



Franklin County Board of Commissioners Rezoning Hearing

Judicial Services Building (Hall of Justice)
369 South High Street
1st Floor, Commissioners Hearing Room
Columbus, OH 43215

Tuesday, April 11, 2023
10:00 a.m.

1. Call roll for board members
2. Introduction of staff
3. Approval of minutes from the January 10, 2023 meeting
4. New Business:

i. ZON-23-02 – Matt Brown

Owner/Applicant:	Girl Scouts of Ohio/Heartland Council, Inc.
Township:	Brown Township
Site:	1087-1295 Hubbard Road (PID #120-000139), 1087 Hubbard Road Rear (PID #120-000142), Roberts Road (PID #120-000168)
Acreage:	228.998-acres
Utilities:	Public water and sewer
Zoning:	Exceptional Use (EU)
Request:	Requesting to modify an Exceptional Use (EU) district to allow a new educational facility and continued camp and environmental education activities of the Girl Scouts of Ohio's Heartland.

*Swear in witnesses as needed

5. Adjournment of Meeting to May 9, 2023



MINUTES OF THE FRANKLIN COUNTY BOARD OF COMMISSIONERS REZONING HEARING

Tuesday January 10, 2023

The Franklin County Board of Commissioners convened in the Franklin County Commissioners Hearing Room, at 369 South High Street, Columbus, Ohio, 43215, on Tuesday, January 10, 2023.

Present were:

Erica C. Crawley, Commissioner
John O'Grady, Commissioner
Kevin L. Boyce, Commissioner

Franklin County Economic Development and Planning Department:
Jim Schimmer, Director
Matt Brown, Planning Administrator
Sierra Saumenig, Planner

Jeanine Hummer, Franklin County Assistant Prosecuting Attorney
Adria Fields, Franklin County Assistant Prosecuting Attorney

Chris Long, Acting Franklin County Administrator

Commissioner O'Grady opened the hearing.

The first order of business being the roll call and the introduction of Staff. The next item of business was approval of the minutes of the October 11, 2022 meeting. A motion was made by Commissioner Crawley, seconded by Commissioner Boyce, to approve the minutes of the October 11, 2022 Board of Commissioners rezoning hearing. The motion passed with a vote of three yeases, zero nos, and zero abstentions.

NEW BUSINESS:

The next order of business was to hear County Zoning Text Amendment Case No. ZON-22-09. The applicant for the text amendment was the Franklin County Rural Zoning Commission, and the request was a text amendment to Sections 501.020 and 513 of the Franklin County Zoning Resolution. The proposed amendment addressed requirements for securing pools and would align the zoning resolution's requirements for securing pools with the Ohio Building Code's requirements. A motion was made by Commissioner Crawley, seconded by Commissioner Boyce, to approve County Zoning Text Amendment Case No. ZON-22-09. The motion passed by a vote of three yeases, zero noes, and zero abstentions.

The next order of business was to hear County Rezoning Case No. ZON-22-10. The owner of the property

was 3251 Westerville Road. The applicant was also 3251 Westerville Road and KMFY Law. The townships were Clinton and Mifflin Township. The site is located at 3251 Westerville Road and 3269 Westerville Road. It is approximately 21.584 acres, and the request was to rezone from the community service district to the general industrial district. The intended use is for a prefabricated housing manufacturer. The applicant intended to utilize the existing building and paved area. Staff recommends conditional approval and the conditions of approval are as follows: That the site may only be used for a prefabricated housing manufacturing facility under standard industrial classification 344. The applicant needs to provide confirmation of a water/sewer serviceability prior to the issuance of a certificate of zoning compliance. A traffic study, as required by the County Engineer's Office, must be submitted to and approved by that office prior to the issuance of the certificate of zoning compliance. A motion was made by Commissioner Crawley, seconded by Commissioner Boyce, to approve County Rezoning Case No. ZON-22-10 with the three recommended staff conditions. The motion passed by a vote of three yeases, zero noes, and zero abstentions.

There being no further business coming before the Board of Commissioners, Commissioner Crawley adjourned the meeting. The hearing was adjourned at 11:21 a.m.

Signature

Minutes of the January 10, 2023, Franklin County Board of Commissioners' Rezoning Hearing were approved this 11th day of April, 2023.



STAFF REPORT

Rural Zoning Commission
April 22, 2023

Case ZON-23-02

Prepared by: Matt Brown

Owners:/applicant:	Girl Scouts of Ohio/Heartland Council, Inc.
Township:	Brown Township
Site:	1087-1295 Hubbard Road (PID #120-000139), 1087 Hubbard Road Rear (PID #120-000142), Roberts Road (PID #120-000168)
Acreage:	228.998-acres
Zoning:	Exceptional Use (EU)
Request:	Requesting to modify an Exceptional Use (EU) district to allow a new educational facility and continued camp and environmental education activities of the Girl Scouts of Ohio's Heartland.

Summary

Requesting to modify an existing Exceptional Use zoning to allow a new educational facility in addition to the existing camp and environmental education activities of the Girls Scouts of Ohio's Heartland.

The proposal keeps with the spirit and intent of the Exceptional Use District, it is in accordance with the Comprehensive Plan, and does advance the general welfare of the Township. Staff recommends **conditional approval.**

Background/Request

The property has been zoned Exceptional Use (EU) with a Development Plan since 1972 and has been operating as an active Girl Scout facility that is used for year-round camping, recreation, social, cultural and educational activities with particular focus on nature, the outdoors, and the environment. The applicant is seeking to update the 1972 rezoning to allow the site to continue operating as a Girl Scout Facility and to update the site with a new STEM Leadership and Maker space. Also, an addition to the existing Environmental Center and other minor site improvements are included in the modification request.

Surrounding Land Use/Zoning

Land to the east is zoned Rural in Brown Township and developed with single-family homes, farm structures and a religious use. Land to the south is zoned R-6 in Prairie Township and developed with the Lake Darby Estates medium density, single-family subdivision. Bordering the property on the west is Big Darby Creek and Village of West Jefferson. Land to the north is zoned Rural in Brown Township and is developed with a single-family home.

Comprehensive Plans

The Brown Township Comprehensive Plan, adopted in 2005, includes a Proposed Densities Map and a Conservation Areas Tiers Map to help guide development. The Proposed Densities Map identifies this area as the Darby Creek Corridor Overlay District which recommends a minimum lot size of 5-acres and a minimum road frontage of 300 feet. The Conservation Areas Tiers Map identifies the site as a First Tier Conservation area.

The Big Darby Accord Watershed Master Plan, adopted in 2006, includes a Proposed General Land Use Map and a Conservation Strategy Map to help guide development. Both Maps identify the area as a Tier 1, 2, 3 Environmental Conservation Zones. Tier 1 includes the most environmentally sensitive lands such as floodplains and wetlands. Tier 2 includes highly erodible soils and wood lots greater than 3 acres in size. Tier 3 includes areas that are important for habitat sensitivity and connectivity.

As the site has existed since 1972 operating as a year-round camping, recreational, social, cultural and educational facility for Girl Scouts, staff believes the proposed development keeps with both area plans. The additional STEM Center and minor improvements are located on site in such a manner as to prevent environmental impacts and the majority of the site still will remain natural.

Staff Analysis

Exceptional Use District:

The Exceptional Use (EU) district is provided for uses which create unique demands upon public health, safety and general welfare and is intended to allow these uses to be suitably located and developed to meet standards that are cohesive with the surrounding community. Any change or modification to an approved development plan or change to the list of permitted uses must be approved as an amendment through the rezoning process.

640.031 – Development Plan

1.) *The proposed location and size of areas of use; indicating size, location and type of structure.*

- Majority of the development will remain as it has been since 1972. The only additional structures are the STEM Leadership and Maker Space Center and a proposed building addition to the southern end of the existing Environmental Center.

2.) *The proposed location, size and use of all landscaped open areas and other open space with suggested ownership of such areas.*

- No additional landscaping was included in this rezoning modification as majority of the site is intended to remain as natural as possible with large open spaces and recreational areas. The sites will remain privately owned.

3.) *The proposed provision of water, sanitary sewer and surface drainage facilities including engineering feasibility or other evidence of reasonableness.*

- Water
 - Currently provided by onsite wells
 - Public water will be provided by Aqua Ohio to service the Environmental Center and new STEM Center
- Sanitary sewer
 - Currently provided to the site by latrines and two existing and permitted small package plants –the eastern plant serving the Environmental Center just west of Hubbard Road and the western plant serving the historic camp near the western boundary of the site.
 - Sanitary sewer will be extended via force main from the southern adjacent Lake Darby Estates Subdivision to service the Environmental Center and new STEM Center.
 - The existing eastern sanitary package plant will be taken offline.
- Stormwater
 - Best management practices to treat surface drainage from the new STEM Center are anticipated to be provided with a bio-retention basin and the existing stormwater pond south of the STEM Center will be expanded.

4.) *The proposed circulation pattern including streets, both public and private, parking areas, walks and other access ways including their relation to topography, existing streets and other evidence of reasonableness.*

- Access - The existing access drive from Hubbard Road, north of the Environmental Center, will be reconfigured and paved as a 24-foot wide main entrance drive to the Camp and the new STEM Center. Elsewhere on the site, drives will remain gravel.
- Parking - Existing parking for the Environmental Center will remain gravel. The new STEM Center requires 187 total parking spaces and 189 spaces have been provided.
 - 103 spaces will be gravel or millings
 - 15 spaces, including 6 ADA handicap, will be paved
 - 3 spaces will be concrete
 - 68 spaces will be grassed
 - The gravel and grassed parking will be in character with the development and use of the rest of the Property and maintain its rural, natural character. While the paved access drive will minimize dust, dirt or gravel from being carried onto Hubbard Road from traffic exiting the site.
- The STEM Center will include concrete loading areas and access walks

5.) *The proposed schedule of site development and construction of buildings and associated facilities including sketches or other documentation indicating design principles or concepts for site development, buildings, landscapes or other features. Such schedule shall include the use or redevelopment of existing features such as structures, streets, easements, utility lines and land use.*

- Site work for the new STEM Center will commence immediately upon approval of the zoning and issuance of permits in 2023, followed by utility extensions to the Environmental Center and STEM Center, and construction of the STEM Center building and Environmental Center building addition. Completion is anticipated within 18 months of commencement (in 2025).
- Conceptual elevations are provided for the proposed STEM Leadership Center and Maker Space and the addition to the Environmental Center identified on the Map. Conceptual elevations may be revised, but any revisions shall be harmonious with the low density camp setting of the Property and the development standards provided in the Development Plan Text.

6.) *The relationship of the proposed development to the existing and future land use in the surrounding area, the street system, community facilities and services and other public improvements.*

- The Development Map illustrates the relationship of the proposed development both within the site and to uses and improvements in the surrounding area. The proposed STEM Center is entirely within the existing Girl Scout Camp, 300 feet or more from Hubbard Road and will have limited, if any, visibility from Hubbard Road or to adjacent properties as proposed.
- Site lighting will include cut-off fixtures and downward cast lighting to avoid glare off the property and light spilling onto adjacent properties. Lights greater than 18 feet in height will have fully shielded and recessed lamps directed downward and maximum high of light poles will be 28 feet above grade. Existing site lighting may remain.
- No additional impact on community facilities and services or other public improvements is anticipated except for select water and sewer improvements to the eastern portions of the Property. The county engineer has requested the donation of an additional forty feet (40') of right of way on the west side of Hubbard Road, which will be provided.

7.) *Evidence that the applicant has sufficient control over the land to effectuate the proposed Development Plan within three (3) years. Such control includes property rights, economic resources and engineering feasibility as may be necessary.*

- The Girl Scouts of Ohio’s Heartland Council, Inc. is the owner of the entire property. The development of the STEM Center and expansion of the Environmental Center is anticipated to be completed within three years.

Article 5 – General Development Standards (where applicable)

501.01 – Fences, Walls, and Landscaping

- No additional fencing is proposed but the development text indicates if any fencing is proposed in the future, it will comply with County requirements.

504.01 – Building Lines Established

- There will be a 100-foot building setback from the centerline of Hubbard Road on the east side of the property except in front of the existing Environmental Center and the Ranger House which will be 50 feet.

505- Dumpsters

- The applicant is proposing screening around all dumpster enclosures in accordance with Section 521 of the Franklin County Zoning Resolution.

Section 531.011(2) – Parking facilities

- Prohibits motor vehicles from parking on unimproved surfaces.
 - Staff supports the proposed gravel and grassed parking areas due to the nature of the use.

Technical Agency Review

Franklin County Engineer’s office

- Ohio P.E. stamped sight distance exhibit shall be provided at the time of zoning compliance review.

Franklin County Drainage Engineer’s office

- The proposal needs to follow the Franklin County Stormwater Manual.

640.032 - Basis of Approval

1.) *That the proposed development is consistent in all respects to the purpose, intent and applicable standards of this Zoning Resolution;*

- The proposed modification to the existing Exceptional Use district is consistent with the purpose and intent of the Exceptional Use district and proposed improvements are consistent with applicable development standards with the exception of the proposed gravel and grass parking surfaces. Staff supports the deviation from the standard paved parking surface requirement given the unique nature of the site and use.

2.) *That the proposed development is in conformity with a Comprehensive Plan or a portion thereof as it may apply;*

- The proposed development is consistent with the historic use of the property and respects the environmentally sensitive areas of the site consistent with the Brown Township Comprehensive Plan and the Big Darby Accord Watershed Master Plan.

3.) *That the proposed development advances the general welfare of the County and that the benefits to be derived from the proposed use justifies the change in the land use character of the area.*

- The proposed modification to the existing Exceptional Use district to allow a new STEM Center is consistent with the historic use of the site and will not change the land use character of the surrounding area.

Staff Recommendation

Based on Staff's Review, Staff recommends *approval with conditions* of the proposed rezoning.

1. The applicant must apply for and receive approval of a Certificate of Zoning Compliance with the Franklin County Economic Development and Planning Department.
2. The proposal must comply with the standards set forth in the Franklin County Stormwater Drainage Manual.
3. The applicant must provide an Ohio Professional Engineer stamped site distance exhibit at the time of zoning compliance review.

Planning Commission Recommendation

On March 8, 2023 the Franklin County Planning Commission recommended *approval with conditions* of the request to modify an Exceptional Use (EU) district to allow a new educational facility and continued camp and environmental education activities of the Girl Scouts of Ohio's Heartland with the three recommended staff conditions.

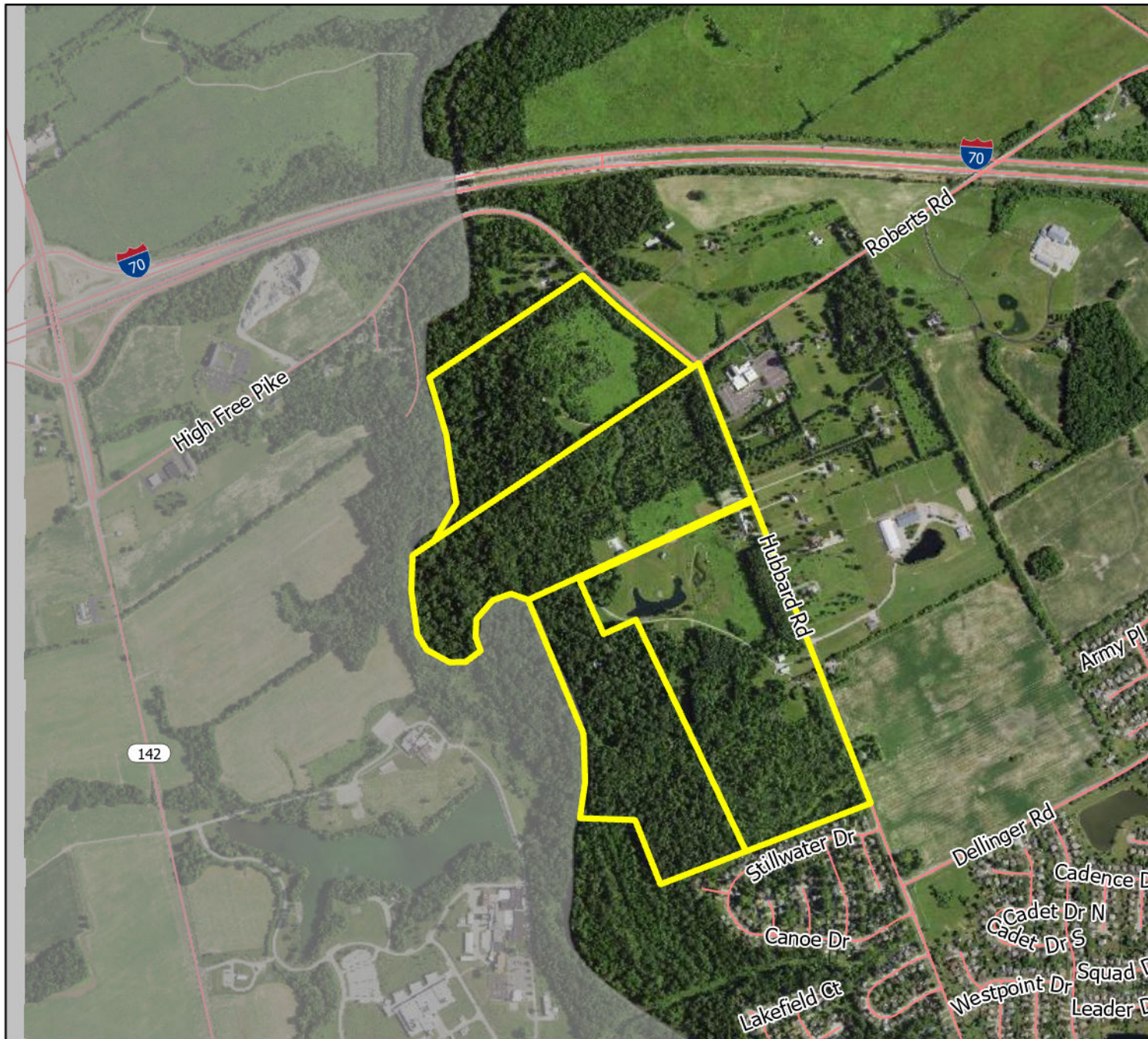
Big Darby Accord Advisory Panel Recommendation

On March 14, 2023 the Big Darby Accord Advisory Panel recommended *approval with conditions* of the request to modify an Exceptional Use (EU) district to allow a new educational facility and continued camp and environmental education activities of the Girl Scouts of Ohio's Heartland with the following conditions:

1. Further study the native and non-native tree population and consider working to replace non-native species with native species.
2. Consider methods to preserve the floodplain area in perpetuity.

