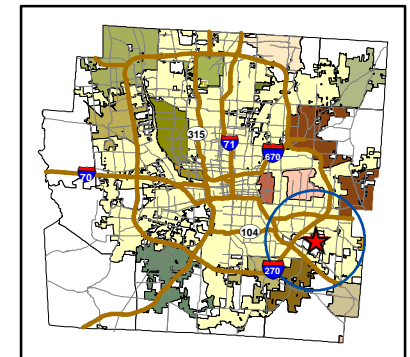


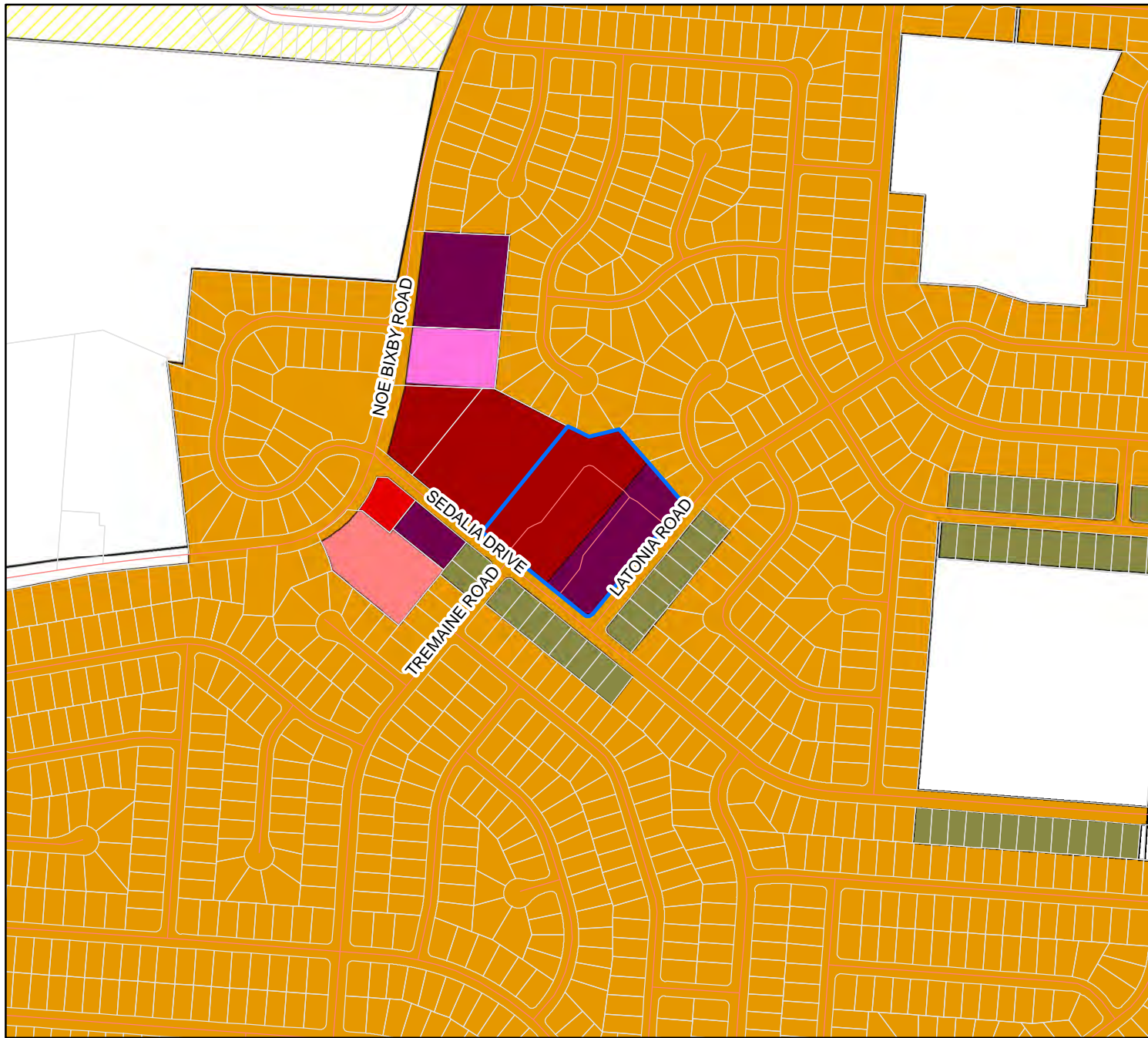
VA-3956

Requesting Variances from Section 610.081(1) of the Franklin County Zoning Resolution and Sections 4.1-2(1), 4.1-2(3) and 4.2-1(A(1)) of the Franklin County Special Resolution NFIP Regulation to allow for construction of an apartment building in the floodplain that fails to meet elevation requirements and will be built with materials that are not resistant to flood damage.

Acres: 5.56
Township: Madison

-  7000 Lithopolis Road
-  Streets
-  Parcels
-  Floodway
-  Floodway Fringe
-  Columbus













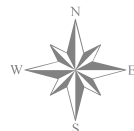
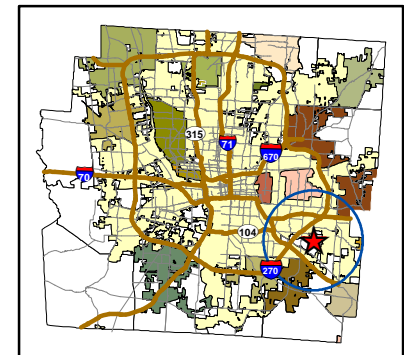


VA-3956

Requesting Variances from Section 610.081(1) of the Franklin County Zoning Resolution and Sections 4.1-2(1), 4.1-2(3) and 4.2-1(A(1)) of the Franklin County Special Resolution NFIP Regulation to allow for construction of an apartment building in the floodplain that fails to meet elevation requirements and will be built with materials that are not resistant to flood damage.

