



Franklin County Planning Commission

Michael J. Dorrian Building
369 South High Street
1st Floor, Commissioners Hearing Room
Columbus, OH 43215

Wednesday, January 15, 2025
1:30 p.m.

1. Call roll for board members
2. Introduction of staff
3. Approval of By-Laws
4. Election of Chair and Vice-Chair
5. Approval of minutes from the December 11, 2024, meeting
6. New Business:

i. Administrative Matter – JACK-24-08 – Raimere Fitzpatrick

Owner	Claudia Realty LLC
Applicant:	Spartak Selmiaj
Township:	Jackson Township
Site:	1696 Dyer Rd (PID #160-000860)
Acreage:	10.05-acres
Utilities:	Public water and private wastewater
Request:	The Jackson Township Zoning Commission requests a recommendation from the Franklin County Planning Commission on a proposed amendment to an approved Exceptional Use (EU) development text and development plan in Jackson Township to authorize outdoor athletic field uses on 10.05 acres in Jackson Township.

*Swear in witnesses as needed

ii. Administrative Matter – JACK-24-10 – Raimere Fitzpatrick

Owner/Applicant:	Candice Bollinger
Township:	Jackson Township
Site:	4746 Rensch Rd (PID #160-002861)
Acreage:	1.53-acres
Utilities:	Private water and wastewater
Request:	Request for Franklin County Planning Commission recommendation to Jackson Township Zoning Commission to rezone 1.53 acres from the Township’s Semi-Residential (SR) District to the Exceptional Use (EU) District for a pet grooming business in connection with the existing residential use.

*Swear in witnesses as needed

7. Adjournment of Meeting to February 12, 2025

FRANKLIN COUNTY, OHIO
COUNTY PLANNING COMMISSION
(By Laws)

A. MEMBERS AND OFFICERS

1. The County Planning Commission, herein after referred to as the CPC, shall consist of eleven (11) members, which include the three members of the Franklin County Board of Commissioners, as well as eight persons who shall be appointed by the Franklin County Board of Commissioners as provided by Section 713.22 of the Ohio Revised Code. Each member and/or successor shall serve a term for a period of three (3) years with terms that expire each year, except that of the eight members first appointed, three (3) shall be appointed for a term of three (3) years, three (3) shall be appointed for a term of two (2) years, and two (2) shall be appointed for a term of one (1) year.
2. At the first meeting of each year, the CPC shall organize by electing a Chairperson and Vice-Chairperson. Officers shall serve one (1) year or until a successor is appointed. Officers are entitled to vote. (*amended 3/11/15*)
3. Upon expiration of a CPC member's term, such member may continue to serve until a successor is appointed.
4. The Chairperson shall encourage regular and timely attendance by each CPC member. Each CPC member is responsible for attending each meeting or notifying the Director of the Franklin County Economic Development and Planning Department or the Director's staff person of the inability to attend. Four (4) total unexcused absences in one year or three (3) consecutive unexcused absences may be grounds for removal of a member by a majority vote of the Board, or, at their discretion, grounds for the attending majority of the Board to request the offending member's resignation. The Chairperson shall determine what constitutes an unexcused absence. Grounds to be considered an unexcused absence would be failure to notify the Director and/or designee (Franklin County Economic and Planning Department) before the meeting of an inability to attend, or repeated absences without medical or appropriate personal excuses.
5. The Planning Administrator of the Franklin County Economic Development and Planning Department or the Planning Administrator's designee shall serve as secretary of the CPC.
6. Members shall have the right to appoint alternatives as follows:

To designate an alternate for a county commissioner, the member shall send a letter of appointment to the alternate and deliver a copy of that letter to the Clerk of the Franklin County Board of Commissioners. At the next regular meeting of the Board, the Clerk shall inform the Board of the designation of the alternate, and the Board shall have the designation entered on the journal.

To designate an alternate for any other member of the CPC, the member shall send a letter of appointment to the Clerk of the Franklin County Board of Commissioners designating an individual to serve as that member's alternate. At the next regular

meeting of the Board, the Clerk shall inform the board of the designation of the alternate, which designation the Board may either approve or disapprove. The Board shall enter its decision on the board's journal and, if the alternate is approved, designate the name of the alternate on the journal. The Clerk of the Board shall notify the member of the board's action, and the member shall inform the alternate.

A designated alternate shall serve at the pleasure of the member who makes the designation. Removal of an alternate shall be made by a letter of removal, delivered and journalized by the same method that the alternate was designated.

Once an alternate is designated for a member of the CPC, if that member is absent from a CPC meeting, the alternate has the right to vote and participate in all proceedings and actions of the CPC at that meeting as if the alternate were the member.