Rural Zoning Commission

On March 16, 2023 the Franklin County Rural Zoning Commission *approved* the request to modify an Exceptional Use (EU) district to allow a new educational facility and continued camp and environmental education activities of the Girl Scouts of Ohio's Heartland with the three recommended staff conditions.

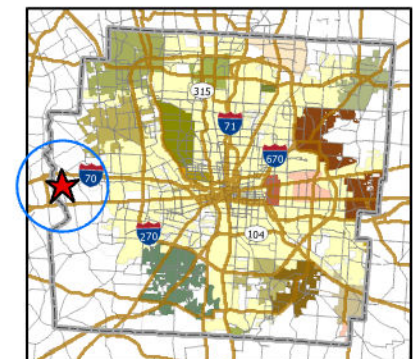


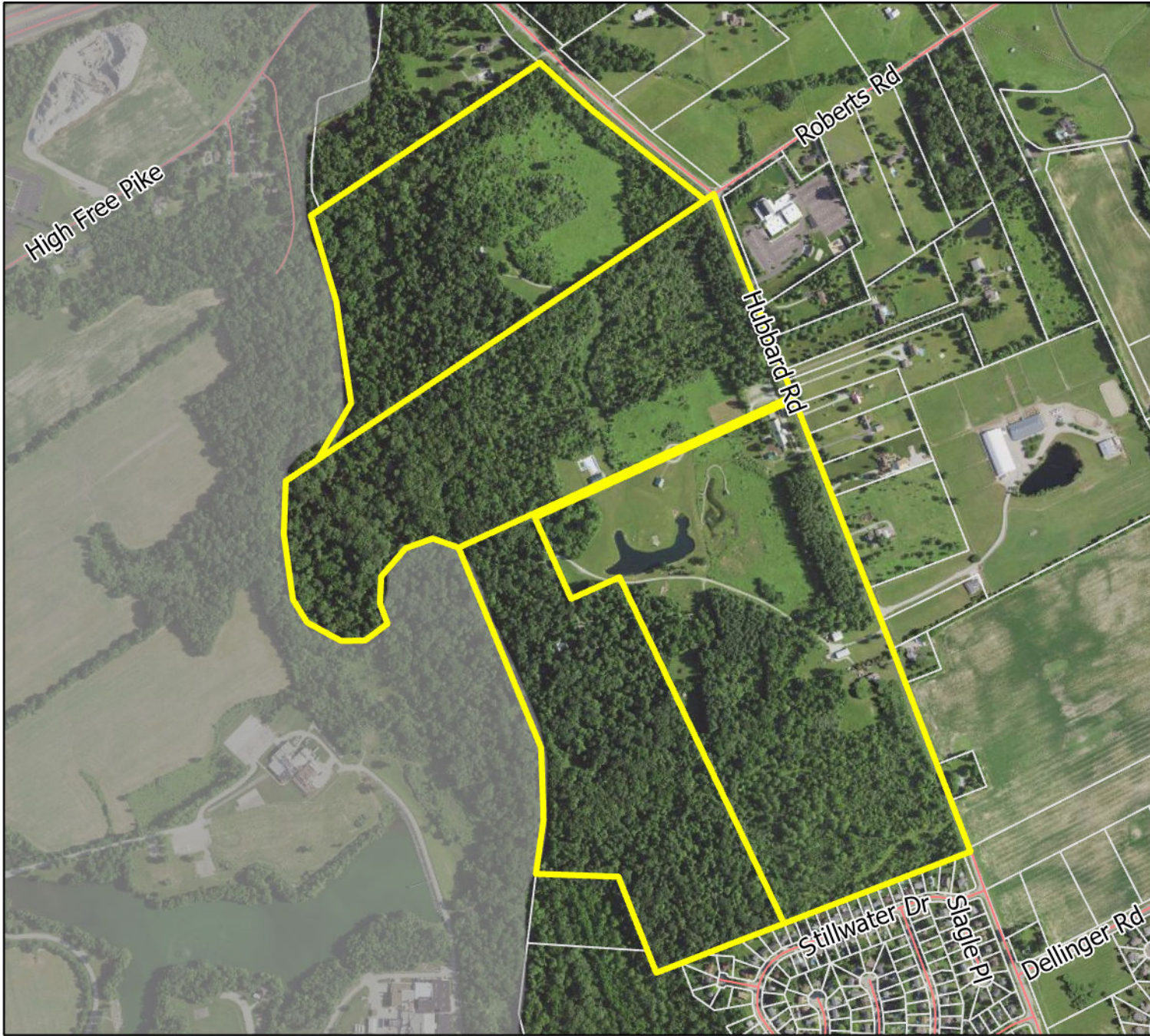
ZON-23-02

Requesting to modify an Exceptional Use (EU) district to allow a new educational facility and continued camp and environmental education activities of the Girl Scouts of Ohio's Heartland.

Acres: 228.998-acres
Township: Brown Township

- Streets
- Madison County
- Parcels 120-000139, 120-000142, 120-000168



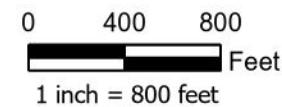
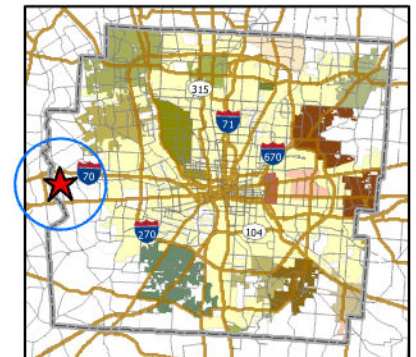


ZON-23-02

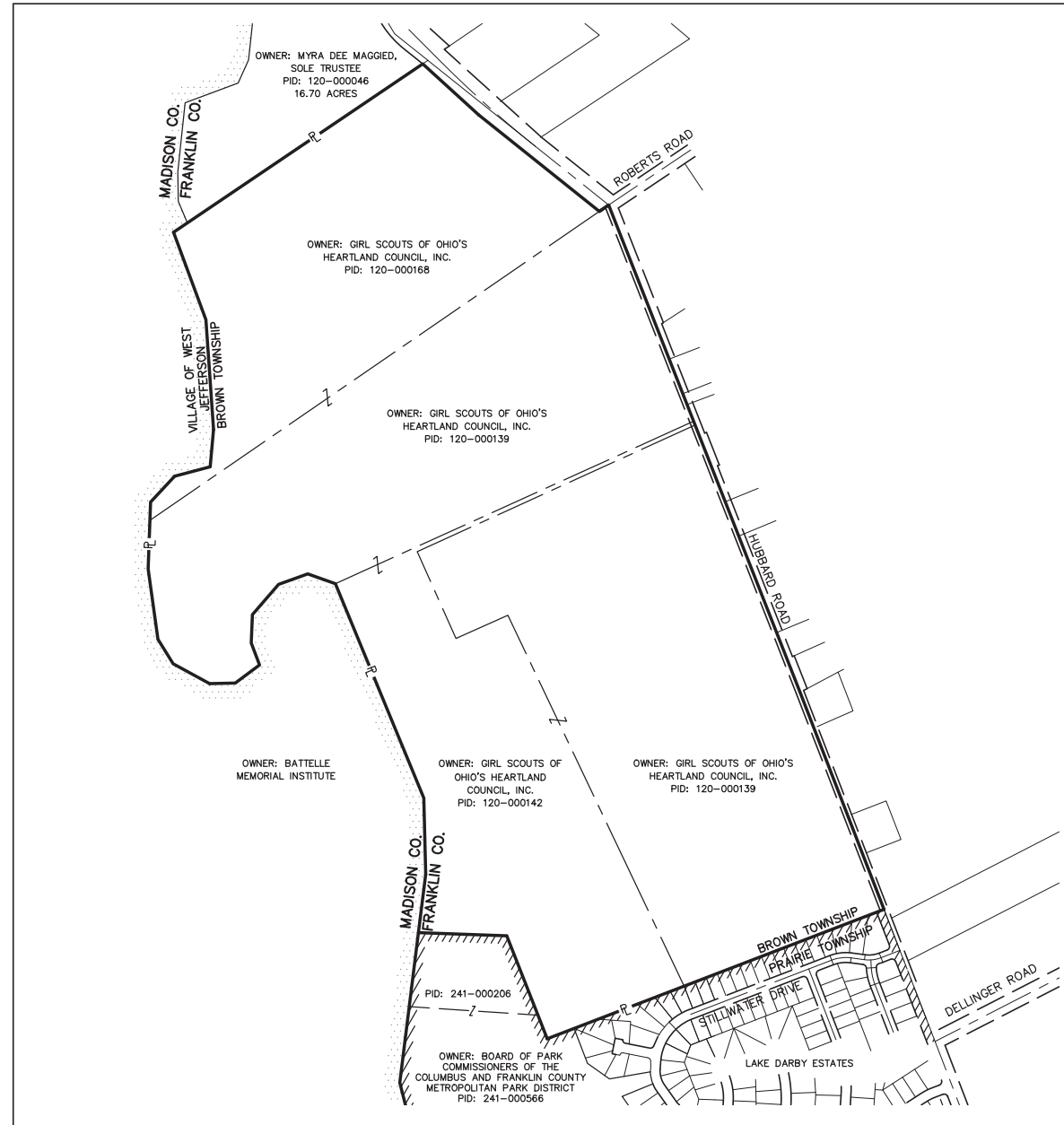
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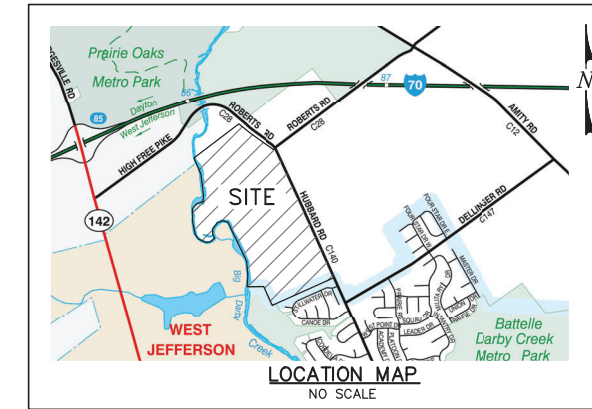
-  Streets
-  Parcels
-  Parcels 120-000139, 120-000142, 120-000168
-  Madison County



DEVELOPMENT PLAN MAP
**GIRL SCOUTS OF OHIO'S
 HEARTLAND COUNCIL, INC.**
 1295 HUBBARD ROAD, GALLOWAY, OHIO 43119
 BROWN TOWNSHIP
 FRANKLIN COUNTY



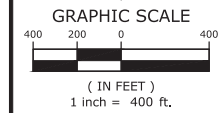
INDEX MAP
 SCALE: 1" = 400'



LOCATION MAP
 NO SCALE

INDEX OF SHEETS

TITLE SHEET.....	1
EXISTING CONDITIONS SITE MAP	2
EXISTING STRUCTURES OVERALL SITE MAP	3
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CONCEPTUAL SITE PLAN	7
CONCEPTUAL SITE PLAN DETAIL	8-9
CONCEPTUAL SITE PLAN UTILITY EXTENSION	10



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REVISION:

SUBMISSION:

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

STAMP:



**GIRL SCOUTS OF
 OHIO'S HEARTLAND
 COUNCIL, INC.**
 1295 HUBBARD ROAD
 GALLOWAY, OHIO 43119

DESIGN	DRAFT	CHECK
LMS	WTC	EPC

IBI NO.: 137745

DATE: FEBRUARY 22, 2023

SHEET TITLE:

TITLE SHEET

SHEET NO.: 1/10



OWNER/DEVELOPER:
 GIRL SCOUTS OF OHIO'S HEARTLAND
 1700 WATERMARK DRIVE
 COLUMBUS, OH 43215
 CONTACT: BRIAN QUIBELL
 PHONE: (614) 487-8101
 BQUIBELL@CSOH.ORG

ENGINEER:
 IBI GROUP, INC
 8101 NORTH HIGH ST. SUITE 100
 COLUMBUS, OH 43235
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CODED NOTES

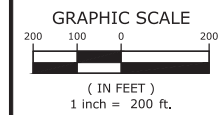
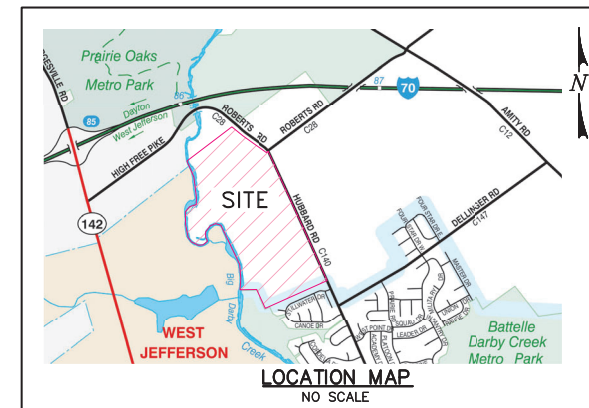
- EXISTING WELL
- EXISTING WELL NOT IN USE
- EXISTING SANITARY PACKAGE PLANT OR SEPTIC/LEACH FIELD
- EXISTING WETLAND (DO NOT DISTURB)
- EXISTING STORMWATER RETENTION BASIN
- EXISTING TREE LINE
- EXISTING GRAVEL AND/OR DIRT DRIVE
- RIPARIAN SETBACK PER SECTION 650.09
 $W = 133DA^{0.43} = 133(242)^{0.43} = 1,409'$
- FUTURE DEVELOPMENT PERMITTED IN THE AREA WITHIN THE RIPARIAN SETBACK PROVIDED IT IS OUTSIDE OF THE 50' STEEP SLOPE BUFFER AND ABOVE ELEVATION 900

NOTES

- THE SITE DRAINS IN A GENERAL EAST-WEST DIRECTION TO THE BIG DARBY CREEK.
- ACCORDING TO THE USGS GALLOWAY QUADRANGLE MAP, THERE ARE NO ON-SITE PERENNIAL, INTERMITTENT, OR EPHEMERAL STREAMS THAT DRAIN TO THE BIG DARBY CREEK.
- THERE ARE NO KNOWN FIELD TILES LOCATED ON THE SITE.
- THERE ARE NO EXISTING GROUNDWATER RECHARGE SYSTEMS ON THE SITE.
- ACCORDING TO THE OHIO EPA DIVISION OF SURFACE WATER WEBSITE, THERE ARE NO WATER QUALITY MONITORING POINTS WITHIN 300' OF THE SITE. THE NEAREST UPSTREAM LOCATION IS WISSALOHICAN SSD (OHIO EPA NO. 4PG00048*ED). THE NEAREST DOWNSTREAM LOCATION IS AQUA OHIO WATER CO. INC - LAKE DARBY WWTP (OHIO EPA NO. 4PU00001*JD).
- PER THE U.S.D.A. WEB SOIL SURVEY SITE, THE FOLLOWING HYDRIC SOILS ARE FOUND ON THE SITE: CELINA SILT LOAM (Ceb), CROSBY SILT LOAM (cra), KOKOMO SILTY CLAY LOAM (Kc), LEWISBURG-CROSBY COMPLEX (Lcb), MIAMI SILTY CLAY LOAM (mic2), AND ROSS SILT LOAM (Rs). HYDRIC SOILS COVER APPROXIMATELY 87% OF THE SITE.
- THE EXISTING CAMP INCLUDES NUMEROUS ACRES OF UNDEVELOPED SPACE (I.E. OPEN SPACE / NATURAL AREAS).
- SIGNIFICANT WILDLIFE HABITAT INCLUDES: DEER, TURKEY, WOODCHUCK, COYOTE, RACCOON, SQUIRREL, RABBIT, OPOSSUM, SKUNK, MICE, FOX, BIRDS, BATS, SNAKES, TURTLE, FISH.
- THE ONLY KNOWN EXISTING EASEMENTS ON THE SITE ARE THOSE PROVIDED FOR COLUMBUS & SOUTHERN OHIO ELECTRIC. THE EASEMENTS ARE LOCATED ALONG THE WEST SIDE OF HUBBARD ROAD AND COVER THE ELECTRIC SERVICE LINES PROVIDING POWER TO EXISTING ON-SITE STRUCTURES.