Acres: 5.56
Township: Madison

-  Streets
 -  Parcels
- Franklin County Zoning**
-  Rural
 -  Restricted Urban Residential
 -  Urban Residential
 -  Suburban Apartment Residential
 -  Suburban Office and Institutional
 -  Neighborhood Commercial
 -  Community Commercial
 -  Community Service








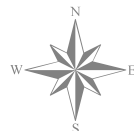
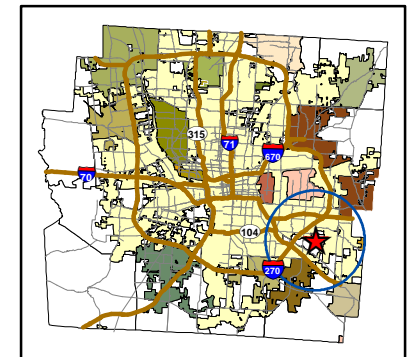


VA-3956

Requesting Variances from Section 610.081(1) of the Franklin County Zoning Resolution and Sections 4.1-2(1), 4.1-2(3) and 4.2-1(A(1)) of the Franklin County Special Resolution NFIP Regulation to allow for construction of an apartment building in the floodplain that fails to meet elevation requirements and will be built with materials that are not resistant to flood damage.

Acres: 5.56
Township: Madison

-  7000 Lithopolis Road
-  Streets
-  Parcels
-  Floodway
-  Floodway Fringe



11/11/19



Franklin County Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for

Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 1 of 7



(revised 7.13.19)

Property Information

Site Address: 3401-3407 and 5179-5184 Olde Cape ST E & N

Parcel ID: 180-004671 Zoning District:

Lot Acreage: 5.56 Township: Madison

Property Owner Information

Name: Sedalia Drive LLC

Address: 6724 Perimeter Loop Rd #103
Dublin OH 43107

Phone # 614-306-6230 Fax # N/A

Email: RSHEP1958@YAHOO.COM

Applicant Information

Same as property owner

Name: Same as property owner

Address:

Phone # Fax #

Email:

Agent Information

Name: Thomas L. Hart, Attorney

Address: Two Miranova Pl, ste. 700
Columbus OH 43215

Phone # 614-340-7415 Fax # 614-365-9516

Email: thart@isaacwiles.com

Staff Use Only

Case # VA- 3956

Date Filed: 11/14/19

Received By: BMF

Fee Paid: \$350

Receipt Number: 19-04274

Hearing Date: 12/16/19

Technical Review: 11/26/19

Zoning Compliance #: RZ-19-400

Checklist

- Completed Application
- Fee Payment (checks only)
- Auditor's Map (8.5"x11")
- Site Map (max 11"x17")
- Covenants and deed
- Notarized signatures
- Proof of water/wastewater supply
- Copy of denied Zoning Certificate *Not denied*
- Copy of denial letter

Water & Wastewater

Water Supply

Public (Central)

Private (On-site)

Other

Wastewater Treatment

Public (Central)

Private (On-site)

Other



VA-3956



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

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James Schimmer, Director

Application for

Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 2 of 7



Case# VA-

Variance(s) Requested:

Section:

See attached

Description:

Section:

Description:

Section:

Description:

Describe the project:

See attached

NOTE: To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.

See attached

Attachment to Zoning Variance Application

Subject Property: 3401-3407 Olde Cape Street East and 5179-5185 Olde Cape Street North

Parcel No.: 180-004671

Variance(s) Requested:

Franklin County Zoning Resolution, Section 610.081(1). The BFE is 755.9' ASL and the floodway computation increase for the property is 0.5'. This means that the lowest floor, including basement, must be at or above 757.4' ASL. The proposed building has a lowest floor elevation of 749.32' ASL, a difference of 8.08'.

Franklin County Special Resolution NFIP Regulation

A. Section 4.1-2(1) All new construction shall be constructed with materials resistant to flood damage.

B. Section 4.1-2(3) All new construction shall be constructed with electrical, heating, ventilation, plumbing and air conditioning equipment and other service facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.

C. Section 4.2-1(A)(1) Flood protection shall be achieved by elevating the structure; the lowest floor, including basement shall be at least 1 foot plus floodway computation increases above the base flood elevation.

See these as addressed in Applicants

Project Description:

The apartment building was damaged by fire and is under reconstruction. The building foundation, which is a pre-existing, non-compliant condition, cannot be changed or altered in a manner that makes reconstruction feasible. Only the structure above the foundation is proposed for reconstruction. There are 14 other existing buildings in the apartment community with foundations in the same or similar location.



Franklin County
Board of Commissioners

**ECONOMIC DEVELOPMENT
& PLANNING**

Economic Development & Planning Department
James Schimmer, Director

Application for

Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 3 of 7



Case# VA-

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

See attached

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

See attached

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

See attached

6. Can there be any beneficial use of the property without the variance?

See attached



Franklin County
Board of Commissioners

**ECONOMIC DEVELOPMENT
& PLANNING**

Economic Development & Planning Department
James Schimmer, Director

Application for

Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 4 of 7



Case# VA-

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

See attached

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

See attached

9. How would the variance adversely affect the delivery of governmental services? (e.g., water, sewer, garbage, fire, police - Verification from local authorities - i.e. fire might be required)

See attached

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

See attached

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

See attached

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

See attached



Franklin County Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for

Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 5 of 7



Case# VA-

Affidavit **

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form and all applicable requirements of the Franklin County Zoning Resolution. The affiant further acknowledges that a Certificate of Zoning Compliance may only be issued for an approved Variance within the period of one (1) year from the date of final approval by the Board of Zoning Appeals; if an approved Variance has not been used within one (1) year of its date of issuance, meaning there has not been active and substantial improvement to a property in accordance with a valid Variance, then the Variance shall expire and no work may commence or continue without either renewing the Variance or receiving a new Variance approval from the Board of Zoning Appeals in accordance with Section 810 of the Franklin County Zoning Resolution.

Applicant/Authorized Agent *

Selvia Drive LLC,
Selvia Dr. LLC

Property Owner (signature must be notarized)

By: Robert R Shephard, President

Property Owner (signature must be notarized)

Date

11-13-19

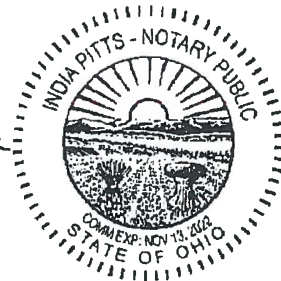
Date

11-13-19

Date

- *Agent must provide documentation that they are legally representing the property owner.
- **Approval does not invalidate any restrictions and/or covenants that are on the property.