B. MEETINGS

1. The CPC shall meet on the second Wednesday of each month, or such other date as approved by the Commission. If the second Wednesday is a holiday, the meeting shall be the following day. If there are no applications scheduled for consideration no meeting will be held. (*amended 1/8/20*)
2. Each regular meeting shall be held at 1:30 PM in an appropriate room of the Franklin County Courthouse.
3. The CPC shall publish and mail notice as required by the Ohio Revised Code.
4. All meetings of the CPC shall be open to the public and no action shall take place in Executive Session or by vote prior to any meeting.
5. All meetings shall be conducted in accordance with Roberts Rules of Order, newly revised. A quorum shall consist of six (6) members of the CPC. Once a quorum has been established, the continued presence of a quorum is required throughout the meeting. (2/12/08) If a quorum is lacking, the meeting shall be postponed or canceled. The County Planning Commission is unable to guarantee full attendance at each hearing. As such, any decision made by a quorum of CPC members is final. The CPC shall consider and deliberate upon any request to table or continue should an applicant desire to do so, but because of the dynamic development issues present in Franklin County, such request to table or continue shall only be considered to a date certain not to exceed six months. This does not, however, guarantee that the request to table or continue will be granted nor does it guarantee full board participation at any future meeting. In addition to its discretion to approve or deny any request to table or continue a matter, the Commission may deny a request to continue or table a matter to a future meeting on the basis that fees associated with a prior continuance or tabling of the matter remain unpaid at the time of the request.
6. All motions shall be presented in the following manner:
 - i. Preliminary Plan and Final Plat - you must make a motion to reject, approve or approve with conditions.

- I.e. for a final plat to be denied you must make a motion to reject, and this must pass for it to be denied. For a final plat to be approved you must make a motion for approval, and this must pass for it to be approved.
 - ii. Variances from the Subdivision Regulations, County Rezoning and Township Rezoning – all motions shall be presented in the affirmative (to approve). You may approve with conditions. If a motion is defeated, this constitutes a denial of the application.
 - iii. Unless otherwise provided by these By-laws, a motion shall pass upon the affirmative vote of a simple majority of the members present. (6/10/09)
- 7. Unless otherwise provided by these by-laws, a motion shall pass upon the vote of a simple majority of the members present.
- 8. The Chairperson may limit the number of persons who wish to speak regarding any agenda item to not fewer than three (3) for and three (3) persons against. The Chairperson may limit the total amount of time for support of an agenda item to fifteen (15) minutes and the total amount of time for the opposition to fifteen (15) minutes.
- 9. All persons wishing to speak at a meeting must register to do so with the secretary of the CPC prior to the meeting. Speaker slips may be required.
- 10. Applications with motions to continue or dismiss shall be heard first. Applications requiring a full presentation to the CPC shall be heard in the order of filing.
- 11. If an applicant or the applicant's representative is not present for a meeting or hearing at which the application was scheduled and noticed to be heard, the application may be dismissed without prejudice and the applicant will be required to reapply, or, in its discretion, the Commission may decide the matter on its merits.

C. POWERS AND DUTIES

1. The CPC shall exercise all powers and perform all duties as permitted under Sections 713.22 and 713.23 of the Ohio Revised Code.

D. CPC STAFF

1. The Franklin County Economic Development and Planning Department shall serve as staff to the CPC, and shall receive, process, and present applications to the CPC.
2. The Franklin County Economic Development and Planning Department shall maintain a record of CPC proceedings.

E. SUSPENSION OR AMENDMENT OF RULES

1. These rules and regulations may be suspended only upon the affirmative vote of no fewer than eight (8) members.
2. These rules and regulations may be amended from time to time by a majority vote of the CPC membership. Such amendments shall be affective thirty (30) days after an affirmative vote.

SIGNATURE PAGE

Chairperson

Vice-Chairperson

Member

Member

Member

Member

Member

Member

Member

Member

Member

Date Adopted



MINUTES OF THE FRANKLIN COUNTY PLANNING COMMISSION

Wednesday, December 11, 2024

The Franklin County Planning Commission convened at the Franklin County Government Center, Board of Commissioners Hearing Room, 369 South High Street, 1st Floor, Columbus, Ohio 43215, on Wednesday, December 11, 2024 at 1:32 p.m.

Present were:

Chet Chaney, Chairman
Ashley Hoye
Tim Guyton
Roxyanne Burrus
Katherine Page
Annie Ryznar
Daniel Blechschmidt

Franklin County Economic Development and Planning Department members:

Raimere Fitzpatrick, Planning Administrator
Tamara Ennist, Planning Administrator
Kayla Johnson, Planner
Emanuel Torres, Assistant Director

Franklin County Prosecutor's Office members:

Adria Fields
Devin Bartlett

Other Franklin County staff:

Michael Ruehrmund, Deputy Clerk

Chairman Chaney opened the hearing.

The first order of business was roll call of the Planning Commission members. The next order of business was the introduction of staff and members of the Franklin County Prosecutor's Office.

The next order of business was approval of the minutes from the October 9, 2024 meeting. Mr. Guyton asked to amend the minutes to change any mention of "Acting Chair Chaney" to "Chairman Chaney."