NOTES

- THERE IS NO EXISTING PLANTING AND MANAGEMENT PLAN.
- THERE ARE OVERHEAD UTILITY LINES ALONG THE WEST SIDE OF HUBBARD ROAD AND THROUGH THE CAMP THAT PROVIDE ELECTRIC SERVICE TO THE FACILITIES. THERE ARE EXISTING ON-SITE WELLS THAT PROVIDE WATER SERVICE FOR THE CAMP. THERE ARE EXISTING ON-SITE SANITARY PACKAGE PLANTS AND/OR SEPTIC/LEACH FIELDS THAT PROVIDE SANITARY SERVICE FOR THE CAMP.



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GALLOWAY, OHIO 43119

DESIGN: DRAFT CHECK
LMS: WTC EPC

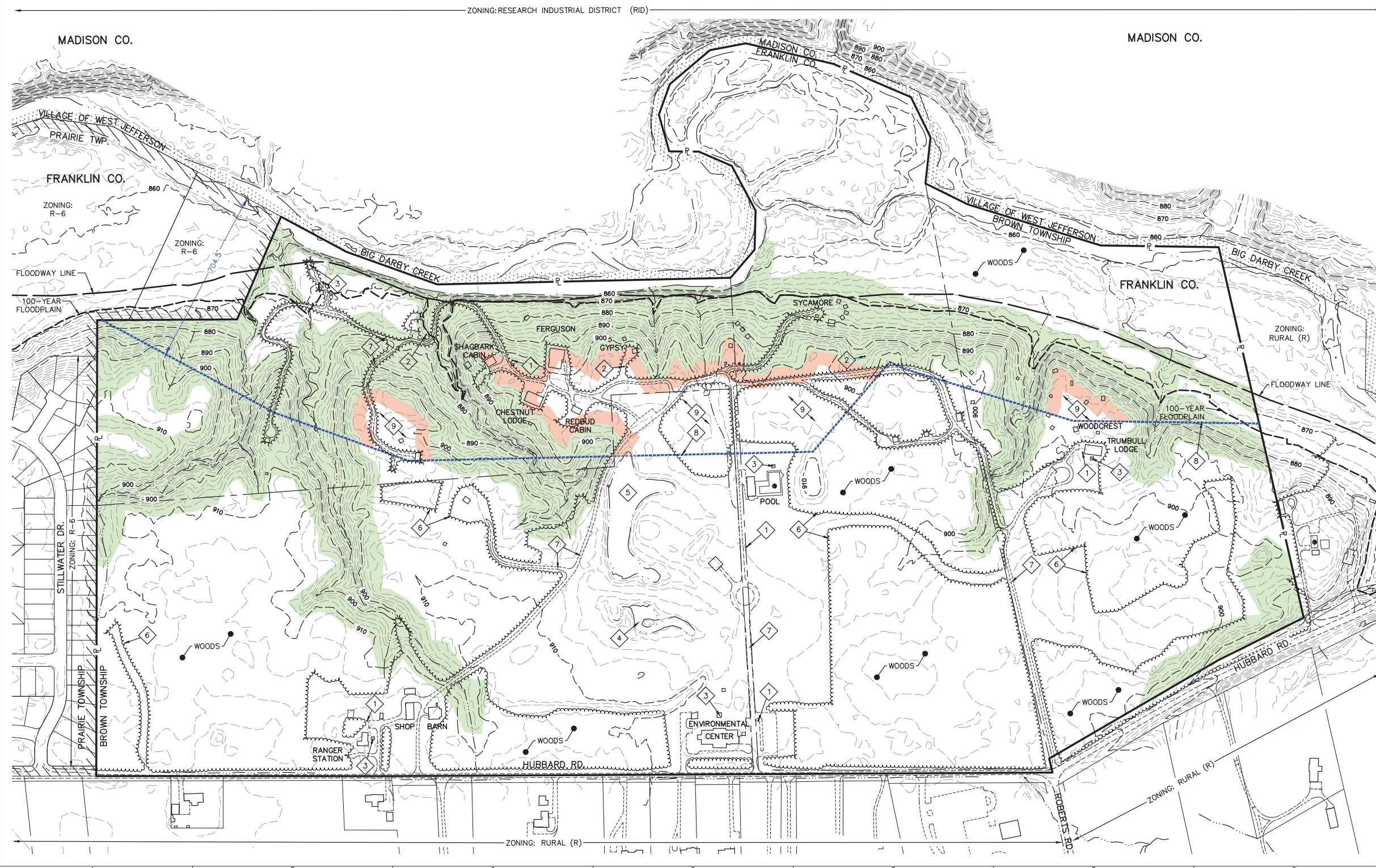
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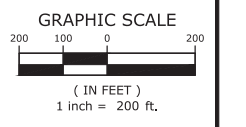
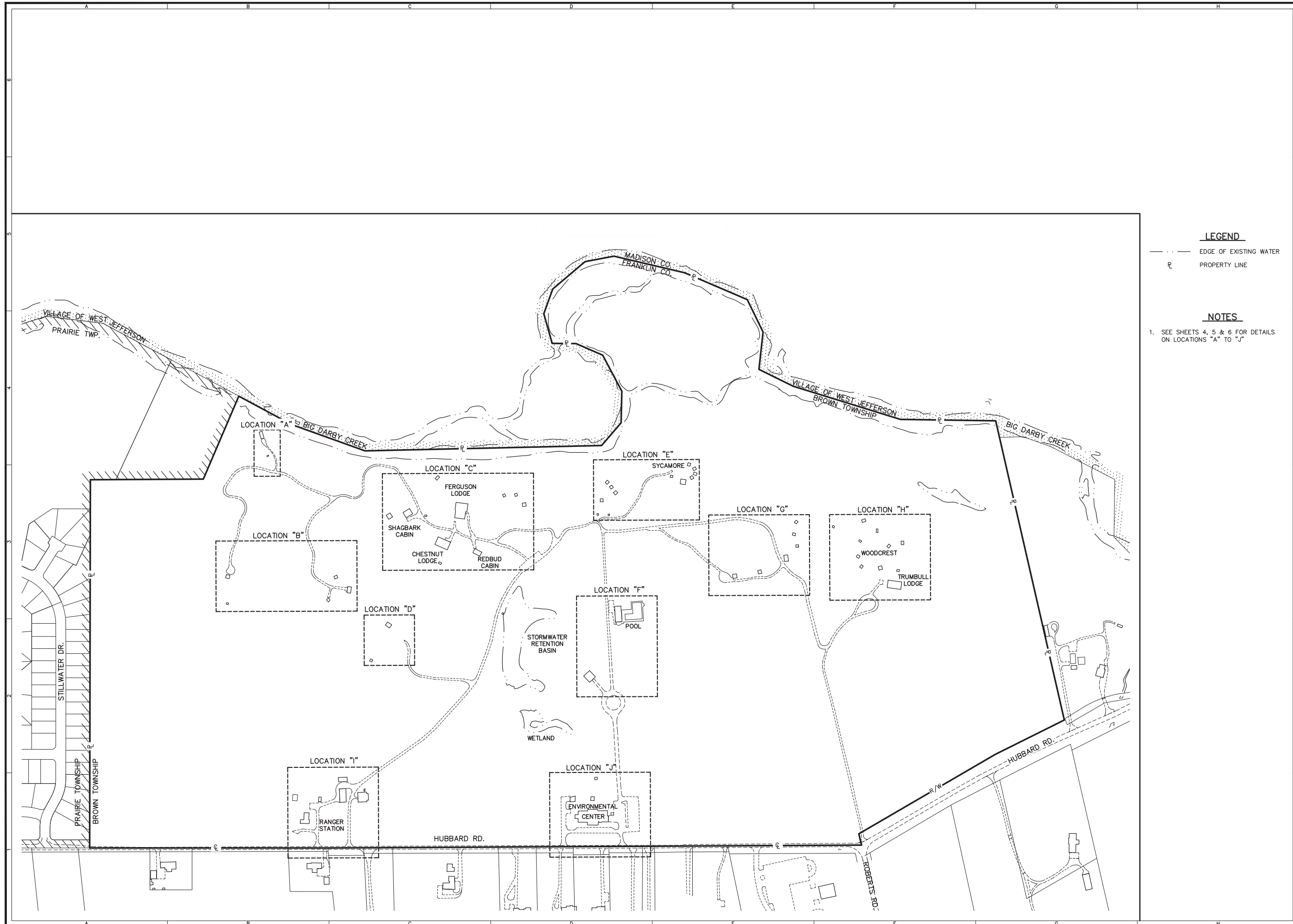
EXISTING CONDITIONS
SITE MAP

SHEET NO.: 2/10



LEGEND

- EXISTING TREE LINE
- EXISTING SWALE/DITCH
- EDGE OF EXISTING WATER
- FLOODWAY LINE
- 100-YEAR FLOODPLAIN
- RIPARIAN SETBACK
- PARCEL LINE
- CONTOUR (2' INTERVAL)
- CONTOUR (10' INTERVAL)
- PROPERTY LINE
- APPROXIMATE LOCATION OF SLOPES 12% OR GREATER
- 50' BUFFER FROM TOP OF SLOPES 12% OR GREATER



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LEGEND

- EDGE OF EXISTING WATER
- ▭ PROPERTY LINE

NOTES

1. SEE SHEETS 4, 5 & 6 FOR DETAILS ON LOCATIONS "A" TO "J"

REVISION:

SUBMISSION:

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- ▩ AS-BUILT DOCUMENT SET

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 GALLOWAY, OHIO 43119

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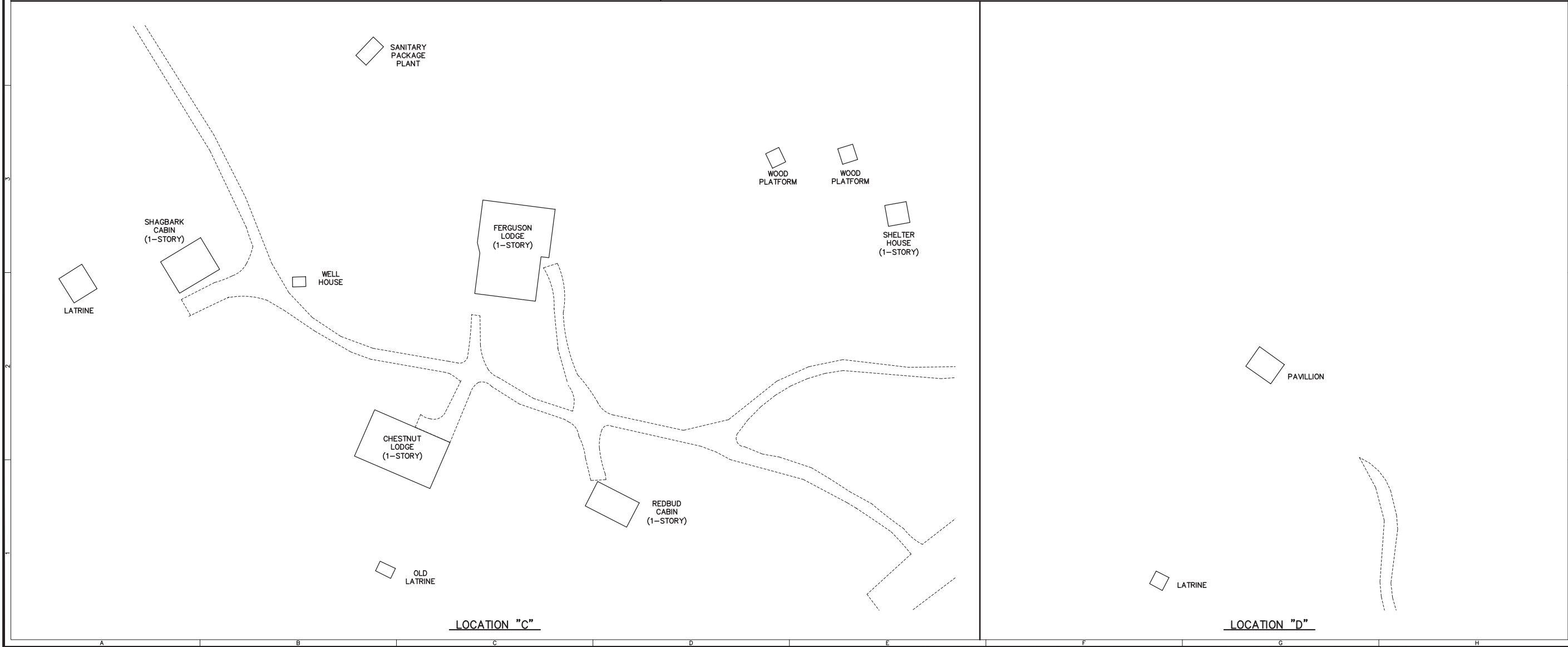
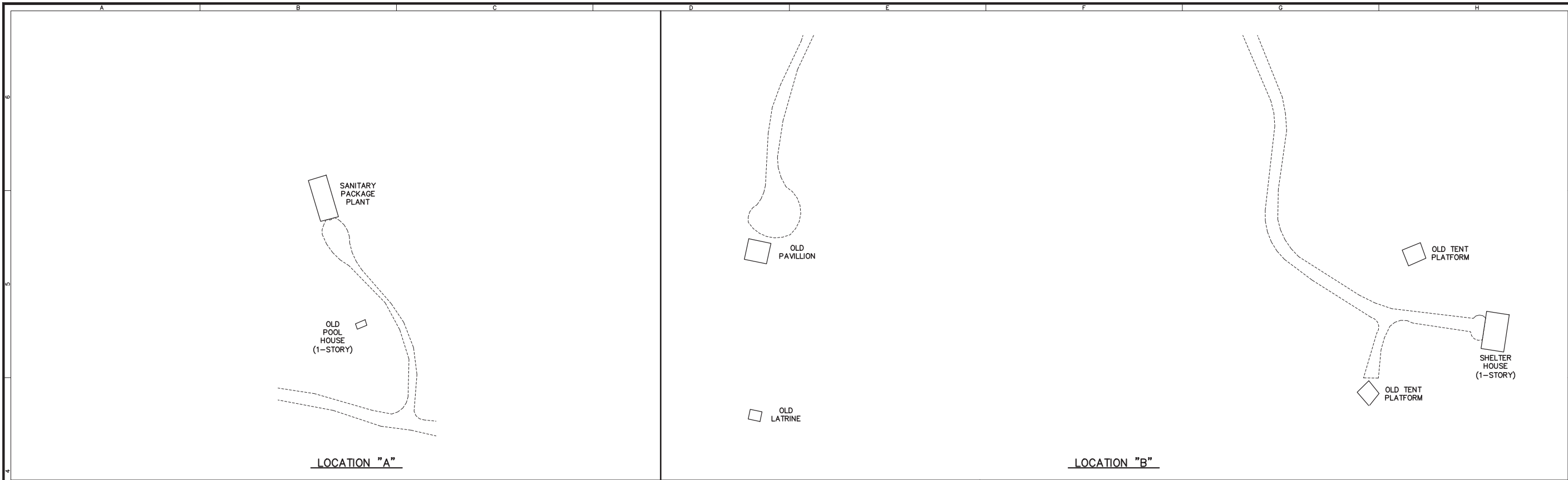
IBI NO.: 137745

DATE: FEBRUARY 22, 2023

SHEET TITLE:

EXISTING STRUCTURES
 OVERALL SITE MAP

SHEET NO.: 3/10



GRAPHIC SCALE
 (IN FEET)
 1 inch = 40 ft.