X Richard
X 11/13/2019



**ATTACHMENT AND NARRATIVE TO
ZONING VARIANCE APPLICATION**

Franklin County BZA

**Subject Property: 3401-3407 Olde Cape Street East and 5179-5185 Olde Cape
Street North**

November 14, 2019

Section 810.04 and BZA Application Criteria

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.

The special circumstances are that the subject apartment building was damaged by fire and is under reconstruction. The building foundation, which is in a pre-existing, non-compliant condition, cannot be changed or altered in a manner that makes reconstruction feasible. For this reason, only the structure above the foundation is proposed for reconstruction. The building foundation is similarly located in terms of elevation and constructed in the same manner as the 14 other existing and unaltered buildings in the apartment community. The risk of flood is not greater from the reconstruction as the pre-existing foundation elevation is not changing and has been the same for many years. (The original construction dates from 1971. It is unclear if floodplain mapping applied to the site at that time.) These points address Section 610.081(1) of the Zoning Resolution because the basement elevation, floor levels and the foundation itself were already permitted. The applicant seeks approval for reconstruction above the foundation because altering the foundation is not economically feasible and such reconstruction does not create greater flood risk than existed since 1971. The issues from which relief is sought under this application include the zoning compliance interpretation of "substantial construction" which in this case is being applied to the unchanged portion of the building – the existing, unaltered foundation. The foundation is not new construction, but considering its use as "substantial construction", and treating it as new, triggers the non-compliance.

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

It would be uneconomic to raise the finish floor elevation of the building foundation level or otherwise alter the existing foundation. Such action would not provide much additional flood protection because the other 14 buildings in the apartment community and in close proximity remain in the same condition, with a similar flood elevation and

are unaltered by the zoning compliance approval sought. Other existing adjacent buildings exist in the floodplain of a similar construction vintage. The actions by the applicant to provide flood vents in the existing foundation and move electric panels, furnaces and all utility outlets inside the units will mitigate flood damage more than the pre-fire condition of the building. There are other pre-existing, non-conforming structures in this zoning district, including the other 14 buildings on this site. Without the variance approval, the applicant will not be permitted to complete the reconstruction and will lose the market value of an eight-unit apartment building. This market value has been estimated at \$432,000 but the insurance replacement value for the building is much greater at \$869,362. In addition, the associated rental income the building would generate in the future would be lost. Other un-altered, pre-regulation approved buildings in this zoning district continue to be occupied with similar foundation elevations within the flood zone. It is only because the flood plain regulations are being applied to the reconstruction of the building and an existing foundation elevation that the zoning non-conformance is at issue.

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

The building suffered fire damage, had to be torn down to the existing foundation, and reconstructed. The property owner is only trying to reconstruct the fire damaged portion of the building to re-create the same structure as it existed, which is also the same as the other buildings in the apartment community. It's not economically viable to alter the existing foundation in the manner required by the current flood plain regulations. The buildings and the foundation of the subject building pre-existed the flood plain regulation being applied as a matter of zoning compliance that is sought to be varied. (First adoption by Franklin County September 26, 1978.) The owner did not anticipate an existing, unaltered foundation being treated as new construction.

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

The variances sought only seek to place the property owner in the same economic position as before the fire damage and replace the building as it existed. The foundation cannot be otherwise altered in an economic manner. Replacing this structure is not a special privilege but would only return the owner and the building to its former, pre-loss position. There are no other options available to the owner. In fact, if the variance is not granted, the property owner will not be able to reconstruct the building. This would cause a total economic loss to the property owner, which is unduly harsh.

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

No. There would be no change to current status of the building as to flood risk. The applicant is proposing the installation of flood vents in the existing foundation, placing furnaces in attics, raising electrical panels, raising electric, phone and cable outlets above the Base Flood Elevation inside each unit. The applicant would consider the additional mitigation steps of raising outside electrical meter elevations, water heaters and A/C units above the Base Flood Elevation for the building and all units if the same would be code compliant and the existing protection of the community's transformer and its ground fault circuit interruption system that shuts power off to all buildings prior to flood water reaching this building is not deemed protective enough. These proposals of the applicant address Section 4.1-2(3) of the variance criteria cited in the denial letter.

6. Can there be any beneficial use of the property without the variance?

No. The owner would simply not be able to reconstruct the subject building, thereby experiencing a total economic loss. This is a harsh and unfair result considering the building and foundation existed for 48 years in the same location/elevation and the building has not experienced flood damage during the current ownership, since 2011.

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet – Required frontage vs. proposed)

Pursuant to Section 610.081(1) Buildings are not permitted with floor levels below the base flood elevation. The lowest floor, including basement, shall be at least 1 foot plus floodway computation increases above the base flood elevation.

- The BFE is 755.9' ASL and the floodway computation increase for the property is 0.5'. The lowest floor, including basement, must be at or above 757.4' ASL.
- The foundation has a lowest floor elevation of 749.32' ASL, a difference of 8.08' ASL.
- When the existing condition, elevation and area of the crawl space is factored in the variance requested is from 753.73" to 757.40', which represents a difference of approximately 3.67'. This is a less substantial variance from the provisions 610.081(1).

Addressing section 4.2-1(A)(1) there is no feasible method to raise the basement level and elevate this structure above the Base Flood Elevation as the existing foundation remains in place. The only method available would be to tear out the existing foundation and replace it. This is not economically feasible.

Addressing section 4.1-2(1) it is not economically feasible to replace and reconstruct this building with flood resistant material, such as brick. The insurance replacement cost covers only replacing building materials with the previous, like materials. This project is the replacement of an existing building and section 4.1-2(1) refers to “new construction”, which has a different cost basis and design standards. The foundation construction and location are not new.

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

No. The other apartment buildings in the community are the all the same or very similar to this one before the fire damage and in terms of the foundation locations relative to the Base Flood Elevation.