A motion was made by Mr. Guyton, seconded by Ms. Burrus, to approve the amended minutes from the October 9, 2024 meeting. The motion passed by a vote of six yeases, zero nos, and one abstention.

NEW BUSINESS:

No applicants or applicant representatives were present at the meeting due to various miscommunications. The Commission decided to go through each case on the agenda and have staff testify as to what communications they had with the applicants, and then decide whether or not to postpone, dismiss, or hear the case on its merits. A motion was made to hear Case No. 660-SUB-FP-4, as it was not one of the cases in which there was miscommunication. The motion was seconded by Ms. Burrus.



The motion passed by a vote of seven yeases, zero nos, and zero abstentions.

The owner/applicant is Braumiller Development, LLC. The site is located in Prairie Township on Galloway Road. It is 12.062 acres in size and served by public water and sanitary sewer services.

The applicant was requesting final approval of the Villages of Galloway Phase 4 final plat to create 72 single-family lots for attached residential buildings on 6.802 acres with open space in four reserve areas and 1.223 acres of right-of-way dedication.

Staff recommended approval.

A motion was made by Mr. Guyton, seconded by Ms. Burrus, to admit the presentation, staff report, witness testimony, and/or any exhibits presented into the record.

The motion passed by a vote of seven yeases, zero nos, and zero abstentions.

Next, a motion was made by Mr. Blechschmidt, seconded by Mr. Hoye, to approve Case No. 660-SUB-FP-4.

The motion passed by a vote of seven yeases, zero nos, and zero abstentions.

The Commission then heard Mr. Fitzpatrick's testimony regarding Case No. JACK-24-08. As a result of confusion between multiple parties, neither the applicant or their representative was present at the meeting.

A motion was made by Mr. Guyton, seconded by Mr. Blechschmidt, to postpone Case No. JACK-24-08 to the January 15, 2025 meeting.

The motion passed by a vote of seven yeases, zero nos, and zero abstentions.

The Commission then heard Mr. Fitzpatrick's testimony regarding Case No. BLEN-24-09. The applicant was requesting to rezone to the (R-24) district from the Commercial Planned district, but it was discovered that the property had been rezoned to the (R-24) district in 2015 and that Blendon Township's records either were not up to date or available to show this change.

Staff recommended dismissal of the case.

A motion was made by Mr. Guyton, seconded by Ms. Burrus, to admit staff's testimony into the record.

The motion passed by a vote of seven yeases, zero nos, and zero abstentions.

Next, a motion was made by Mr. Guyton, seconded by Ms. Ryznar, to dismiss Case No. BLEN-24-09.

The motion passed by a vote of seven yeases, zero nos, and zero abstentions.

The Commission then heard Mr. Fitzpatrick's testimony regarding Case No. JACK-24-10. There was confusion between multiple parties, resulting in neither the applicant or their representative being present for the meeting.

A motion was made by Mr. Guyton, seconded by Ms. Burrus, to accept the testimony.

The motion passed by a vote of seven yeases, zero nos, and zero abstentions.

Next, a motion was made by Mr. Guyton, seconded by Mr. Blechschmidt, to postpone Case No. JACK-24-10 to the next meeting in January 15, 2025.

The motion passed by a vote of seven yeases, zero nos, and zero abstentions.

Chairman Chaney requested a meeting with the Prosecutor's Office to better understand new procedures such as moving to accept staff's presentation and witness testimony. Chairman Chaney also requested to discuss with the Economic Development and Planning Department what information applicants are given when they submit their applications and suggested that a short document be prepared to better explain the process for future applicants to prevent future confusion.

There being no further business to come before the Planning Commission, Chairman Chaney sought a motion to adjourned the meeting.

The motion was made by Mr. Guyton and seconded by Mr. Blechschmidt.

The meeting was adjourned at 2:17 p.m.

The minutes of the December 11, 2024

Franklin County Planning Commission were approved this 15th day of January, 2025.

STAFF REPORT

Planning Commission
January 15, 2025

Case: JACK-24-08

Prepared by: Kayla Johnson

Owner	Claudia Realty LLC
Applicant:	Spartak Selmiaj
Township:	Jackson Township
Site:	1696 Dyer Rd (PID #160-000860)
Acreage:	10.05-acres
Utilities:	Public water and private wastewater
Request:	The Jackson Township Zoning Commission requests a recommendation from the Franklin County Planning Commission on a proposed amendment to an approved Exceptional Use (EU) development text and development plan in Jackson Township to authorize outdoor athletic field uses on 10.05 acres in Jackson Township.

Summary

The rezoning application requests an amendment to the approved Exceptional Use Development Plan and Text to allow the conversion of the approved foot golf course to outdoor soccer fields and an indoor soccer facility in the Exceptional Use (EU) district. The proposed rezoning does not provide sufficient details of the development, does not match the land use recommendations of the comprehensive plan, and proposes a change in use to one that will increase associated impacts from those expected with the current use. Staff recommends *denial*.