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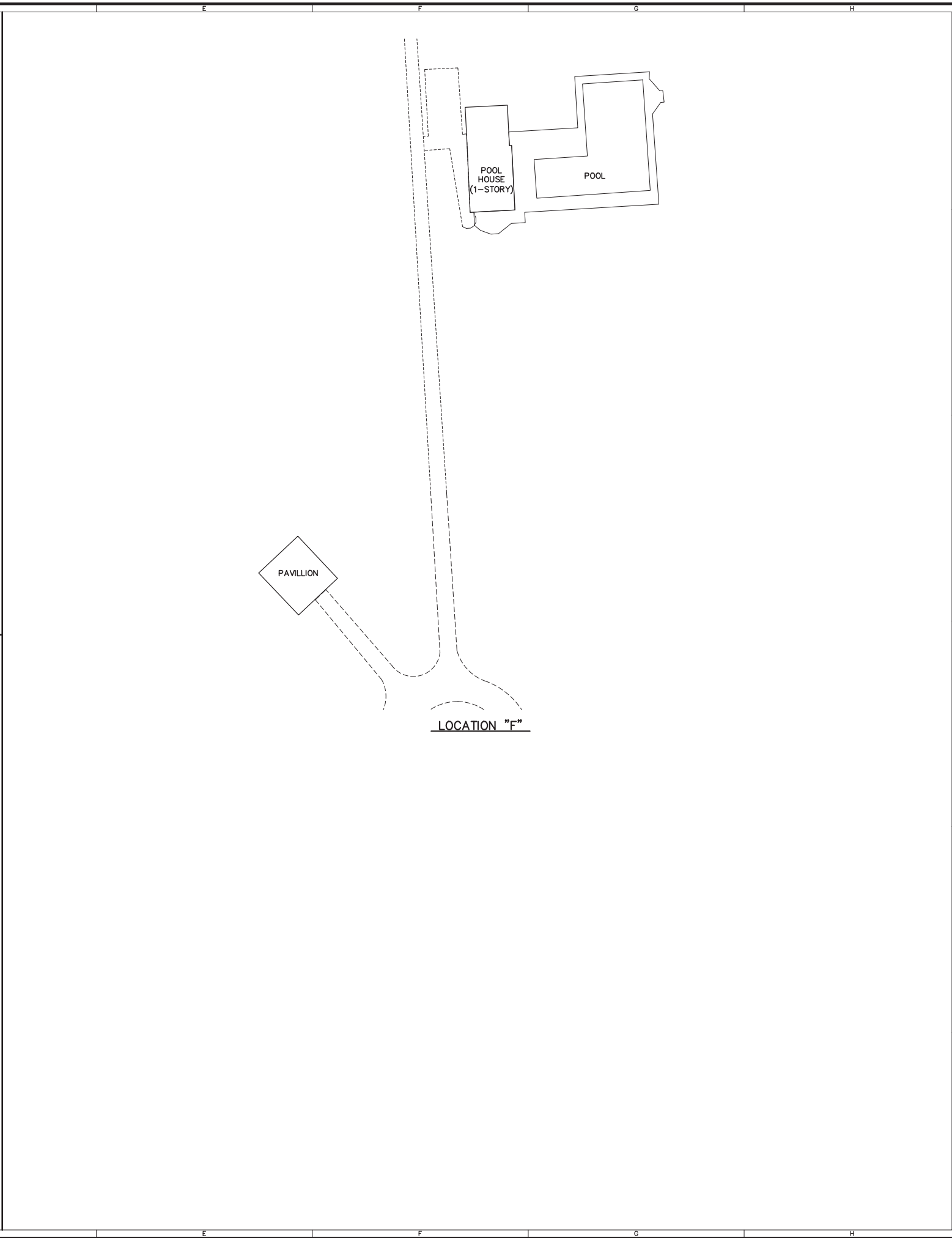
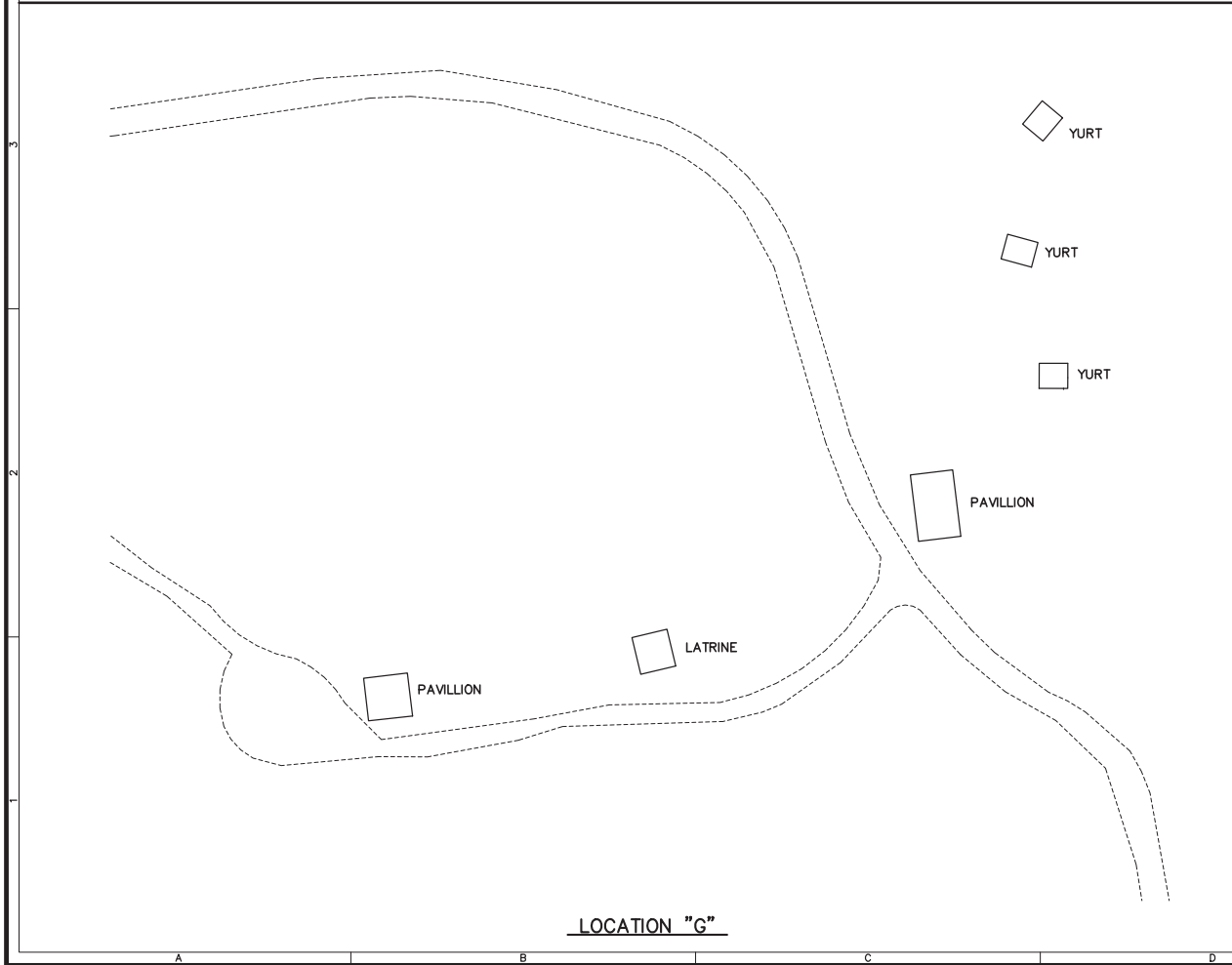
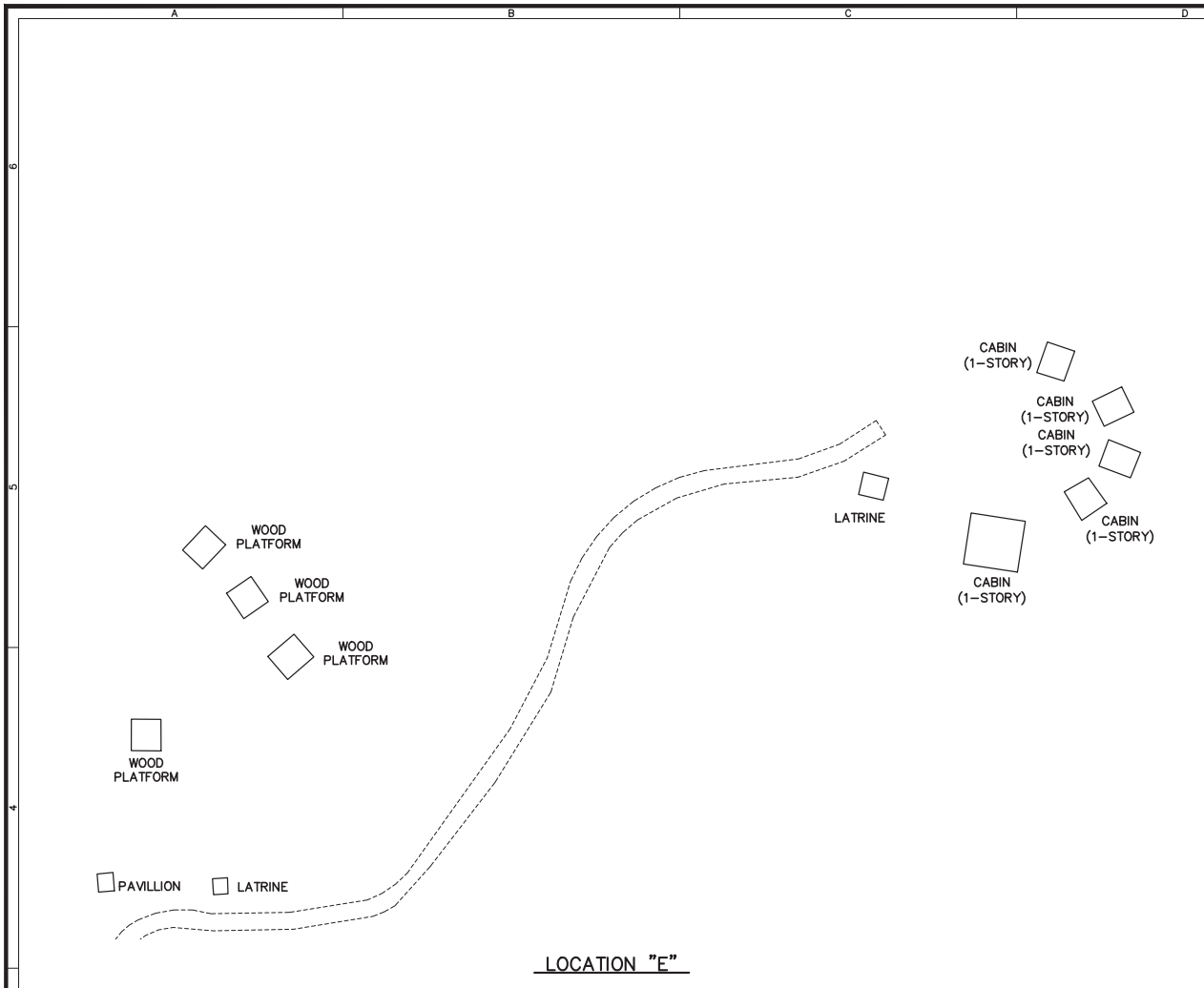
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DATE: FEBRUARY 22, 2023

SHEET TITLE:

EXISTING STRUCTURES
 DETAIL MAP

SHEET NO.: 4/10



GRAPHIC SCALE
 (IN FEET)
 1 inch = 40 ft.