9. How would the variance adversely affect the delivery of governmental services? (e.g. water, sewer, garbage, fire, police – Verification from local authorities – i.e. fire might be required)

It would not affect delivery of services. Steps proposed by the applicant to mitigate flood damage, included installing flood vents in the existing foundation, placing furnaces in attics, raising electrical panels, raising electric, phone and cable outlets above the Base Flood Elevation inside each unit. The applicant would consider the additional mitigation steps of raising outside electrical meter locations, water heaters and A/C units above the Base Flood Elevation for the building and all units if the same would be code compliant and the existing protection of the community’s transformer and its ground fault circuit interruption system that shuts power off to all buildings prior to flood water reaching this building is not deemed protective enough. All these steps mitigate impacts on local first responders and governmental services.

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

No. The property owner was aware of the requirement to purchase and maintain flood insurance and has done so throughout the ownership period but was not aware that zoning compliance would be an issue upon reconstruction above an existing foundation that is not being altered. The issue from which relief is sought includes the zoning compliance interpretation of “substantial construction” which in this case is being applied to an unchanged portion of the building – the existing, unaltered foundation – which creates the non-compliance. This interpretation was not known to the applicant/property owner upon purchase.

11. Could the applicant’s predicament feasibly be obtained through some method other than a variance?

No. Without the variances sought, the property owner will experience a total economic loss for the building.

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

Yes. The circumstances are case specific and unique to this situation. A fire occurred in one building of the apartment community, and the property owner is reconstructing the building in the same manner it existed previously, which matches every other building in the community. Although the building is being reconstructed, and this is interpreted as substantial construction, the foundation remains in the pre-fire, existing condition, location and flood elevation. Substantial justice can be achieved by granting the variance with the flood mitigation measures provided, including flood vents and relocation of electric and other utility outlets and furnaces above the flood elevation, which is in addition to the existing transformer location for the entire community and its ground fault circuit protection system.

SECTION 3.5-2 FRANKLIN COUNTY SPECIAL NFIP REGULATIONS

3.5 VARIANCE PROCEDURE

3.5-1 VARIANCE BOARD

(1) Extraordinary circumstances may exist making a strict enforcement of the applicable standards of this resolution unreasonable and, therefore, a procedure for Variance is provided to allow for the flexibility necessary to adapt to changed or unusual conditions, both foreseen and unforeseen.

For this reason the Franklin County Commissioners have created a Board of Zoning Appeals to hear requests for Variance. Appeals from any decision of the Board may be

taken by any person or persons aggrieved by any decision of the Board to the Franklin County Court of Common Pleas.

(2) In passing upon a Variance request, the Board shall consider all technical evaluations, all relevant factors, standards specified in other sections of this resolution, and:

a. the danger that materials may be swept onto other lands to the injury of others;

There is no greater risk of this compared to the prior building and other similar buildings in the community. Modern construction methods likely decrease such risk compared to previous construction.

b. the danger to life and property due to flooding or erosion damage;

There is no greater risk of this compared to the prior building and other similar buildings in the community. Risk is likely reduced based on documented mitigation methods, such as flood venting in foundation walls. The electric transformer for the entire community is located closer to the flood zone and includes a ground fault circuit interrupter that would cut power to all buildings prior to flood water reaching the subject building.

c. the susceptibility of the proposed facility and its contents to flood damage and the effect of such damage on the individual owner;

Same as (b) above.

d. the importance of the services provided by the proposed facility to the community;

Affordable housing, like the other 14 existing buildings in the community.

e. the availability of alternative locations for the proposed use which are not subject to flooding or erosion damage;

There is other such housing available, but currently demand for such housing is high and supply is low.

f. the necessity to the facility of a waterfront location, where applicable;

N/A

g. the compatibility of the proposed use with existing and anticipated development;

The proposed re-built use matches the existing development and the pre-existing 14 similar apartment buildings.

h. the relationship of the proposed use to the comprehensive plan and floodplain management program for that area;

This is an existing apartment community that was completed around the time of the original creation of the National Flood Insurance Program. Construction was completed in 1971 and has existed since then. It is not clear how NFIP regulations were applied or if applied to the original construction.

i. the safety of access to the property in times of flood for ordinary and emergency vehicles;

Safety vehicle access is not altered.

j. the expected heights, velocity, duration, rate of rise, and sediment transport of the flood waters and the effects of wave action, if applicable, expected at the site; and,

This has not been evaluated and some provisions may not be applicable but these factors would not be different for the existing 14 buildings on site, the existing foundation that is not being replaced or the previous building structure sought to be reconstructed.

k. the costs of providing governmental services during and after flood conditions, including maintenance and repair of public utilities and facilities such as sewer, gas, electrical, and water systems, and streets and bridges.

These factors would not be different for the existing 14 buildings on site, the existing foundation that is not being replaced or the previous building structure sought to be reconstructed.

3.5-2 CONDITIONS FOR VARIANCE

(1) Variances shall not be issued within any designated floodway if any increase in flood levels during the base flood discharge would result.

The foundation of the building proposed for reconstruction is in the same position as it has existed since 1971 and is similar to the other 14 existing apartment buildings in the community, thus an increase in flood levels are not expected. Added flood vents in the foundation structure should help mitigate flood damage.

(2) Variances shall only be issued upon a determination that the variance is the minimum necessary, considering the flood hazard, to afford relief.

Considering the potential for flood damage and that as to flood risk, the existing condition is sought to be restored, the variance requests are minimal.

(3) Generally, variances may be issued for new construction and substantial improvements to be erected on a lot of one-half acre or less in size contiguous to and surrounded by lots with existing structures constructed below the Base Flood level, providing items (a-k) in Section 14

The re-construction involved encompasses one building and the replacement of fire-damaged structures above the existing foundation and is less than one-half acre in

footprint. The other 14 buildings on site surrounding this one are of a similar Base Flood Elevation and are unchanged.

3.5-1(2) have been fully considered. As the lot size increases beyond one-half acre, the technical justification required for issuing the variance increases.

See above.

(4) Variances may be issued for the repair or rehabilitation of historic structures upon a determination that the proposed repair or rehabilitation will not preclude the structure's continued designation as a historic structure and the variance is the minimum necessary to preserve the historic character and design of the structure.