Background

- Franklin County Planning Commission recommended the Township approve the 2015 rezoning to the Exceptional Use (EU) district for the development of a golf course in May of 2015.
- Jackson Township approved rezoning from the Semi-Residential (SR) district to the Exceptional Use (EU) district in 2015.

Surrounding Zoning and Land Use

Direction	Zoning	Land Use
North	Semi- Residential (Jackson Twp.)	Single-Family Home; Vacant
East	Rural (Columbus); Semi- Residential (Jackson Twp.)	Single-Family Home
South	Rural (Columbus)	Manufactured Home Park; Single-Family Home
West	Semi-Residential (Jackson Twp.)	Single-Family Home

Comprehensive Plan

The Southwest Area Plan, a joint planning venture between the City of Columbus, Jackson Township and Franklin Township, was adopted in 2009, and makes future land use recommendations for the subject site and the surrounding area. According to the future land use map, the site and surrounding area are recommended to remain designated for semi-rural residential purposes.

It is also important to note that the Southwest Area Plan future land use map specifically recommends several areas for public parks and recreational areas such as playgrounds, sports fields and buildings commonly associated with the principal activity, including recreation centers.

The Jackson Township Comprehensive Plan (2011) also recommends semi-rural residential for the subject property. The Plan also highlights the public's interest in additional recreational facilities. According to the plan, approximately 75% of residents view recreational facilities as a positive aspect of living in the township and this type of development is consistent with Goal C of the plan. The plan recommends another nearby site, located along I-270, I-71, and Jackson Pike as an area for development of park space. That site is currently owned by the Franklin County Regional Solid Waste Management.

The proposed rezoning will not comply with the associated land use plans for the area.

Formal Technical Review

Franklin Soil and Water Conservation District

The Franklin Soil and Water Conservation District requested design details for all new playing fields. Information on grading, subsurface drainage, and type of turf (artificial or natural) were not provided. A stormwater report and a new post-construction operation and maintenance (O&M) plan that includes all stormwater control practices (existing and proposed) should be provided.

Franklin County Engineer

The Franklin County Engineer's Office requested the following:

- Development text pertaining to the current proposal to determine what changes to the site are occurring.
- Drainage improvements to comply with the Franklin County Stormwater Drainage Manual.
- Access study to be completed to assess the sight distance and whether turn lanes are needed at the access point.

Jackson Township

Jackson Township has expressed concerns about traffic, noise and lighting impacts, wastewater management, and hours of operation, and has received neighborhood objections. The Township will attend the Planning Commission hearing to address any concerns with the application.

Franklin County Planning Department

The submission lacks the development text and related detail in the development plan identifying the full extent of development associated with the proposed change of use. Details on lighting, landscaping, trash collection facilities, and utilities are missing. The development plan does not meet the standard dimensions for parking spaces dimension or internal parking lot landscaping requirements. Also, staff has concerns regarding potential negative light, noise, and traffic impacts to the surrounding properties. Furthermore, the submission did not address traffic, stormwater and noise impacts, or detail hours of operations.

Zoning District Requirements

The provisions of the General Development Standards of the Jackson Township Zoning Resolution shall apply to the Exceptional Use (EU) district. Due to the unique nature of such uses and because their locations cannot be readily predetermined, more specific development standards cannot be set forth. Therefore, full usage of the development standards and other provisions of the zoning resolution shall be used as appropriate and detailed in a Development Plan. The Development Plan shall include the following in text or map form:

Development Plan

1. *The proposed location and size of areas of use, indicating size, location and type of structure.*
 - The development plan includes details of the proposed structures, fields, parking, and accessory development. Not included in the plan are details on stormwater drainage, signage, traffic, trash maintenance, lighting, and the type of landscaping proposed.