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- CONSTRUCTION DOCUMENT SET
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 1295 HUBBARD ROAD
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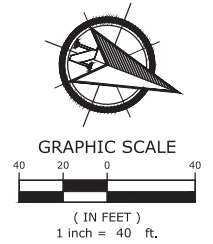
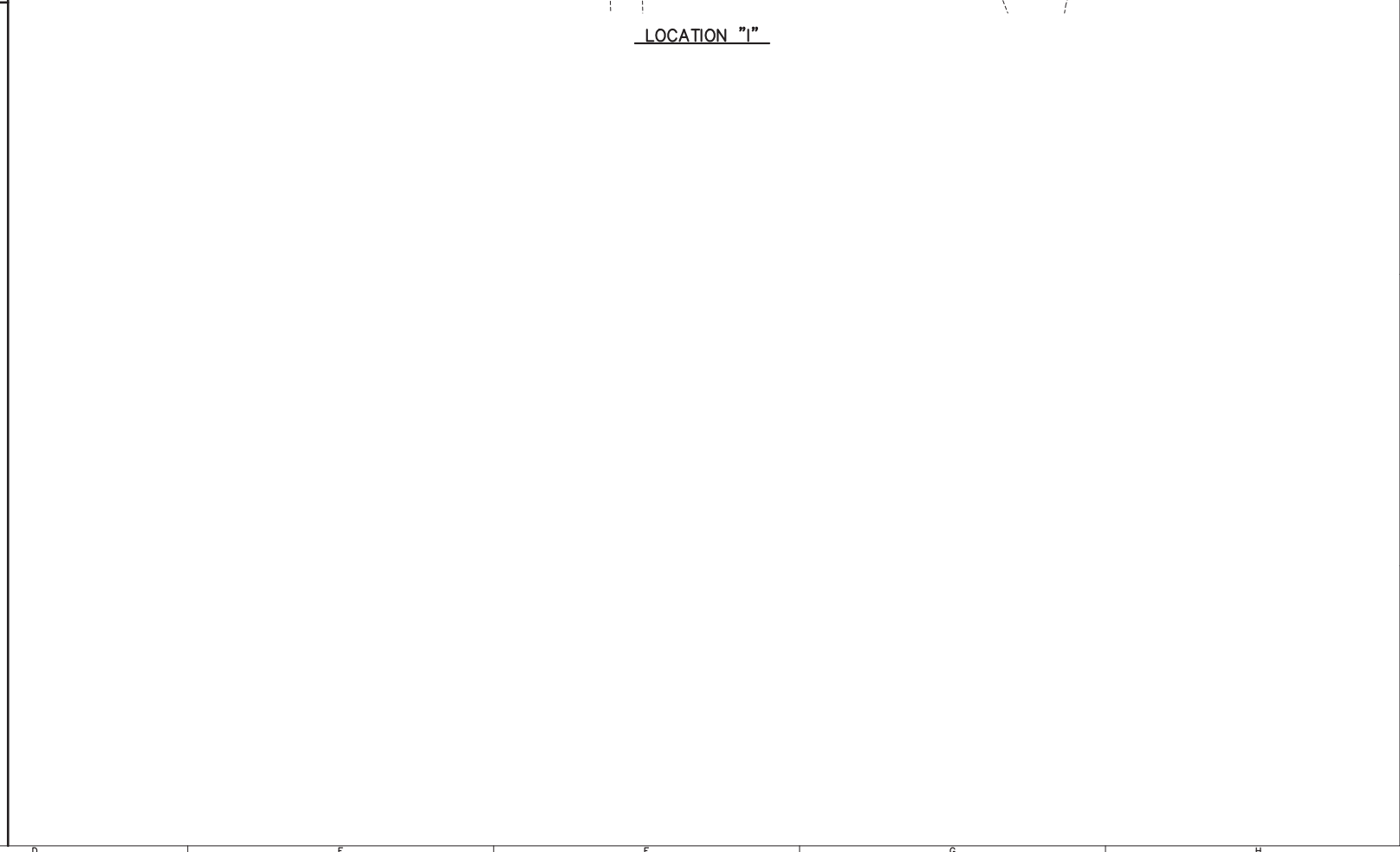
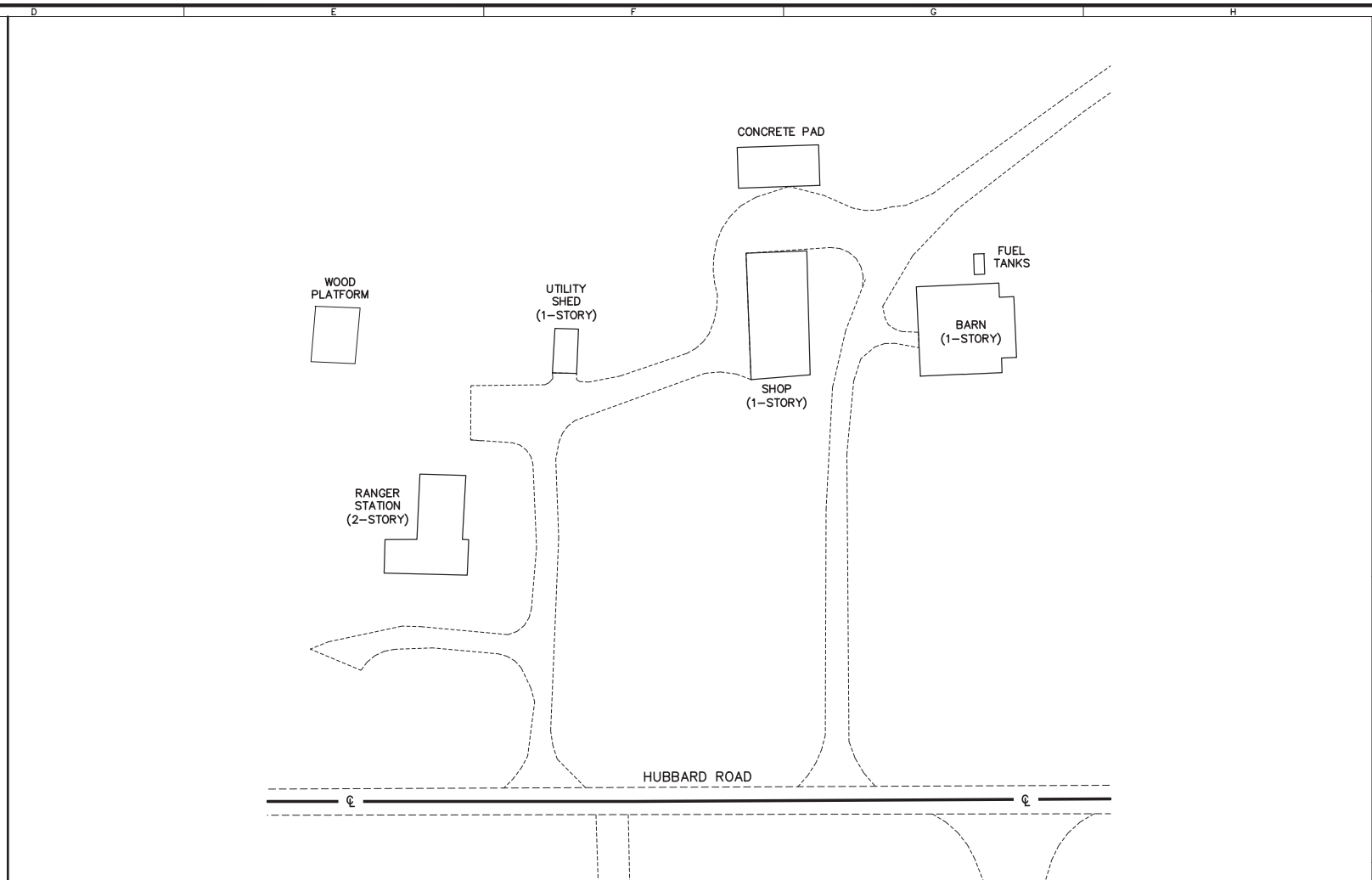
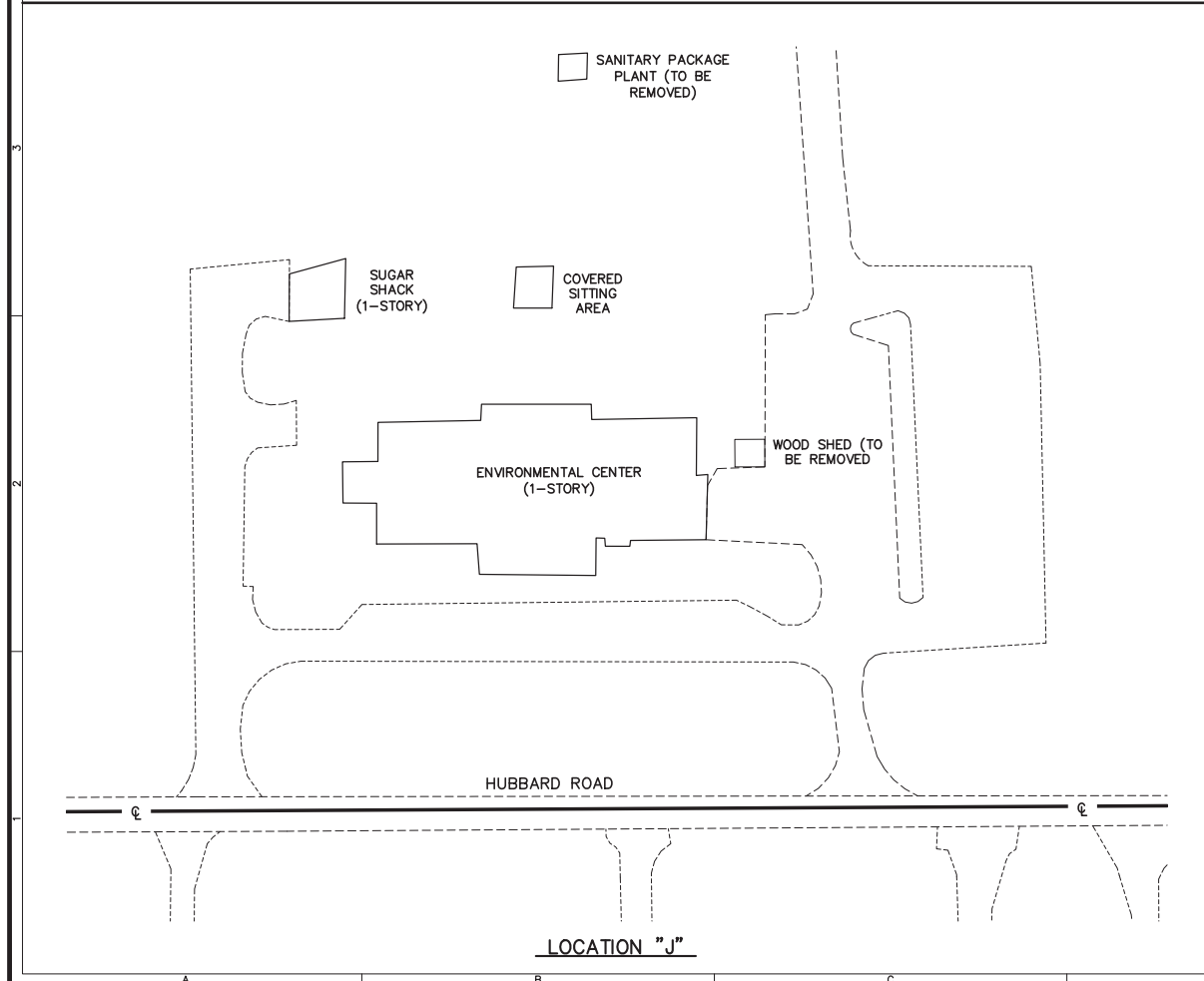
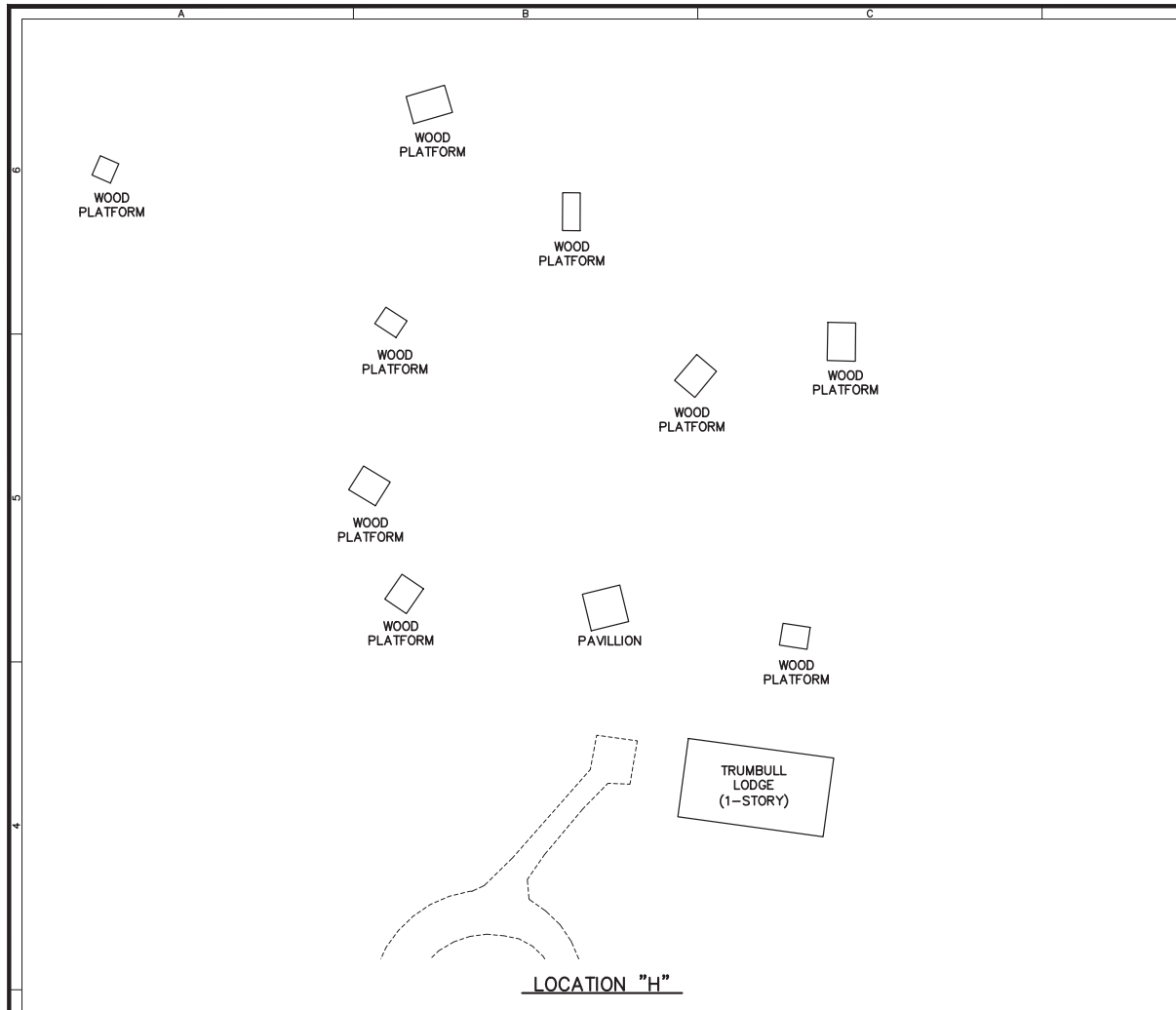
IBI NO.: 137745

DATE: FEBRUARY 22, 2023

SHEET TITLE:

EXISTING STRUCTURES
 DETAIL MAP

SHEET NO.: 5/10



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DATE: FEBRUARY 22, 2023

SHEET TITLE:

EXISTING STRUCTURES
DETAIL MAP

SHEET NO.: 6/10

SITE DATA & ACREAGE STATEMENTS

TAX DISTRICT/PARCELS: 120-000139, 120-000142 & 120-000168

SITE AREA (GROSS): 228.998 ACRES
 RIGHT OF WAY AREA (TO BE DEDICATED): 3.514 ACRES
 SITE AREA (NET): 225.484 ACRES

ZONING DISTRICT: EXISTING: EXCEPTIONAL USE (FOR ALL TAX DISTRICTS)
 PROPOSED: EXCEPTIONAL USE (FOR ALL TAX DISTRICTS)

EXISTING RESIDENTIAL LAND USE AREA: 0.039 ACRES± (RANGER STATION)
 NET EXISTING NON-RESIDENTIAL LAND USE AREA: 225.484 - 0.039 = 225.445 ACRES

EXISTING STRUCTURES AREA AT GROUND FLOOR LEVEL (SEE SHEET 3): 1.263 ACRES±

PROPOSED STRUCTURE AREAS AT GROUND FLOOR LEVEL
 ADDITION TO ENVIRONMENTAL CENTER FOOTPRINT: 0.022 ACRES±
 STEM LEADERSHIP & MAKER SPACE CENTER FOOTPRINT: 0.620 ACRES±
 0.642 ACRES±

RIPARIAN SETBACK AREA: 81.608 ACRES (BASED ON SECTION 650.09 EQUATION)

OTHER PRESERVATION AND NO-DISTURB ZONES: 0.70 ACRES (EXISTING WETLAND)

NET PROPOSED OPEN SPACE TOTAL: 225.484 - (1.263 + 0.642) = 223.579 ACRES

DENSITY CALCULATIONS

THERE IS AN ACTIVE GIRL SCOUT CAMP LOCATED ON THE SITE. THE RANGER STATION IS THE ONLY FULL TIME RESIDENCE.

DESIGNATION	AREA (AC.)	DENSITY GROSS AREA	DENSITY NET AREA	DENSITY OPEN SPACE
EXISTING STRUCTURES	1.263±	0.55%	0.56%	0.56%
EX. & PROP. IMPROVEMENTS	1.905±	0.83%	0.85%	0.85%
** EXISTING, PROPOSED, & FUTURE IMPROVEMENTS	22.548±	9.85%	10.00%	11.11%

OPEN SPACE CALCULATIONS

THERE IS AN ACTIVE GIRL SCOUT CAMP LOCATED ON THE SITE. ALL AREAS (EXCEPT FOR THE RANGER STATION, BARN & SHOP) IS USED BY CAMP ATTENDEES FOR RECREATIONAL AND EDUCATIONAL MATTERS. FOR THE TABLE BELOW, THE OPEN SPACE DESIGNATION INCLUDES RIPARIAN SETBACK AREA, NATURAL AREAS, ACTIVE RECREATION AREA, STORMWATER MANAGEMENT FACILITIES, AND NATURAL AREAS AS THESE AREAS ALL PROVIDE AN OPPORTUNITY FOR RECREATIONAL AND LEARNING OPPORTUNITIES.

DESIGNATION	AREA (AC.)	% OF GROSS AREA	% OF NET AREA
** OPEN SPACE	202.936±	88.62	90.00
STORMWATER MANAGEMENT	2.500±	1.09	1.11
RIPARIAN SETBACK	81.608	35.64	36.19

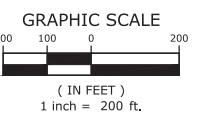
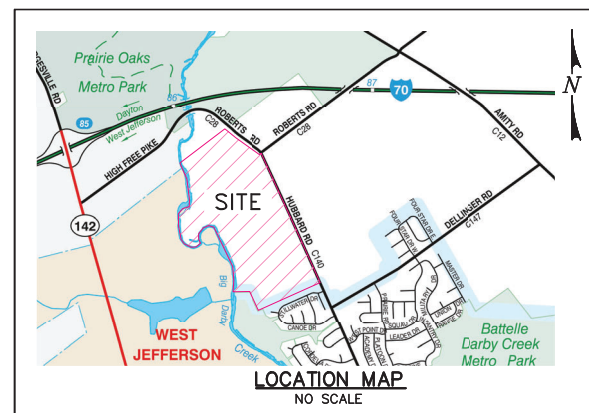
** THE MAXIMUM ALLOWABLE TOTAL BUILD-OUT AREA FOR STRUCTURES (EXISTING, PROPOSED & FUTURE) AT GROUND FLOOR LEVEL SHALL NOT EXCEED 10% OF THE TOTAL NET AREA.