N/A

(5) Variances shall only be issued upon:

a. a showing of good and sufficient cause;

The showing of good cause in this case is that the foundation location and structure remains unchanged and only the structure above the foundation is being rebuilt. The existing foundation level is what drives the non-compliance and it is not economically feasible to alter the foundation to meet today's flood standards. Good cause is also supported by the applicant taking steps to mitigate flood damage, including installing flood vents in the existing foundation, placing furnaces in attics, raising electrical panels, raising electric, phone and cable outlets above the Base Flood Elevation inside each unit. The applicant would consider the additional mitigation steps of raising outside electrical meter locations, water heaters and A/C units above the Base Flood Elevation for the building and all units if the same would be code compliant and the existing protection of the community's transformer and its ground fault circuit interruption system that shuts power off to all buildings prior to flood water reaching this building is not deemed protective enough.

b. a determination that failure to grant the variance would result in exceptional hardship due to the physical characteristics of the property. Increased cost or inconvenience of meeting the requirements of these regulations does not constitute an exceptional hardship to the applicant;

The physical characteristics of the property, the age and location of the existing foundation means raising the foundation level is not feasible. Failure to grant the variances sought will cause extreme hardship and will result in a total market value loss for the building estimated at \$432,000, a loss of the proceeds of insurance replacement value of \$869,362 and the loss of future rents. In addition, the owner will likely incur other demolition costs to remove the structures already built based on gaining building permit approval previously and taking the project to its current under roof stage of construction. Additionally, without the variances and zoning approval, there may be a

safety issue in leaving the foundation in its current state and more costs may be incurred to remove or remediate the foundation. This amounts to exceptional hardship compared with the amount of risk of taking this building back to its pre-fire condition, which existed for 48 years.

c. a determination that the granting of a variance will not result in increased flood heights beyond that which is allowed in this resolution, additional threats to public safety, extraordinary public expense, create nuisances, cause fraud on or victimization of the public as identified or conflict with existing local laws or resolutions; and,

If granted, the variances will result in no greater flood risk than existed since 1971 or if the building is reconstructed with the existing foundation in the same location.

d. a determination that the structure or other development is protected by methods to minimize flood damages.

Mitigation and flood protection factors are documented and discussed above.

(6) Any applicant to whom a variance is granted shall be given written notice that the structure will be permitted to be built with a lowest floor elevation below the base flood elevation and the cost of flood insurance will be commensurate with the increased risk resulting from the reduced lowest floor elevation. 15

SECTION 4.0

GENERAL STANDARDS, SPECIFIC STANDARDS

FLOODWAYS

4.1 GENERAL STANDARDS

In all areas of special flood hazard the following standards are required:

4.1-1 ANCHORING

(1) All new construction and substantial improvements shall be anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy.

(2) All manufactured homes, not otherwise regulated by the Ohio Revised Code pertaining to manufactured home parks, shall be anchored to prevent flotation, collapse or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy. Methods of anchoring may include, but are not limited to, use of over-the-top or frame ties to ground anchors.

4.1-2 CONSTRUCTION MATERIALS AND METHODS

(1) All new construction and substantial improvements shall be constructed with materials resistant to flood damage;

Outside of the mitigation techniques specified, it is not feasible to use other materials for reconstruction as insurance proceed will not cover such costs.

(2) All new construction and substantial improvements shall be constructed using methods and practices that minimize flood damage; and

See (3) below.

(3) All new construction and substantial improvements shall be constructed with electrical, heating, ventilation, plumbing and air conditioning equipment and other service facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.

The following steps are proposed to mitigate flood damage: installing flood vents in the existing foundation, placing furnaces in attics, raising electrical panels, raising electric, phone and cable outlets above the Base Flood Elevation inside each unit. The applicant would consider the additional mitigation steps of raising outside electrical meter locations, water heaters and A/C units above the Base Flood Elevation for the building and all units if the same would be code compliant and the existing protection of the community's transformer and its ground fault circuit interruption system that shuts power off to all buildings prior to flood water reaching this building is not deemed protective enough.

Olde Cape Street Project Description and Flood Mitigation Summary

See Plan Exhibits A2-1 for Base Flood Elevation in relation to Building Elevations, Lowest Floor Elevation (crawl), and Finish Floor Elevation.

See Stantec Plans for Finished Floor Elevation and Lowest Floor Elevation of all units in subject buildings and relationship to other existing buildings on site.

Flood Mitigation

Flood Vents:

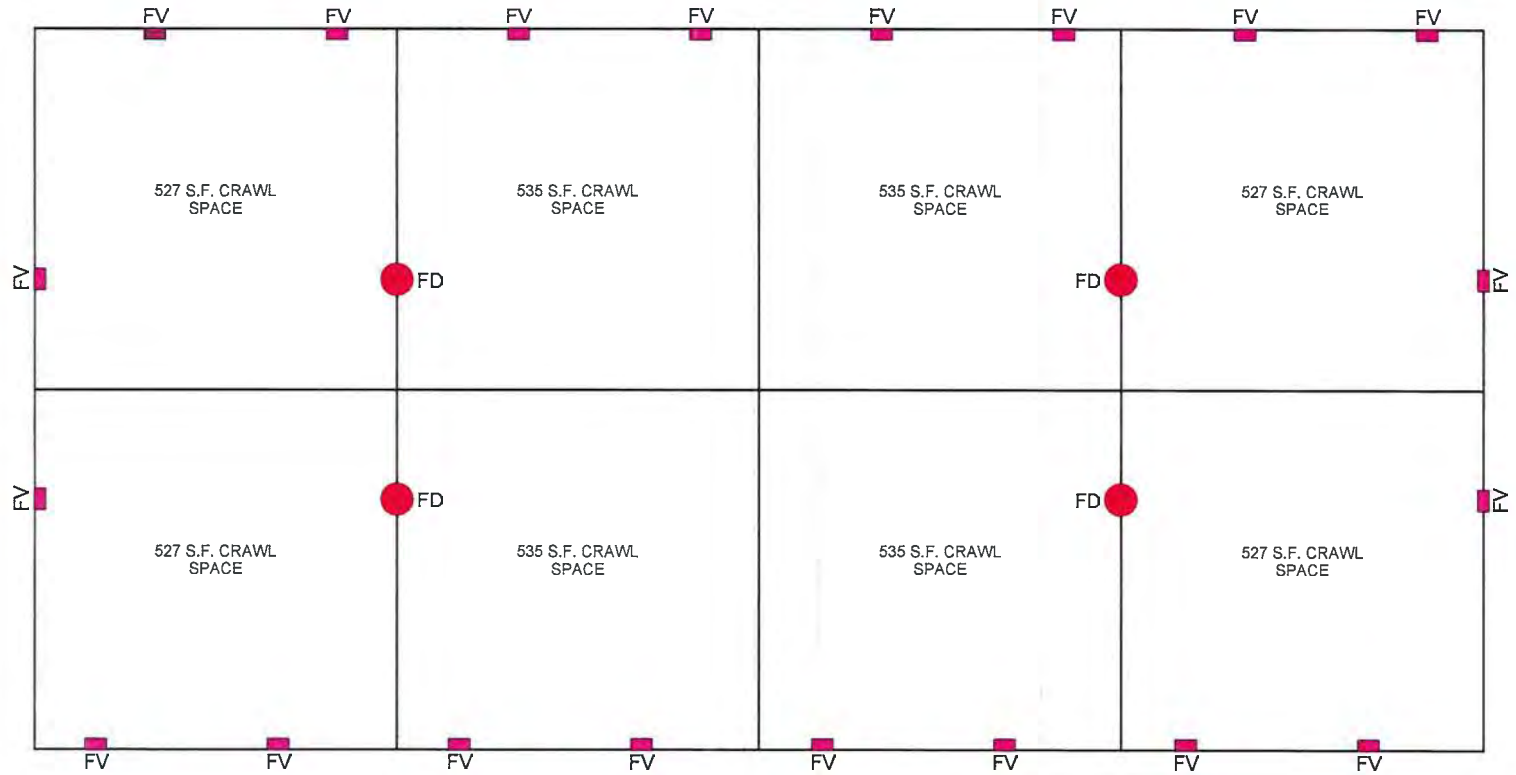
Flood vents have been added to the exterior and interior crawl space walls to allow flood waters to pass through the crawl space and avoid damage from the build-up of hydro-static pressure. Sheet A1-0 (Foundation plan) shows the location of all proposed flood vents and provides flow vent calculations showing compliance of the required number and flow of flood vents. Flood vents are proposed to be provided by Smart Vent and model numbers are listed on sheet A1-0. Sheet A2-1 shows the flood vents on the exterior elevations. Sheet D1-0 has been added which is the pre-damaged foundation plan showing estimated calculations of the crawl space vents. The existing crawl space provided approximately 50% of the required crawl space openings.

Mechanicals:

The top of the floor of the apartment building is proposed to be the same elevation as the existing pre-damage condition. The base flood elevation is 2.07' above the finish floor. The electric panels inside of the units are proposed to be above the base flood elevation. The furnaces are in the attic and above the base flood elevation. The electric meters on the exterior of the building are proposed to be relocated to be above the base flood elevation.

Anchorage:

The existing floor joists and sill plate have been removed and new floor joists and a sill plate have been anchored to the top of the existing foundation wall per Wall Section 1 on sheet A3-1. ½" diameter anchor bolts with a minimum of 15" embedment into the existing foundation wall are specified to be spaced no more than 72 inches on center, and no more than 12 inches from the corners of the building. This anchoring is expected to be more effective than the existing condition of other buildings in the complex based on the pre-code construction methods employed.