2. *The proposed location, size and use of all open areas landscaped and other open space with suggested ownership of such area.*
 - The development plan displays all open areas of the athletic fields, in addition to all landscaped open areas elsewhere on the site. Details on landscaping are limited and do not provide the information necessary to determine compliance with the regulations.
3. *The proposed provision of water, sanitary sewer and surface drainage facilities including engineering feasibility studies.*
 - The site receives public water service from the City of Columbus. An existing on-site septic system is available to manage wastewater. Upgrades to the system to accommodate additional site occupants will be reviewed and permitted by Franklin County Public Health. Stormwater is to be managed by an on-site detention pond which will require compliance with the Franklin County Stormwater Drainage Manual. Insufficient details are provided to determine compliance with these standards.
4. *The proposed circulation pattern including streets, both public and private, parking areas, walks and other access ways including their relation to topography, existing streets and other evidence of reasonableness.*
 - The site has a previously approved access from Dyer Road from Jackson Township. Additional parking facilities are proposed to accommodate patron use of the additional athletic fields. An additional pedestrian path is proposed adjacent to the extended open parking areas. Patrons will access playing fields over natural grass surrounding the fields.
 - Jackson Township Planning Department will confirm required parking is provided through their zoning compliance review. The required number of spaces have been provided on the plan; however, the spaces do not meet the minimum dimensional Township requirements of 10 ft by 20 ft.
5. *The proposed schedule of site development and construction of buildings and associated facilities including sketches or other documentation indicating design principles or concepts for site development, buildings, landscapes or other features. Such schedule shall include the use or redevelopment of existing features such as structures, streets, easements, utility lines and land use.*
 - No development text has been provided to elaborate on the proposed rezoning and development. A development plan showing the location of the athletic fields and extension of the indoor facility has been included in submitted material. A schedule on the proposed development at the site, stormwater drainage plans, access impact study, or landscaping plans has not been provided to the Franklin County Planning Department.
6. *The relationship of the proposed development to the existing and future land use in the surrounding area, the street system, community facilities, land services and other public improvements.*
 - The request will not match the residential character of the surrounding area and the future land use recommendation of the Southwest Area Plan and Jackson Township Comprehensive Plan.
 - Both plans recommend for increased recreational facilities to serve the surrounding community. Parks and recreation for the township are predominantly available through Grove City's facilities concentrated to the south of I-270. Recreational facilities north of I-270 are located greater than 4 miles, by automobile transportation, from the subject site. This is similar for the public accessing athletic fields closest to the area. Several elementary schools are located northwest and southwest of the subject site which provides an identity of the makeup of residents surrounding the athletic fields.
 - The proposed use is a more intensive use than the approved golf course under the current zoning. Staff has concerns about potential noise, light, and traffic impacts on the surrounding properties.

7. *Evidence that the applicant has sufficient control over the land to effectuate the proposed Development Plan within three (3) years. Such control includes property rights, economic resources and engineering feasibility as may be necessary.*
 - The applicant has provided evidence of ownership. The engineering feasibility is to be approved by the Franklin County Engineer's Office. There is an assumption that the applicant has access to the economic resources necessary to implement the proposed uses.

Staff Analysis

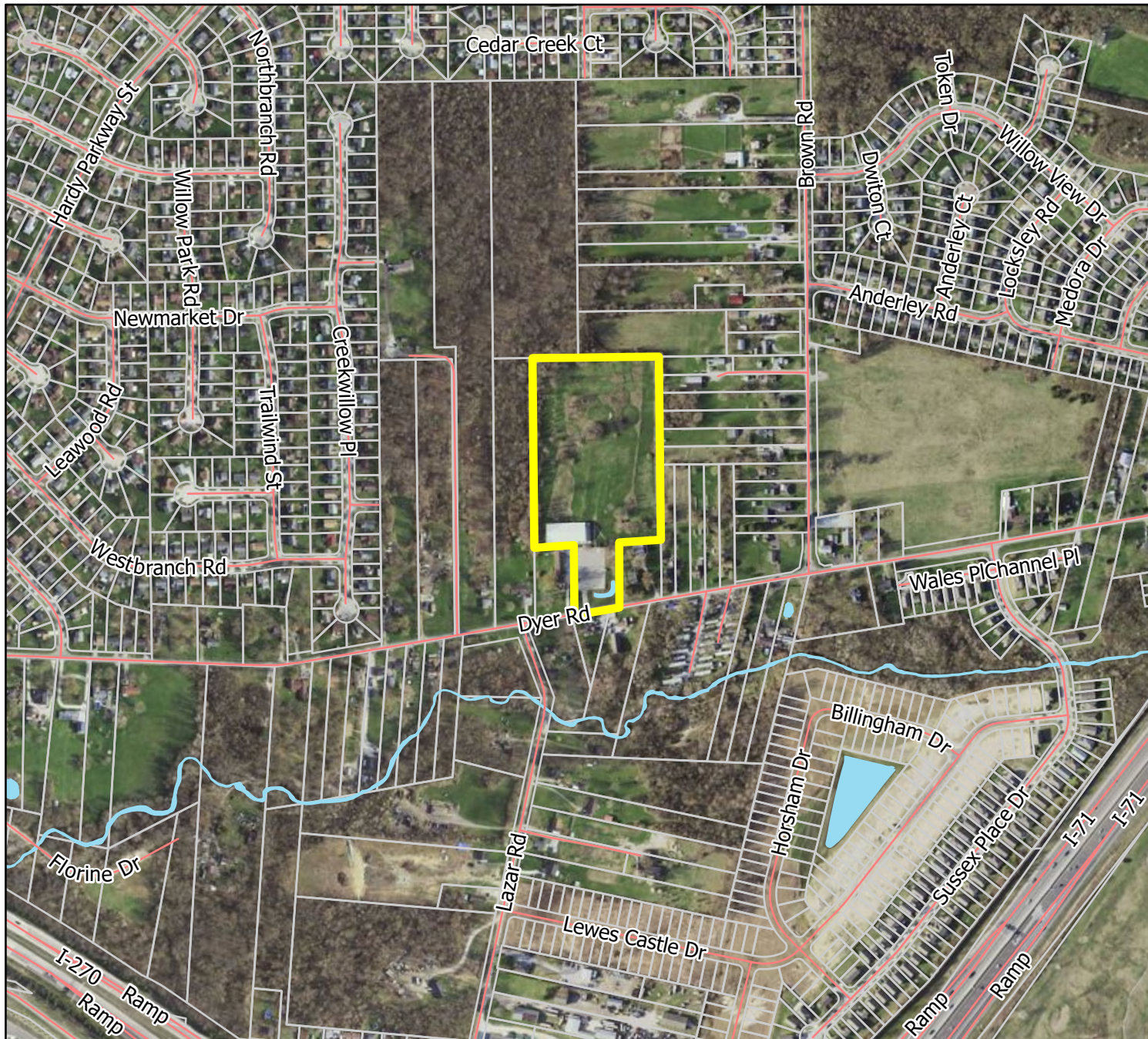
Basis of Approval – Exceptional Use District