CODED NOTES

1. RIPARIAN SETBACK PER SECTION 650.09
 $W = 133DA^{0.43} = 133(242)^{0.43} = 1,409'$

NOTES

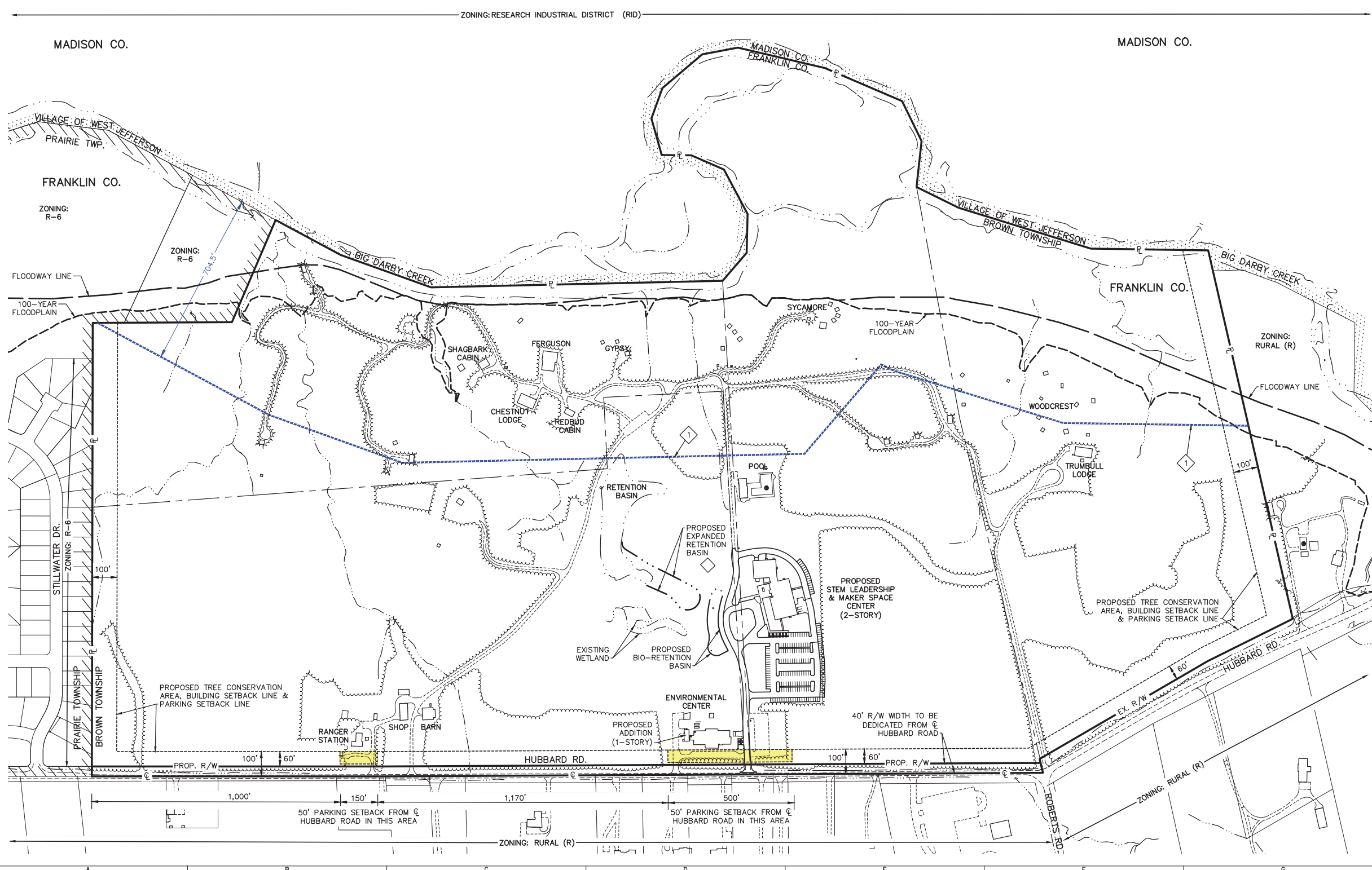
1. CURRENT IMPROVEMENTS FOR THE CAMP INCLUDE THE CONSTRUCTION OF THE STEM LEADERSHIP & MAKER SPACE CENTER / PARKING LOT, AND AN ADDITION / RENOVATION TO THE EXISTING ENVIRONMENTAL CENTER. AQUA OHIO HAS EXISTING WATER AND SEWER LINES LOCATED IN THE SUBDIVISION SOUTH OF THE SITE. AS PART OF THE IMPROVEMENTS, WATER AND SEWER LINES WILL BE EXTENDED NORTH ALONG THE WEST SIDE OF HUBBARD ROAD TO SERVE THE STEM LEADERSHIP & MAKER SPACE CENTER AND ENVIRONMENTAL CENTER BUILDING. THE EXISTING SANITARY PACKAGE PLANT SERVING THE ENVIRONMENTAL CENTER WILL BE REMOVED.



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LEGEND

- EXISTING TREE LINE
- EXISTING SWALE/DITCH
- EDGE OF EXISTING WATER
- FLOODWAY LINE
- 100-YEAR FLOODPLAIN
- RIPARIAN SETBACK
- PARCEL LINE
- PROPERTY LINE
- PROVIDE 50' PARKING SETBACK FROM HUBBARD ROAD & IN THIS AREA



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SHEET TITLE:

CONCEPTUAL SITE PLAN

SHEET NO.: 7/10

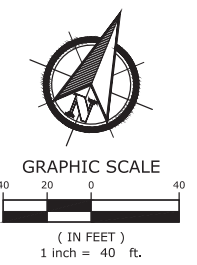
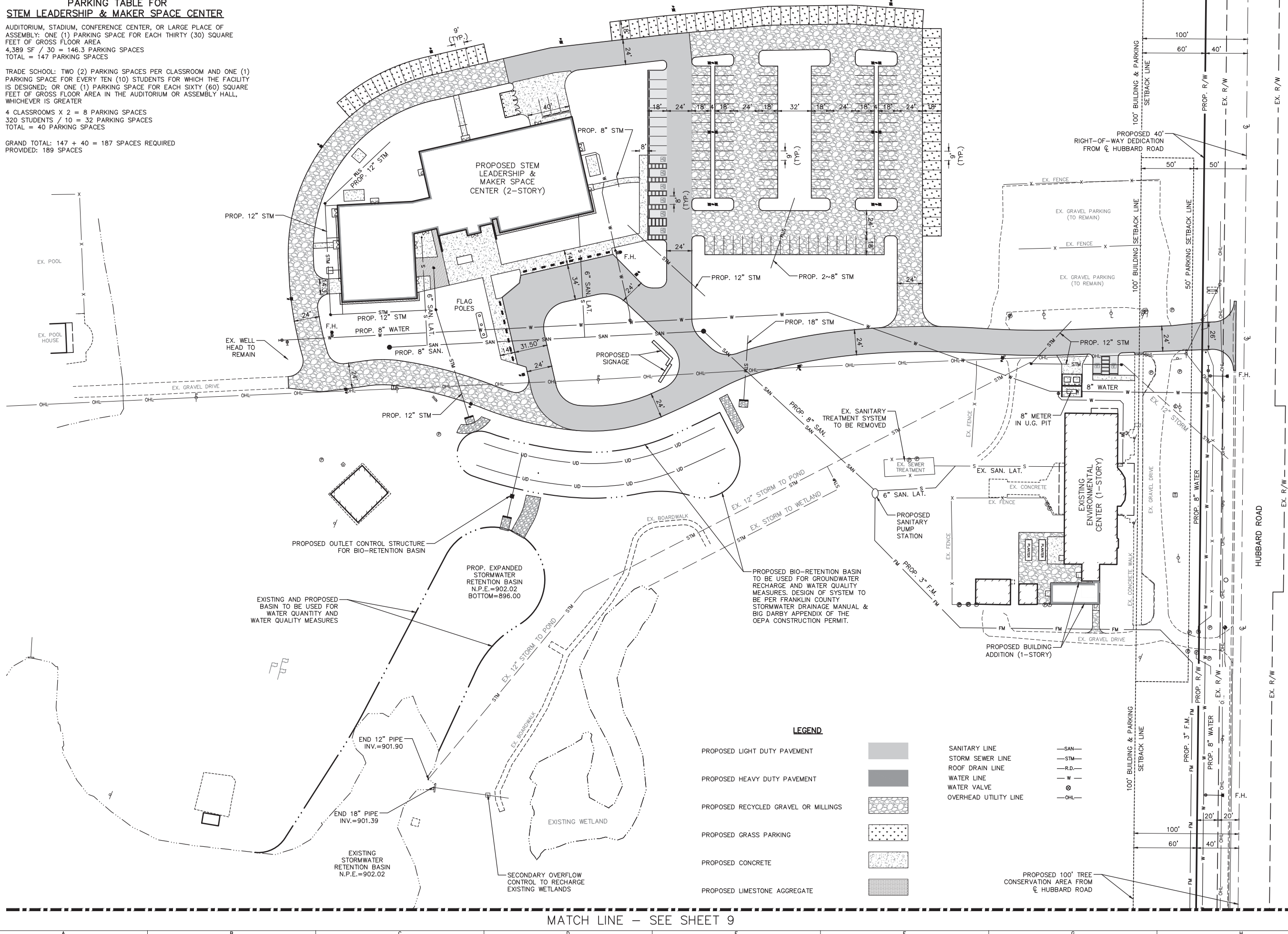
**PARKING TABLE FOR
STEM LEADERSHIP & MAKER SPACE CENTER**

AUDITORIUM, STADIUM, CONFERENCE CENTER, OR LARGE PLACE OF ASSEMBLY: ONE (1) PARKING SPACE FOR EACH THIRTY (30) SQUARE FEET OF GROSS FLOOR AREA
4,389 SF / 30 = 146.3 PARKING SPACES
TOTAL = 147 PARKING SPACES

TRADE SCHOOL: TWO (2) PARKING SPACES PER CLASSROOM AND ONE (1) PARKING SPACE FOR EVERY TEN (10) STUDENTS FOR WHICH THE FACILITY IS DESIGNED; OR ONE (1) PARKING SPACE FOR EACH SIXTY (60) SQUARE FEET OF GROSS FLOOR AREA IN THE AUDITORIUM OR ASSEMBLY HALL, WHICHEVER IS GREATER

4 CLASSROOMS X 2 = 8 PARKING SPACES
320 STUDENTS / 10 = 32 PARKING SPACES
TOTAL = 40 PARKING SPACES

GRAND TOTAL: 147 + 40 = 187 SPACES REQUIRED
PROVIDED: 189 SPACES



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IBI NO.: 137745
DATE: FEBRUARY 22, 2023

SHEET TITLE:

**CONCEPTUAL SITE
PLAN DETAIL**

SHEET NO.: 8/10

MATCH LINE - SEE SHEET 9

MATCH LINE - SEE SHEET 8



GRAPHIC SCALE
 (IN FEET)
 1 inch = 40 ft.



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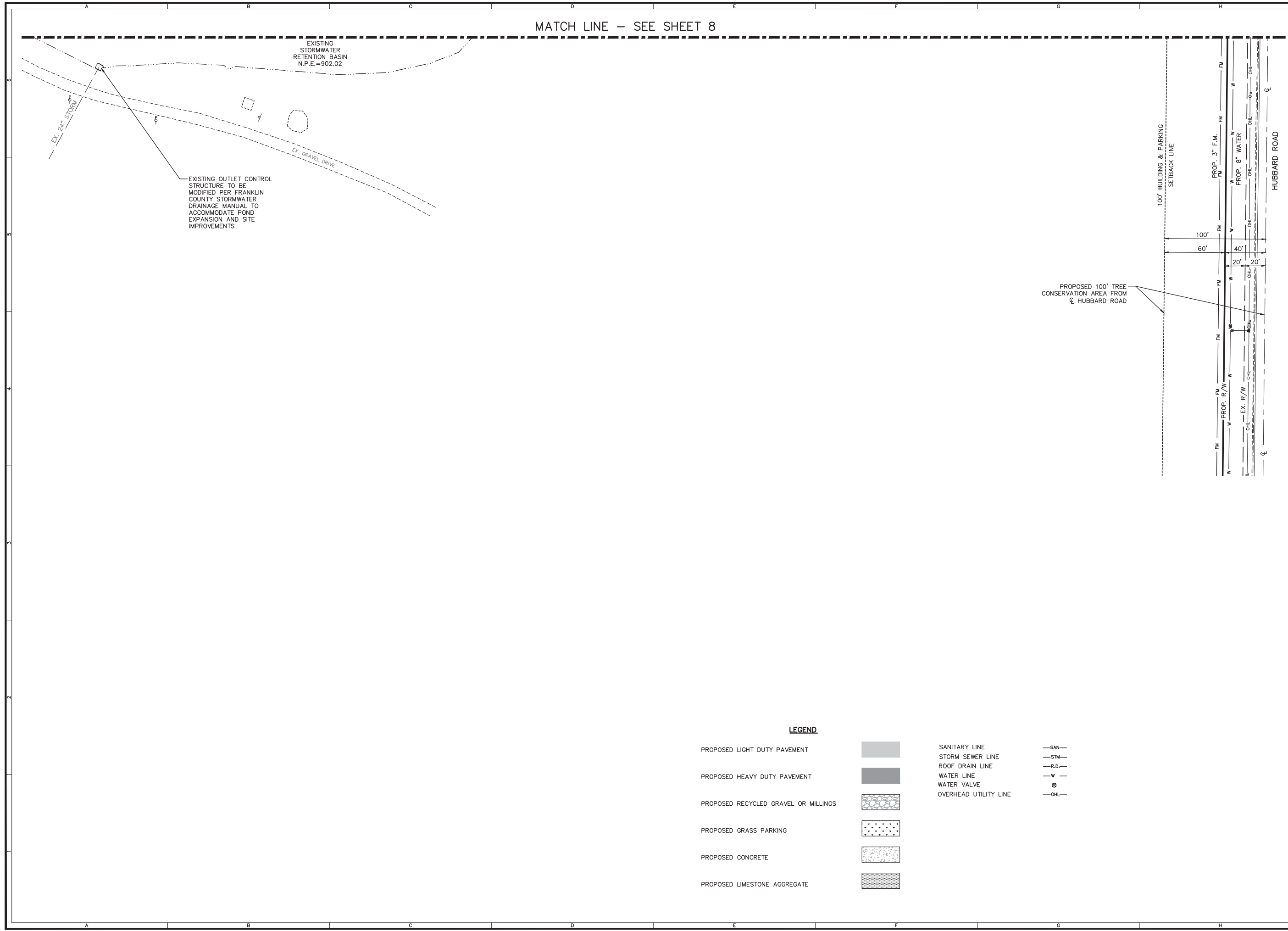
IBI NO.: 137745

DATE: FEBRUARY 22, 2023

SHEET TITLE:

CONCEPTUAL SITE PLAN DETAIL

SHEET NO.: 9/10

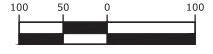


LEGEND

- | | | | |
|--------------------------------------|--|-----------------------|--------|
| PROPOSED LIGHT DUTY PAVEMENT | | SANITARY LINE | —SAN— |
| PROPOSED HEAVY DUTY PAVEMENT | | STORM SEWER LINE | —STM— |
| PROPOSED RECYCLED GRAVEL OR MILLINGS | | ROOF DRAIN LINE | —R.D.— |
| PROPOSED GRASS PARKING | | WATER LINE | —W— |
| PROPOSED CONCRETE | | WATER VALVE | ⊙ |
| PROPOSED LIMESTONE AGGREGATE | | OVERHEAD UTILITY LINE | —OHL— |



GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.



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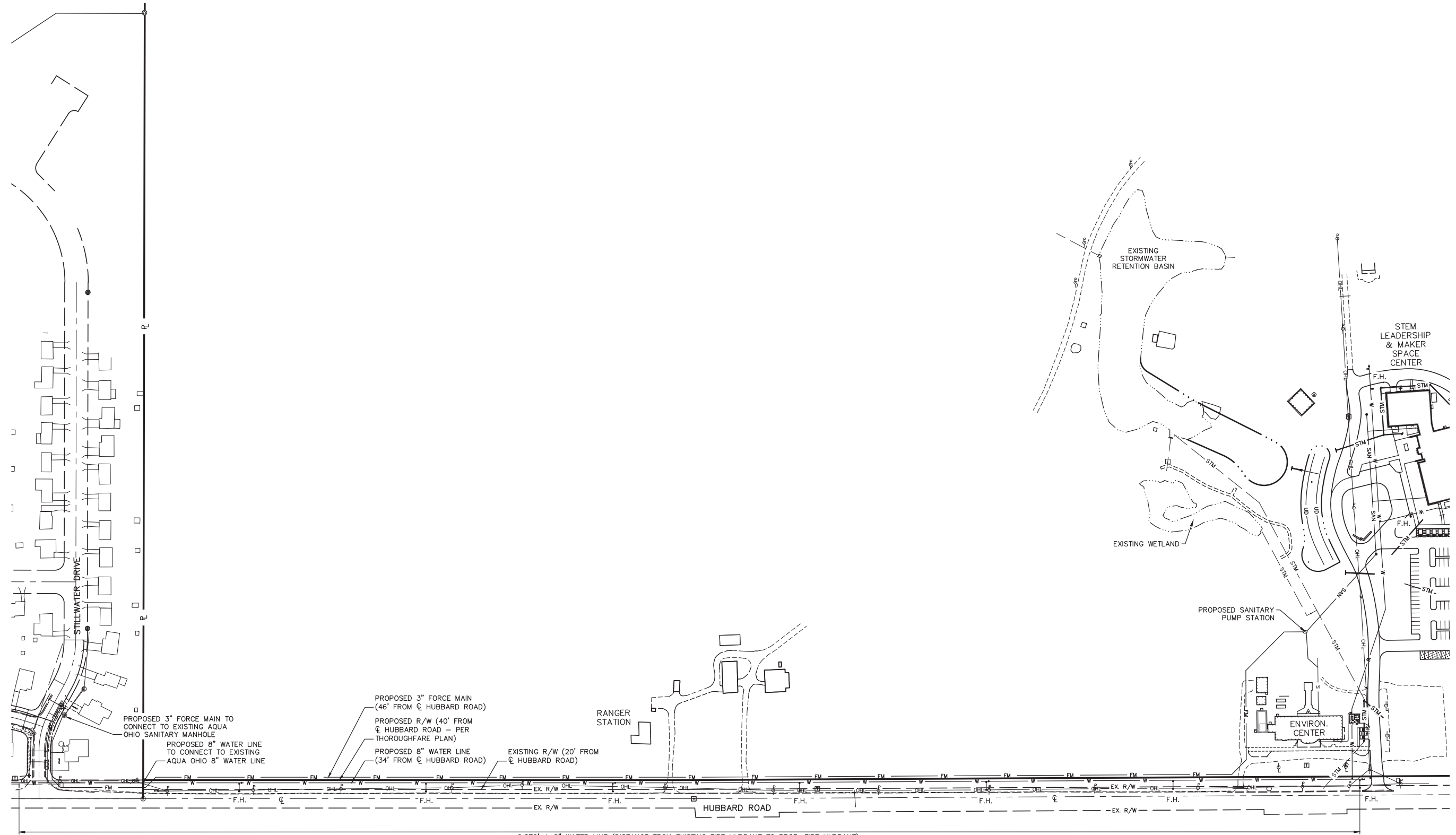
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DATE: FEBRUARY 22, 2023