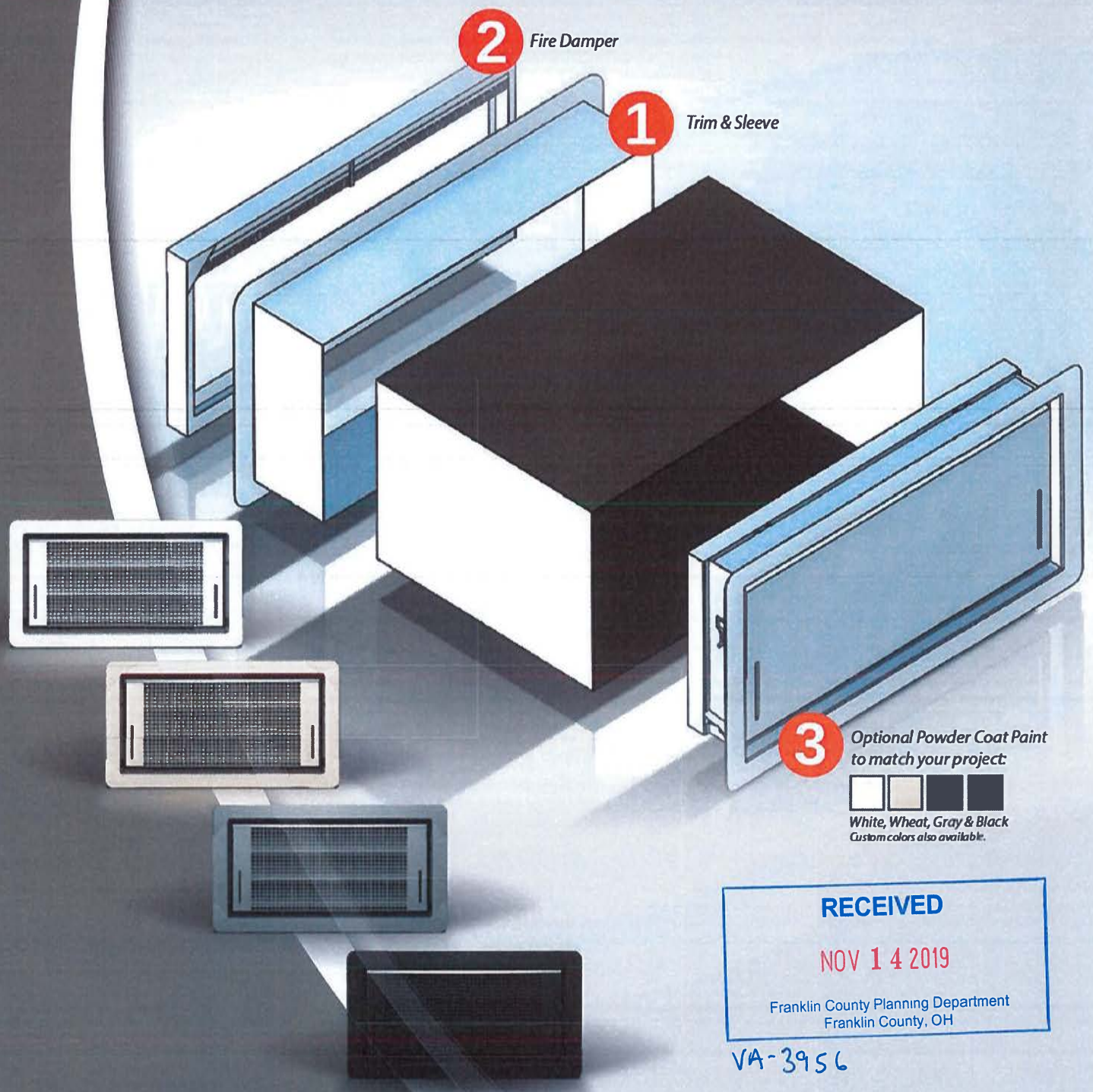


■ INSULATED 8"x16" FLOOD VENT BY SMART VENT, MODEL # 1540-520 CAPABLE OF 200 SQUARE INCHES FLOOD COVERAGE

● 8 1/2" x 14 1/2" FLOOD VENT IN WOOD FRAMED WALL BY SMART VENT, MODEL # 1540-570 W/ TRIM KIT CAPABLE OF 200 SQUARE INCHES FLOOD COVERAGE W/ SMART VENT FIRE DAMPER RATED FOR 2-HOURS

ACCESSORIES & PAINT OPTIONS

Smart Vent Products, Inc. offers everything you need to complete your project.



3 *Optional Powder Coat Paint to match your project:*



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Franklin County, OH

VA-3956

1 Trim & Sleeve Kits

Trim and sleeve kits fit into the rough opening in order to provide a clean, finished look on the interior wall. They are available for all compatible models including multi-frame units.

NOTE: Trim & Sleeve kits are not available for Garage Door Models

STANDARD MODELS

FOR 16" x 8" VENTS (2 PIECE)

Standard finish:
316L Stainless Steel

• 1540-531-12
kits adjustable from 7" - 12.5"

• 1540-531-15
kits adjustable from 10" - 15.5"

WOOD WALL MODELS

FOR 14.5" x 8.5" VENTS (1 PIECE)

Standard finish:
Powder Coat White

• 1540-573
4" wall depth

• 1540-573-9
9" wall depth



2 Fire Dampers

Our two Fire Damper models are UL Certified to provide 2 or 3hrs of fire resistance. They are intended to be used when flood vents are being installed into a fire rated wall. Available for models up to a 2 x 3 configuration.

A fusible link holds a galvanized steel door in place. At 165° F, the link melts to permit the door to drop, blocking the path of the fire.

NOTE: Trim flange and inner sleeve are required for installation, as well as an 8" minimum wall thickness.

STANDARD 16" x 8" MODEL

• 1540-530 2 or 3 hour fire resistance available

STANDARD 14.5" x 8.5" MODEL

• 1540-537 2 or 3 hour fire resistance available



3 Powder Coat Paint



Smart Vent Products, Inc. offers all of their flood vents in Stainless Steel, Standard Powder Coat Paint Colors of: **White, Wheat, Gray, or Black**, but can be custom color matched to your project's needs.

For more information on Flood Protection Solutions, contact:

Smart Vent 430 Andbro Drive, Unit 1 • Pitman, NJ 08071
Website: www.smartvent.com Tel: (877) 441-8368 Email: info@smartvent.com

INSULATED SERIES

This series of vents is ideal for areas requiring flood venting protection but no natural air ventilation.

The flood door contains a 2" insulated core that has an R-value of 8.34 and the vent frame is lined with felt weather stripping, helping to keep the enclosure as insulated from the elements as possible.

IDEAL FOR:

- Garages
- Full height enclosures (e.g. walkouts)
- Conditioned crawlspaces
- Storage facilities
- Metal buildings
- Foyers

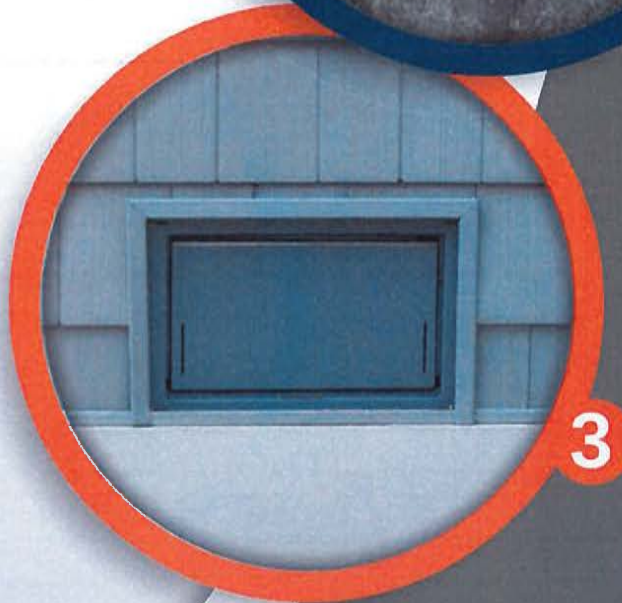
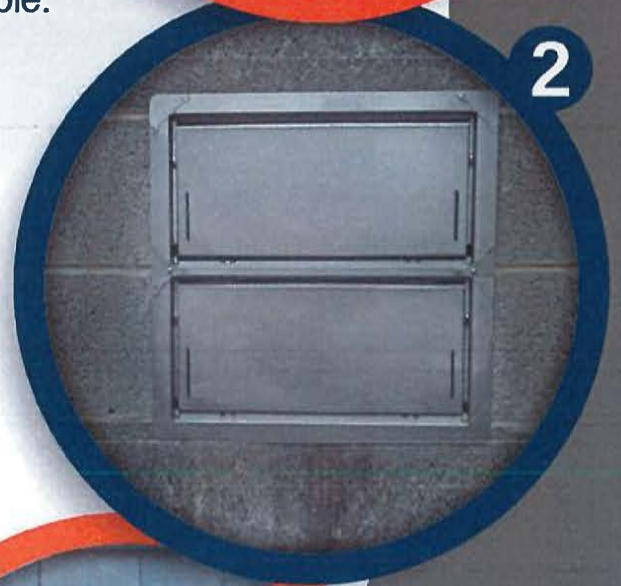
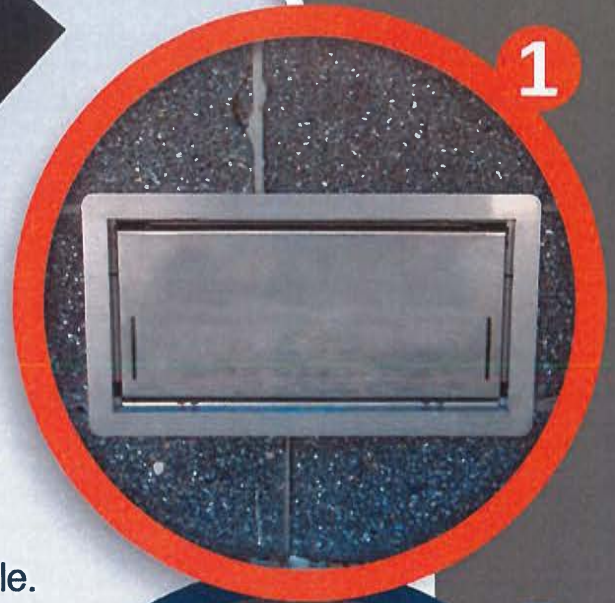
1 Flood Vent 1540-520