1. *That the proposed development is consistent in all respects to the purpose intent and applicable standards of this Zoning Resolution (Jackson Township Zoning Resolution).*
 - The EU district is intended to allow for uses not otherwise permitted in the Zoning Resolution inclusive of social, recreational, transportation, and other uses to service the public. Although the proposal is a recreational activity by definition, soccer is not specifically recognized by the zoning resolution similar to golf.
 - Development details such as an access impact study, stormwater drainage plan, signage, lighting, landscaping types, and trash maintenance are not included in the submission. Staff is unable to determine whether the site's proposed use can functionally operate at the location without affecting the surrounding roadways and adjacent residential properties.
2. *That the proposed development is in conformity with the Jackson Township Comprehensive Plan or a portion thereof as it may apply.*
 - The proposed soccer fields and associated facility provides recreation access to the surrounding residential community. Both area plans highlight the need to maintain and provide additional park and recreational facilities to promote the health and social dynamics of the community. Marsh Run located south of the subject site and an open area located east of I-270 are the closest recommended land uses for recreation but are limited to passive recreation, public parks, and golfing. Both locations are undeveloped open space and are not functioning as an activity style park or recreational area.
 - The recommended land use for the area south of Hardy Parkway Street, west of I-71, and north of I-270 is predominantly residential. The rezoning of the site will not align with the recommended land use for the Southwest Area or Jackson Township plans.
3. *That the proposed development advances the general welfare of the Township and that the benefits to be derived from the proposed use justifies the change in the land use character of the area.*
 - The surrounding character of the area can benefit from the proposed use; however, the welfare of the surrounding community is unable to be determined without sufficient development details.

Recommendation:

Staff recommends the Franklin County Planning Commission recommend ***denial*** of a rezoning modification of the subject property from the Exceptional Use (EU) District permitting recreational golf to the Exceptional Use (EU) District permitting an outdoor soccer field and an indoor soccer sports facility for the following reasons:

1. Sufficient stormwater management details and calculations have not been provided.
2. No information has been provided detailing hours of operations.
3. No traffic impact analysis has been provided.
4. Noise mitigation has not been addressed.
5. No lighting details have been provided.
6. No updates to the approved development text have been provided.
7. Inconsistency of the proposed use with approved comprehensive plans.
8. Buffering and screening against adjacent residential properties has not been provided.

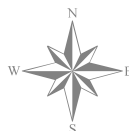
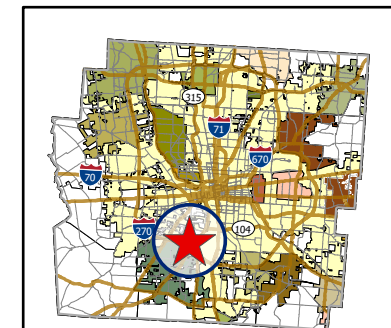


JACK-24-08

Request for Franklin County Planning Commission recommendation to Jackson Township Zoning Commission to modify a rezoning of a 10.05 acre Exceptional Use property from golfing to athletic soccer fields and an indoor soccer facility.