SHEET TITLE:

CONCEPTUAL SITE PLAN UTILITY EXTENSION

SHEET NO.: 10/10



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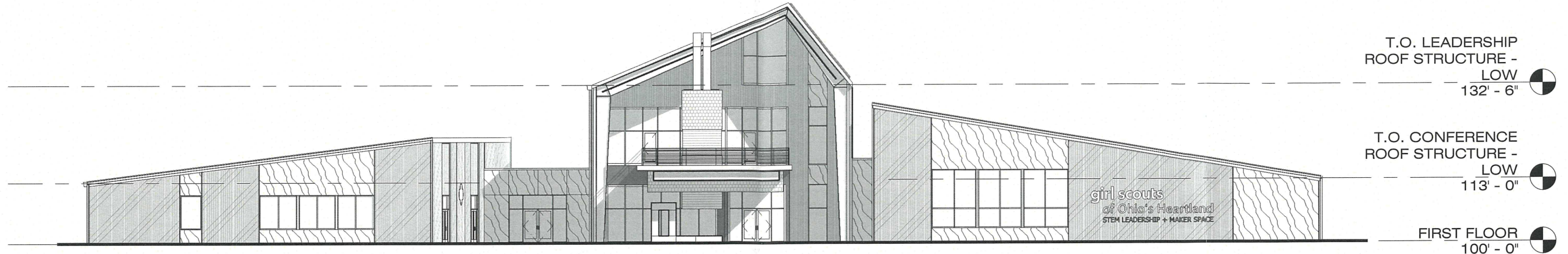
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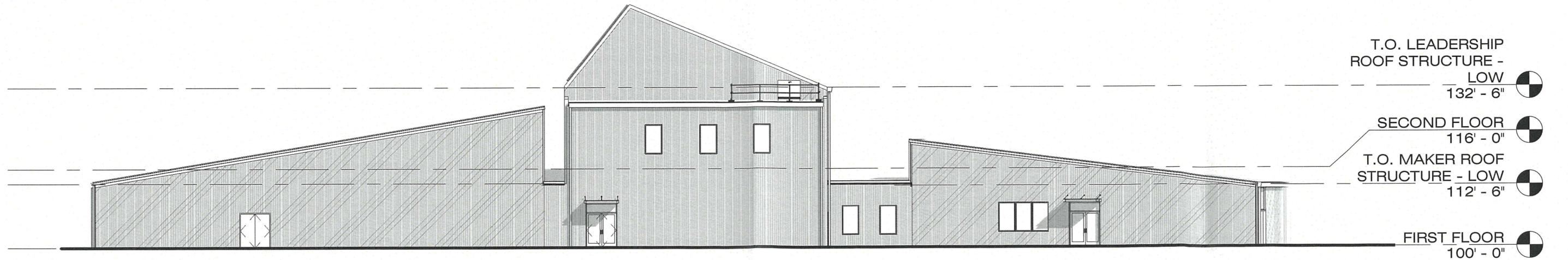
girl scouts
of Ohio's Heartland
STEM LEADERSHIP + MAKER SPACE



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FRONT ELEVATION



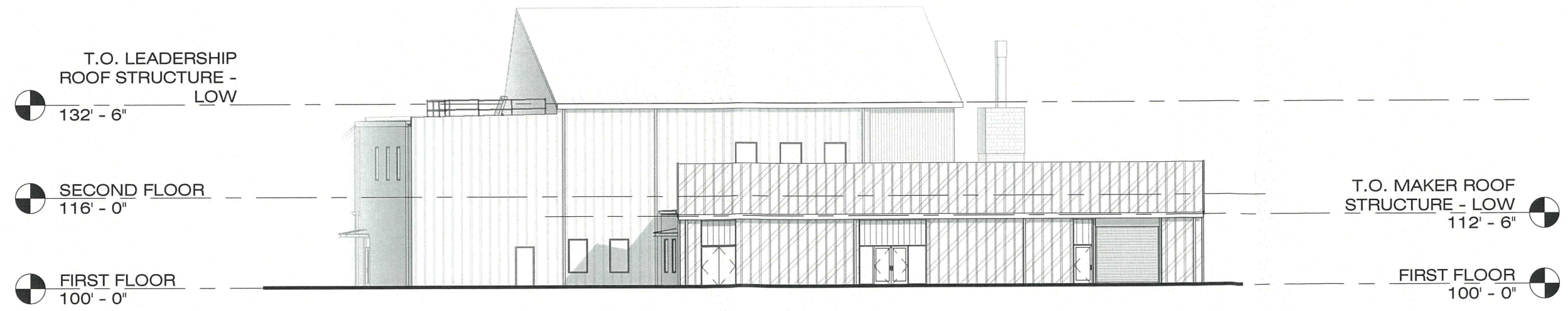
REAR ELEVATION



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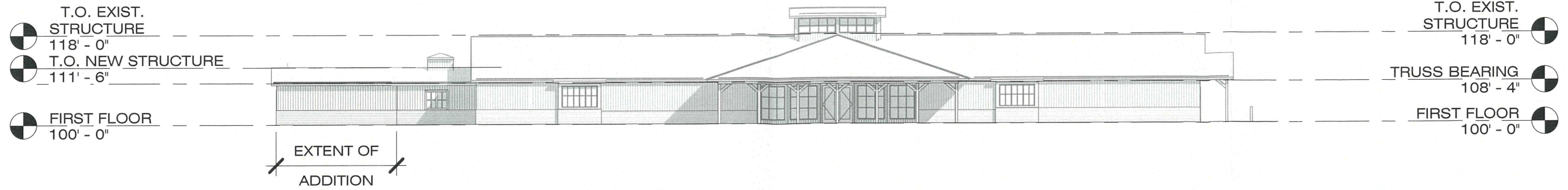
EAST ELEVATION



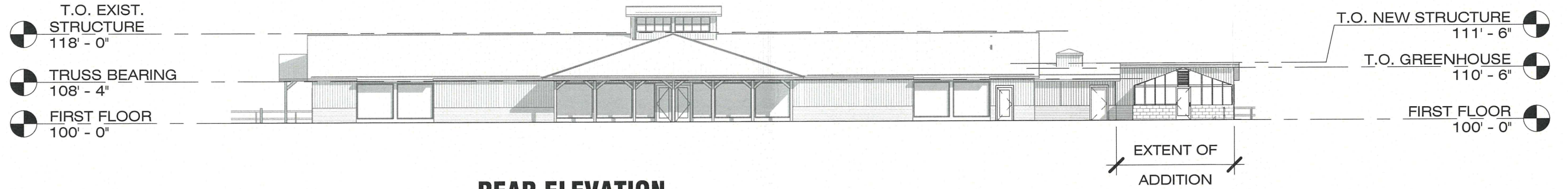
WEST ELEVATION



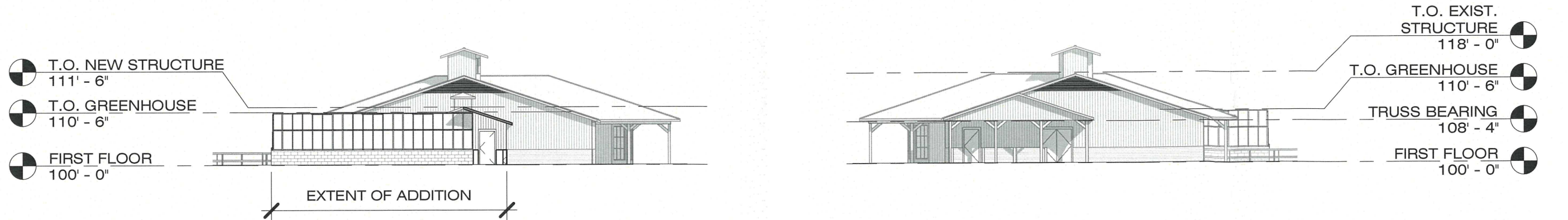
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FRONT ELEVATION



REAR ELEVATION



SOUTH ELEVATION

NORTH ELEVATION



Development Plan Text

Girl Scouts of Ohio's Heartland Council, Inc.

Camp Ken-Jockey
1295 Hubbard Road
Galloway, Ohio 43119

Date of Development Text: February 6, 2023

Date of Development Text Revisions: February 22, 2023

Owner/Developer:

**Girl Scouts of Ohio's Heartland
Council, Inc.**

1700 Watermark Drive
Columbus, OH 43215
Contact: Brian Quibell
Telephone: (614) 487-7101
E-mail: bquibell@gsOH.org

Attorney for Girl Scouts:

Catherine A. Cunningham, Esq.
Kegler, Brown, Hill + Ritter, Co., L.P.A.
65 E. State Street, Suite 1800
Columbus, OH 43215
Telephone: (614) 462-5486
E-mail: ccunningham@keglerbrown.com

1. THE PROPERTY

The subject property is a historic Girl Scout Camp in western Brown Township, Franklin County commonly known as Camp Ken-Jockety, an Indian term meaning a place “away from the crowd.” The property is bounded by Big Darby Creek on the west and Hubbard Road on the east and is north of Dellinger Road and primarily south (and some north) of the terminus of Roberts Road into Hubbard Road.

The property includes 3 parcels totaling acres 217.351 acres (auditor’s records; 228.998 calculated acres) including: Franklin County Auditor’s Parcel Nos. 120-000168 (49.041 acres); 120-000139 (123.84 acres); and 120-000142 (44.47 acres) and will be collectively referred to in this text as the “Property” or “Site.”

The existing conditions of the Property are generally shown on the Development Map (“Map”) and more specifically shown on the Existing Conditions Site Map (pg. 2) and described in the Conceptual Site Plan (pg. 7). The Property has significant wooded areas throughout the site, abuts Big Darby Creek on its western boundary, has some steep slopes adjacent to Big Darby Creek and several ravines and is more level with a pond, vegetated swales and meadows on the eastern two-thirds of the Property adjacent to and west of Hubbard Road south of Roberts Road. The majority of the site is open space, natural area, and/or recreational areas. The only stream on the site is Big Darby Creek. A man-made wetland was established on the site in 2005 with an outlet control structure that was approved and permitted through the Ohio Environmental Protection Agency (OEPA) and is shown on the Map at page 7. The Property is an active Girl Scout facility that is used for year round camping, recreation, social, cultural and educational activities with particular focus on nature, the outdoors and the environment.

2. ZONING

The property has been zoned Exceptional Use (EU) with a Development Plan since 1972. The Franklin County Zoning Resolution does not have a procedure to amend an existing Development Plan, without rezoning all or a portion of the EU District to amend or supplement the existing Plan. The current Development Plan for the site was approved in 1972. The Girl Scouts are seeking to update the 1972 Development Plan by rezoning the property to continue the Exceptional Use Zoning classification with an updated Development Plan that will allow the historic site to remain and to update the site now with a new STEM Leadership and Maker Space (“STEM Center”), a small addition to the existing Environmental Center and other minor site improvements and to provide standards for future improvements so that the use and viability of the Property may continue well into the future.

3. HISTORY

Camp Ken-Jockety was first established as a Girl Scout Camp in 1929 with the purchase of the initial 43.5 acres. Girl Scouts continued to acquire additional property over the next almost 40 years until it acquired its final parcel in 1966 finally assembling its current 229± acre site. Girl Scouts of Ohio's Heartland Council, Inc. or its predecessor corporations have continuously owned, improved and managed the Property over the last 94 years as each parcel was acquired.

Today, Camp Ken-Jockety has multiple troop campsites, two lodges, multiple cabins, yurts, pavilions, wood platforms, a dining hall, swimming pool, and an environmental center. Some structures are seasonal and others are used year round. These facilities are identified and located for the entire camp on the Map at page 3, with specific more close up locations on Map pages 4-6. The original, historic camp is shown on the Map as Location "C" (pgs. 3 and 4). Shagbark was the original kitchen and dining hall and Redbud Cabin one of the initial cabins in the original camp. In 1939, Chestnut Lodge was constructed in the historic camp (Map Location "C"). In 1951, Ferguson Dining Hall (nka "Ferguson Lodge") was built in the historic camp and the former dining hall, Shagbark, became the staff house. In 1964, Trumbull Lodge was built north of the original camp in Map Location "H" (pages 3 and 6) and used for the first time that summer. A pond was added at the edge of the woods as one enters main camp in 1968.

The Sycamore campsite and cabins were established in Map Location "E" (pages 3 and 5) decades ago. The Environmental Center was built west of Hubbard Road at Map Location "J" in 1972 and a small package plant was added to serve it (pages 3 and 6). Girl Scouts also acquired a residential property adjacent to Hubbard Road that is its "Ranger Station" - the residence of the Camp ranger and provides barns, storage and workshop facilities, equipment and supplies for camp operations (*see* Map location "I", pages 3 and 6). Throughout its operations, other structures have been added to the Camp including a pool and pool house, wood platforms for tent camping and other outdoor activities, outdoor pavilions, shelter houses, yurts, latrines, gathering areas, campfire sites and two small package plants. There have been no significant structures added to the Property since the Environmental Center was constructed in 1972.

Girl Scouts have maintained the natural state of the camp, included wooded and open space areas as much as possible since its inception. All camp roads are private and most roads, parking areas and paths in the Camp are dirt or gravel. Pavement is limited to small areas around the Environmental Center to accommodate its programs and use. Girl Scouts created a buffer of pine trees along Hubbard Road to help retain the camp's natural character, separate the camp from Hubbard Road and development east of the site and continue to provide a place "away from the crowd."

Girl Scouts intend to retain all of its existing structures at the camp and have their existing structures remain subject to their maintenance, repair, renovation, updates, improvements and necessary replacement, including making some of its existing structures and facilities ADA accessible. Girl Scouts also desire to construct an additional building on the site at this time to be used for STEM (Science Technology Engineering and Math) programing and education for Girl Scouts and in collaboration with others.

4. PURPOSE

The purpose of the permitted and proposed uses and this Development Plan is to provide recreational, educational, environmental, cultural and social opportunities for Girl Scouts and others in collaboration with Girl Scouts in a natural setting and to allow development and any other uses permitted in the EU District. This includes environmental education and STEM programming, outdoor classrooms, learning areas and amphitheater, outdoor recreation areas, including ropes courses, par courses and other recreational activities for Girl Scouts and its other permitted users. The purpose also includes the protection and preservation of the Camp and its existing improvements including buildings, structures and roadways while permitting the development of a STEM Leadership Center and Maker Space and expansion of the Environmental Center as well as improvements to and future development within the Camp that is low density, environmentally appropriate, preserves the nature of the Property and protects the Big Darby Waterway.

5. DEVELOPMENT PLAN REQUIREMENTS (Zoning Resolution Section 640):

A. *The proposed location and size of areas of use; indicating size, location and type of structure.*

These details are provided in the Development Plan Map and Conceptual Site Plan Detail on Map pages 8-10. Proposed improvements include the construction of a STEM Leadership and Maker Space Center and a proposed building addition to the southern end of the existing Environmental Center just west of Hubbard Road.

B. *The proposed location, size and use of all open areas landscaped and other open space with suggested ownership of such areas.*

These details are provided in the Development Plan Map generally and with regard to the proposed improvements in the Conceptual Site Plan Detail on Map pages 8-10. No formal landscaping is proposed since the site is intended to remain as natural as possible with large open spaces and recreational areas provided with sensitivity to and retention of natural spaces to the extent possible while still permitting the Property to be used for its intended purpose. No separate or divided ownership is proposed for open spaces.

C. *The proposed provision of water, sanitary sewer and surface drainage facilities including engineering feasibility or other evidence of reasonableness.*

These details and locations are provided in the Development Plan Map (pages 2, 3, 4, 5, 6, 8, 9 and 10). Water is currently provided to the site by water wells. Public water will be provided by Aqua Ohio to the eastern portion of the Property including the Environmental Center and the STEM Center with the extension of a waterline north along the west side of Hubbard Road as shown on the Conceptual Site Plan Detail (Map pages 8-10). Water may be extended to other areas in the camp in the future, though no such extensions are planned at this time.