2 Stacker 1540-521

Stacker Models are twice as efficient as a single unit and are a great solution for large amounts of square footage, and in situations where there is not enough wall space to fit in single units.

3 Wood Wall 1540-570

Wood Wall Models are designed to fit between studs spaced at 16" on center. Pre-drilled slots in the four corners on the vent flange make for an easy installation.



Pictured in powder coat paint gray

For more information on Flood Protection Solutions, contact:

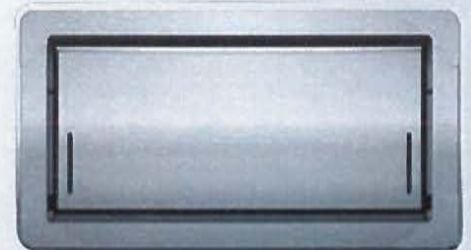
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STANDARD FINISH POWDER COAT WHITE
POWDER COAT PAINT OPTIONS:



Custom colors also available.



MODEL NUMBER	FLOOD COVERAGE	VENT SIZE	ROUGH OPENING
1540-520	200 sq. ft.	16"W x 8"H x 3"D	16 $\frac{1}{4}$ in x 8 $\frac{1}{4}$ in
1540-521	400 sq. ft.	16"W x 16"H x 3"D	16 $\frac{1}{4}$ in x 16 $\frac{3}{8}$ in
1540-570	200 sq. ft.	14 $\frac{1}{2}$ "W x 8 $\frac{1}{2}$ "H x 3"D	14 $\frac{1}{2}$ in x 8 $\frac{3}{4}$ in



To view other sizing options see Multi-frames

For more information on Flood Protection Solutions, contact:

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Website: www.smartvent.com Tel: (877) 441-8368 Email: info@smartvent.com



Roth Construction Columbus

3520 Parkway Lane
Hilliard, OH 43026
614-777-4177
Fax # 614-777-4277
FID # 34-1850849

Summary

Line Item Total	706,019.80
Material Sales Tax	12,926.03
Subtotal	718,945.83
Overhead	71,896.08
Profit	71,896.08
Cln&Carpet Svc Tax	6,623.80
Replacement Cost Value	\$869,361.79
Net Claim	\$869,361.79

Ryan Berry



VA-3956



Roth Construction Columbus

3520 Parkway Lane
 Hilliard, OH 43026
 614-777-4177
 Fax # 614-777-4277
 FID # 34-1850849

Recap by Category

O&P Items	Total	%
APPLIANCES	1,358.40	0.16%
CABINETRY	43,360.56	4.99%
CLEANING	2,010.96	0.23%
CONCRETE & ASPHALT	20,436.38	2.35%
GENERAL DEMOLITION	59,150.24	6.80%
DOORS	9,896.48	1.14%
DRYWALL	47,541.52	5.47%
ELECTRICAL	39,880.00	4.59%
HEAVY EQUIPMENT	11,463.60	1.32%
EXCAVATION	2,028.82	0.23%
FLOOR COVERING - CARPET	10,793.20	1.24%
FLOOR COVERING - VINYL	5,113.44	0.59%
PERMITS AND FEES	11,467.83	1.32%
FENCING	5,276.96	0.61%
FINISH CARPENTRY / TRIMWORK	18,706.64	2.15%
FINISH HARDWARE	3,232.48	0.37%
FRAMING & ROUGH CARPENTRY	100,289.88	11.54%
HAZARDOUS MATERIAL REMEDIATION	60,793.00	6.99%
HEAT, VENT & AIR CONDITIONING	56,925.00	6.55%
INSULATION	21,744.48	2.50%
LIGHT FIXTURES	8,633.92	0.99%
MASONRY	16,016.68	1.84%
MARBLE - CULTURED OR NATURAL	549.60	0.06%
PLUMBING	72,736.88	8.37%
PAINTING	28,366.80	3.26%
ROOFING	18,556.99	2.13%
SIDING	7,053.28	0.81%
SOFFIT, FASCIA, & GUTTER	8,350.80	0.96%
TEMPORARY REPAIRS	4,047.78	0.47%
WINDOW TREATMENT	1,641.60	0.19%
WINDOWS - VINYL	8,595.60	0.99%
O&P Items Subtotal	706,019.80	81.21%
Material Sales Tax	12,926.03	1.49%
Overhead	71,896.08	8.27%
Profit	71,896.08	8.27%
Cln&Carpet Svc Tax	6,623.80	0.76%
Total	869,361.79	100.00%