Acres: 10.05-acres
Township: Jackson

- Streets
- Parcels
- 1696 Dyer Rd.
- Waterbodies



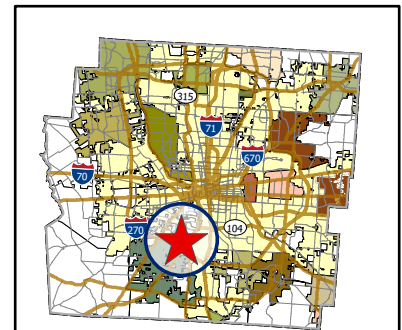


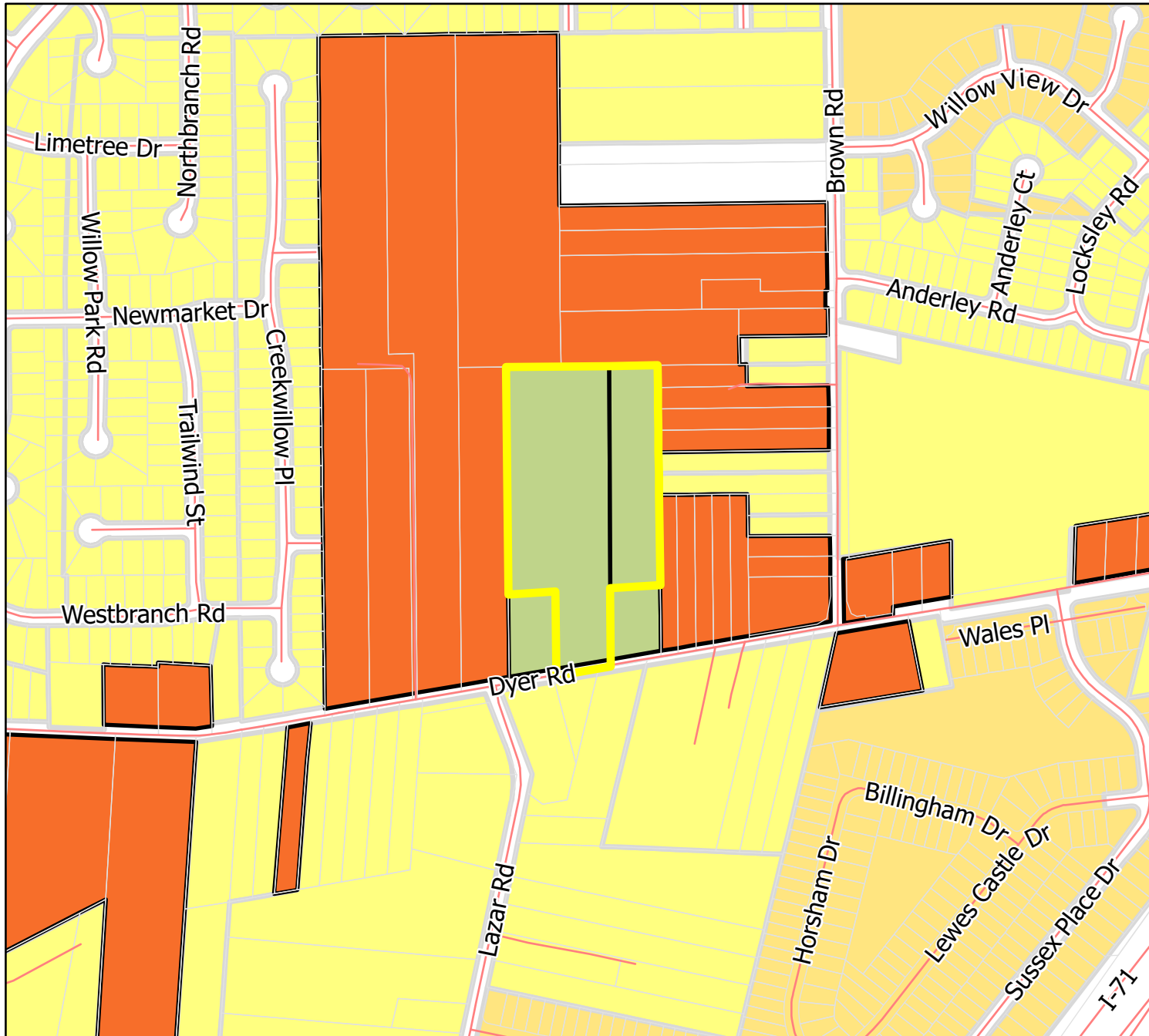
JACK-24-08

Request for Franklin County Planning Commission recommendation to Jackson Township Zoning Commission to modify a rezoning of a 10.05 acre Exceptional Use property from golfing to athletic soccer fields and an indoor soccer facility.

Acres: 10.05-acres
Township: Jackson

-  Streets
-  Parcels
-  1696 Dyer Rd
-  Waterbodies









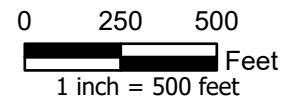
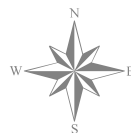
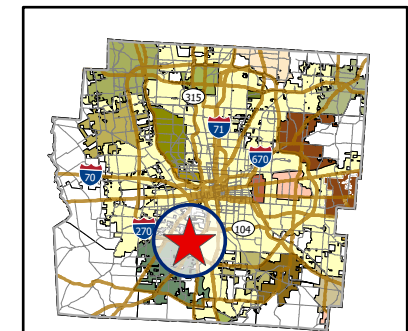


JACK-24-08

Request for Franklin County Planning Commission recommendation to Jackson Township Zoning Commission to modify a rezoning of a 10.05 acre Exceptional Use property from golfing to athletic soccer fields and an indoor soccer facility.