Sanitary sewer is currently provided to the site by latrines and two existing and permitted small package plants –the eastern plant serving the Environmental Center just west of Hubbard Road and the western plant serving the historic camp near the western boundary of the site (See Map p. 2). Sanitary sewer will be extended via force main from an existing manhole south of the Property in the southern adjacent Lake Darby Estates Subdivision north along Hubbard Road to service the Environmental Center and new STEM Center. There will be a private pump station on site for service to the STEM Center and the existing eastern plant will be taken off line. Sanitary sewer may be extended to other areas in the camp in the future, though no such extensions are planned at this time.

Stormwater best management practices to treat surface drainage from the new STEM Center are anticipated to be provided with a bio-retention basin for groundwater recharge and water quality, while the existing pond south of the STEM Center will be expanded to provide additional water quality and water quantity measures to accommodate the proposed STEM Center development. Existing surface drainages on the site include an existing pond, vegetative swales and parking lot storm pipe that route runoff to existing culverts and swales before flowing into the Big Darby Creek.

Preliminary engineering feasibility has been determined by the consulting engineer and the various permitting authorities. Final feasibility will be established at the time permits are issued.

D. The proposed circulation pattern including streets, both public and private, parking areas, walks and other access ways including their relation to topography, existing streets and other evidence of reasonableness.

These details and locations of these items are provided in the Development Plan Map for existing conditions (pages 2 and 7-10). All streets, parking areas and sidewalks are internal to the site and are private. No internal roads are paved to promote, respect and preserve the natural environment and state of the site. The main Camp entrance north of the Environmental Center is a gravel drive. Overflow parking is often provided in level graveled or grass areas on a limited basis as necessary for the demands of the particular use of the Site.

A new 24 feet wide paved main entrance road to the Camp is being provided from Hubbard Road along the Environmental Center to the new STEM Center, with an unloading area and turnaround in front of the STEM Center, access drive to and through the parking lot to the rear of the building and its loading area and paved handicapped parking spaces will be provided as shown on the Conceptual Site Plan Detail (Map page 8). This 645± feet paved access drive from the Site's main entrance will serve the Environmental and STEM Centers as well as all traffic entering or exiting the Site. The pavement is designed and intended to provide sufficient on-site pavement to minimize and dust, dirt or gravel being carried onto Hubbard Road from all traffic exiting the Site. The existing gravel secondary access drives from Hubbard Road south of the main entrance are only used by Camp personnel (including the ranger) and service providers and will remain.

Existing gravel parking around and north of the Environmental Center is proposed to remain (*see* Map page 8). Two paved handicapped spaces and a concrete sidewalk will be provided to the Environmental Center. No formal loading zone is necessary for the Environmental Center, though a rear access and parking surface is provided to the rear of the building from the existing secondary gravel access off Hubbard Road for small trucks and vans (*see* Map page 8). The STEM

Center will include concrete loading areas and access walks, but parking shall be provided on recycled gravel or millings with overflow parking available on select grassy areas adjacent to the parking lot. Such parking will be in character with the development and use of the rest of the Property and maintain its rural, natural character.

- E. *The proposed schedule of site development and construction of buildings and associated facilities including sketches or other documentation indicating design principles or concepts for site development, buildings, landscapes or other features. Such schedule shall include the use or redevelopment of existing features such as structures, streets, easements, utility lines and land use.*

The anticipated site development schedule is initial site work for the new STEM Center will commence immediately upon approval of the zoning and issuance of permits in 2023, followed by utility extensions to the Environmental Center and STEM Center; and construction of the STEM Center building and Environmental Center building addition. It is anticipated that all construction and improvements will be complete within 18 months of commencement (in 2025). The schedule is subject to availability of materials, supplies and labor necessary for the proposed development of the Site.

Conceptual elevations are being provided with the rezoning application for the proposed STEM Leadership Center and Maker Space and the addition to the Environmental Center identified on the Map at pages 7-10. Conceptual elevations may be revised, but any revisions shall be harmonious with the low density camp setting of the Property and the development standards provided in this Development Plan Text.

- F. *The relationship of the proposed development to the existing and future land use in the surrounding area, the street system, community facilities and services and other public improvements.*

The Development Map illustrates the relationship of the proposed development both within the site and to uses and improvements in the surrounding area. The proposed STEM Center is entirely within the existing Girl Scout Camp, 300± feet or more from Hubbard Road and will have limited, if any, visibility from Hubbard Road or to adjacent properties as proposed. The Franklin County Engineer has reviewed the relationship of the use on the street system and other public improvements, which are addressed below.

No additional impact on community facilities and services or other public improvements is anticipated except for select water and sewer improvements to the eastern portions of the Property. The county engineer has requested the donation of an additional forty feet (40') of right of way on the west side of Hubbard Road, which will be provided.

- G. *Evidence that the applicant has sufficient control over the land to effectuate the proposed Development Plan within three (3) years. Such control includes property rights, economic resources and engineering feasibility as may be necessary.*

The Girl Scouts of Ohio's Heartland Council, Inc. is the owner of the entire property. The development of the STEM Center and expansion of the Environmental Center is anticipated to be completed within three years. Girl Scouts has sufficient resources, grants, pledges and other funding for its proposed development. The Development Plan was created in collaboration with a professional engineering firm and architects who can provide any additional feasibility required for the current proposed development on the site.

6. EXISTING AND PROPOSED USES

The existing use of the subject property is a recreational facility, social, cultural and educational institution and programming. The property has been assembled, owned and operated by Girl Scouts (now Girl Scouts of Ohio's Heartland Council, Inc.) for almost 95 years. Its current uses include camping, outdoor recreation and sports, social, educational and environmental activities by Girls Scouts and by others on a limited case by case basis, in the various indoor and outdoor facilities and gathering spaces shown and identified on the Development Plan filed with this Development Text. Indoor facilities include lodges and cabins, a dining hall, an environmental center and an on-site residential ranger station.

Existing uses include Girl Scouts programming and activities with its Education Partners who come to the site to participate in Girl Scouts' developed and/or collaborative programs during the day, weekend, and overnight rentals and special events benefiting Girl Scouts. Girl Scouts also partners with others including the Ohio Department of Natural Resources who helps Girl Scouts monitor the site ecosystems and develop programs where Girl Scouts and others can learn more about the environment and conservation through incorporating scientific practices into fun activities.

On the limited occasion when the site is not being used by Girl Scouts or Girl Scouts partner programs, the site is occasionally rented to an outside vendor on a limited case by case basis. This may include day uses such as corporate retreats and leadership trainings, overnight rentals and facility specific rentals, all of which currently occur on a minimal, controlled basis.

The proposed use of the site shall continue to be all uses permitted in the Exceptional Use District including recreational, social, cultural and educational uses and programming but shall except transportation uses that would be permitted by Zoning Resolution Section 640.021. The STEM Leadership and Maker Space, Environmental Center and other areas on the property would continue these uses primarily for Girl Scouts, Girl Scouts partners and permitted users, including schools groups, other non-profit organizations and other organizations with relationships to Girl Scouts. Much of the future programming would be a continuation or expansion of existing uses which include community events, site rentals and field trip activities both for Girl Scouts and community groups.

The future use of the STEM Center is primarily to provide hands-on STEM learning opportunities and programming for a variety of STEM, thinking, design, making, experimentation and collaborative problem solving activities and to prepare for careers in emerging technologies and STEM fields. It would also include other Girl Scouts uses, events, programming and special events including the award ceremonies and other activities focusing on teaching girls the leadership skills needed for success in the future. These events would not significantly increase the intensity of the use of the site, however the frequency of the events would increase with the addition of this facility. To the extent that the STEM Center would be available and not conflict with any other use of the Property, it too may occasionally be rented to an outside vendor on a limited case by case basis.

The Maker Space is intended to provide a place to further develop design thinking and making skills in a less-structured environment. Programs in the Maker Space are anticipated to include, but not be limited to, topical areas such as Science and Tech programs, Vocational Trade Programs (e.g. automotive, wood working and construction), Food Science (hydroponics and agriculture), Earth and Environmental Sciences (geology, astronomy, climate science and ecosystems), and Life Science (ecology, animal science, biology, and botany). These programs would serve Girl Scouts and other youth (i.e. charter and public school) partners primarily during the day. Girl Scouts serve these groups currently, however, the addition of the Maker Space will allow Girl Scouts to marginally increase the number of youth served through these activities.

7. DEVELOPMENT STANDARDS.

The Development Standards for the Exceptional Use District cannot be readily predetermined because of the unique nature and requirements of the uses and the Property and because the location of any permitted future use and development on the Site cannot be readily determined, as recognized by Section 640.04 of the Franklin County Zoning Resolution. The following development standards apply to the current development and any future development of the site. Any conflicting provisions in the Zoning Resolution are not appropriate and shall not be used or applied to the Property. All existing structures and improvements existing at the time of this Development Plan is adopted shall be entitled to remain except as otherwise provided in this Text.

A. Dedication of Right of Way. Forty feet (40') of Hubbard Road right-of-way shall be dedicated to the Franklin County Commissioners from the existing centerline of Hubbard Road west for future roadway and/or trail improvements and utilities. The future construction of a ten foot (10') shared use path by the Franklin County Engineer in this right of way is anticipated. The construction of any path shall not require the donation of any additional right of way from the Property.

B. Perimeter Setbacks and Buffering.

- (1). There shall be a 100 foot building and parking setback and tree conservation area on the north and south sides of the Property which is an existing wooded area. Existing trees within the 100 foot setback shall not be removed except if they are dead, damaged or diseased or for the installation of any public, quasi-public or private utilities, permitted fence, permitted

signs or permitted or necessary access to the Property including though an installed gate. Invasive species may be removed within the setback.

- (2). There shall be a 100 foot building setback and tree conservation area from the centerline of Hubbard Road (60 feet from the from the newly dedicated right-of-way) on the east side of the property except in front of the Environmental Center and the Ranger House which shall be reduced to 50 feet in due to the existing conditions as shown on the Conceptual Site Plan, Map, page 7.

- (i). The existing trees along Hubbard Road are mature pine trees that were planted by Girl Scouts for site buffering and privacy. Existing trees within the Hubbard Road setback shall not be removed except if they are dead, damaged or diseased or for the installation of any public, quasi-public or private utilities, permitted fence, permitted signs, permitted or necessary access to the Property or other improvements including but not limited to road improvements or a multi-use path adjacent to Hubbard Road or for permitted access to the Property. Invasive species may be removed within the setback.

C. Perimeter Fencing. Perimeter fencing is permitted around the entire site. Fencing along the property lines may be chain link fences not to exceed six feet in height. Chain link fences between Hubbard Road and any principal structure are prohibited and any fences at that location shall require a zoning certificate and be made of approved or appropriate fence materials that is approved by the Administrative Officer. Internal site fencing is permitted and shall be compatible with the characteristics of the site and its intended purpose.

D. Private Roads, Parking and Loading. Internal roads and parking on the Property shall not be required to be sealed surface pavement or impervious surface and existing roads and parking shall be entitled to remain in their current condition, except the primary access drive into the Site from Hubbard Road to the STEM Center (645± feet) shall be paved and constructed as shown on the Conceptual Site Plan Detail (Map p. 8-10). New parking and roads may be unimproved surface consisting of grass, mulch, dirt, gravel or a combination thereof and maintained in such a manner that dust will not be produced by continuous use. No curbs shall be required.

The minimum number of any future parking spaces shall be determined on a case by case basis based upon the spaces required to accommodate specific uses and the spaces that are available on the Property. Parking shall be provided for the Environmental Center and the Stem Center shall be provided as shown on the Conceptual Site Plan Detail (Map p. 8-10).

E. Site Lighting. All new pole lighting on the site shall be cut-off fixtures and downward cast to avoid glare off the property and light spilling onto adjacent residential properties. Lights greater than 18 feet shall have fully shielded, recessed lamps directed downward. The maximum height of light poles shall not exceed twenty-eight (28) feet above grade. Existing lighting on the Property shall be entitled to remain.

F. Signs. Any new sign located within the Hubbard Road setbacks shall comply with the Sign and Billboard Regulations in Section 541 of the Zoning Resolution. On-premise signs interior to the site that are outside the building setbacks shall not be subject to regulation other than the general requirement of section 541.01 of the Zoning Resolution that apply to all signs except that interior on-premise sign may be painted, attached to, or maintained on a rock, tree or other form of vegetation that is in keeping with the nature and character of the Property and portable signs shall be permitted. The existing camp entrance sign shall be entitled to remain.

G. New Development. No new building on the Property within 200 feet of the property line shall exceed three (3) stories or sixty (60) feet, whichever is greater. Any new structure shall have adequate separation of any existing structure to preserve the sense of large open spaces and natural spaces throughout the property.

H. Tree Conservation. Trees shall be preserved throughout the Property so long as they do not unreasonably interfere with its current or future use and development or the extension of any public, quasi-public or private utilities or services to the Property. Removal of dead, damaged or diseased trees and invasive species shall be permitted.

I. Improvement and Replacement of Existing Structures in the Big Darby Creek Watershed Riparian Setbacks. A significant portion of the historic camp and its early development is within the Riparian Setback of the Big Darby Creek. The structures within that area are now non-conforming. All existing non-conforming structures may be maintained and improved so long as their building footprint does not expand more than 15% of the existing structure. Decks, porches and other open areas may be constructed so long as they are raised above the ground surface with posts or other supporting structures and do not create impervious surfaces on the ground other than for access. Should an existing non-conforming structure be involuntarily destroyed, it may be reconstructed within the limitations provided herein, and any such reconstruction shall be in compliance with current construction and development standards (other than location) to the extent practicable and so that the spirit and intent of the development standards are accomplished.

J. Alternative Energy Sources. Alternative energy sources such as solar power or wind energy systems shall be permitted on the Property so long as their primary purpose is to supply energy to the Property.

K. Buildings Within Big Darby Creek Watershed Riparian Setbacks.

The riparian setback shall include slopes greater than 12% that are wholly within the calculated riparian setback but shall not be extended beyond the calculated setback area. No buildings shall be constructed within the riparian setback except in areas greater than fifty (50) feet from the crest of a steep slope at an elevation of more than 900 feet (Map p. 2) provided that such locations are approved by the OEPA and obtain all necessary permits for their construction. Any existing structures within the riparian setbacks shall be entitled to remain and be replaced, if necessary as provided herein.

L. Development adjacent to Steep Slopes. No new buildings shall be constructed within 50 feet of the crest of any steep slope, including steep slopes within the riparian setback.

Any existing structures within or adjacent to steep slopes including within the riparian setbacks shall be entitled to remain and be replaced, if necessary, as provided herein.

8. PROPOSED AND FUTURE DEVELOPMENT.

This Development Plan identifies proposed current development on the Property and permits additional development on the Site without requiring the Development Plan to be amended or the property to be rezoned. Any additional development regulated by the Zoning Resolution shall require Certificate of Zoning Compliance from the Administrative Officer if required by the Zoning Resolution.

A. Additional Standards Apply. Any additional development shall also be subject to and comply with all other regulations and obtain all necessary permits, including the requirements of the Franklin County Engineer, Franklin County Soil and Water Conservation District, Ohio Environmental Protection Agency, the State of Ohio for commercial building permits and any other regulating authority.

B. Development/Building Density limitations. The current ground level floor density of all existing buildings on the Property is a total of 1.263± acres of the overall 228.998 acre Site. The ground level floor density of the proposed Stem Leadership & Maker Space Center and the addition to the Environmental Center is an additional 0.642 acres with current proposed open space totaling 223.579± acres. The ground level floor density of all other future buildings on the site shall not exceed an additional ten percent (10 %) of the net Site area (225.484± acres). See Conceptual Site Plan, Map p. 7 and its included Site Data, Statements and Calculations.

C. Substantial Compliance. Minor modifications shall be permitted to the Conceptual Site Plan Detail (Map pgs. 7-10) of the proposed development as well as modifications to the proposed elevations so long as they comply with the development standards and purpose of the District and meet all of the requirements of the regulating authorities including the County Zoning Resolution and Zoning Administrator, the Ohio EPA and the Franklin County Engineer.

9. BOARD OF ZONING APPEALS.

In the event that there any proposed development does not comply with the Development Plan, the standards of the Exceptional Use District, application or requirements or other provisions of the Zoning Resolution or its appropriate Development Standards or there is dispute over the interpretation and/or application of any of them, the Board of Zoning Appeals shall hear and decide any appeals, conditional uses or variances from such standards or interpretations that are not contrary to the purpose of the EU District and this Development Plan. Should any proposed development substantially deviate from the permitted uses, intended purpose and development standards of the Development Plan, rezoning will be required.