Acres: 10.05-acres
Township: Jackson

-  Streets
-  1696 Dyer Rd
- Columbus Base Zoning Districts**
-  Multi-family
-  Residential
- Zoning - Jackson Twp**
-  Z-EU
-  Z-SR



Fee Paid by Cash / Check # _____, \$ _____

Application # 2-ZC-20-24

ZONING COMMISSION APPLICATION

REQUEST FOR HEARING BEFORE ZONING COMMISSION

3756 Hoover Road Grove City, OH 43123 614-875-2742

Property Owner: CLAUDIA REALTY LLC Applicant: SPARTAK SELMIAJ

Address: 1696 DYER RD Zoned: EU

Property Location: 1696 DYER RD

PID: 160-160-000860-00 Area/Acres: 10.05 Floodplain: _____

(Home): _____ (Work): _____ (Cell): 614-634-3304

Email Address: ALBAUTO@SBCGLOBAL.NET

Summary of Zoning Commission: *It is the responsibility of the Zoning Commission to review and recommend a change in how land is zoned as well as the specific regulations and requirements of the Township Zoning Resolution. It is the responsibility of applicants appearing before the Zoning Commission to have all required site plans, drawings, descriptions and all facts ready for public review and discussion. The schedule of required hearings may be extended by actions of continuance at any step in the procedures.*

To the Township Zoning Commission, the applicant requests the following:

Re-Zoning / PUD

Map/Text Amendment

Exceptional Use

A change in zoning from the existing _____ District to the proposed _____ District

A change in use from the existing SIC _____ to the proposed SIC _____

General Description of the Request

Exceptional Use approval would need to be amended to reflect the addition of (4) turf fields, (2) sand volleyball courts, (1) additional 130'x96' structure, and additional parking

1. Describe in specific detail the proposed request noting special and unique conditions of the proposed use. Attach development text as required.

Proposed plan includes the addition of (4) turf fields, (2) sand volleyball courts, (1) additional 130'x96' structure, and additional parking

APPLICANT'S AFFIDAVIT

STATE OF OHIO
COUNTY OF FRANKLIN

I/We Spartak Seimat
(Name)

1944 Arlicton Ave Columbus OH 43212 Home: _____
(Address) (City, State, Zip Code) (Phone)

Cell: 614 634 3304 Business: 614 715 8881
(Phone) (Phone)

" the above named Owner / Applicant being duly sworn, depose and say that I/We are the owner(s) of the land included in the application and that the foregoing statement herein contained and attached, and information or attached exhibits thoroughly and to the best of my ability. By filing this application, I/We do hereby grant permission to Jackson Township and its employees to enter upon my property and to observe, photograph and document all conditions observed therein and to post all application materials upon the Township's website for public information purposes."

[Signature]
(Owner Signature)

(Co-Owner Signature)

Subscribed and sworn before me this 31 day of Oct 2024
(Day) (Month) (Year)



Josephina Y. Surlal-Perez
Notary Public, State of Ohio
My Commission Expires 08-25-2025 (Notary Signature)

Stamp or Seal

ACTION BY TOWNSHIP

Application Received & Accepted by: _____ Date: _____

Hearing Date: _____ 7:00pm at the Jackson Township Hall, Grove City, Ohio



SITE PLAN
Scale: 1" = 50'-0"

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GENERAL NOTES - SITE PLAN

- A. Do not scale drawings. If dimensions are in question, the contractor shall be responsible for seeking clarification from Architect prior to construction.
- B. All dimensions are from finished surface to finished surface, unless noted otherwise.
- C. Architectural site plan is provided to show the relationship of the architectural elements and to provide plan and detail key reference only.

PARKING CALCULATIONS

EXISTING: 59 SPACES

PROPOSED: 104 SPACES

TOTAL: 163

ZONING NOTES

Site Zoning: R: Exceptional Use District (EU)

- 1. Permitted Uses. Arboreta and botanical or zoological gardens Cemeteries Other Uses Not Provided For - Other legal uses of unique or exceptional requirements or circumstances that are otherwise not permitted by this Zoning Resolution. Recreation and Amusement - Amusement center, amusement park, skating rink, miniature golf, swimming pool, drive-in theater (except adults only entertainment establishments as defined in Ch. 102 and Ch. 204. Athletic field, stadium, race track or other similar sports facility not otherwise allowed by the provisions of this Zoning Resolution. Golf club, country club, fishing club or lake, gun club, riding stable, including boarding of animals, or similar recreational facility operated on an admission fee or membership basis. Resort establishment, park, camping or boating facilities, picnic grounds or similar recreational facility operated on an admission fee or membership basis.

BUILDING CODE NOTES

Occupancy Classification:
A-3 (includes assembly uses intended for worship, recreation or amusement).

New Structures:

- 1. Construction Type: I-B
- 2. Primary structural frame: 2hr rated (intumescent paint or fireproofing)
- 3. Max. Height: 160'
- 4. Max. Stories: 11
- 5. Max. Area: 12,000 INS - Not Sprinklered per 903.2.1.3)
- 6. Max. field size: 95x120

Existing Structural shall be separated by 2hr fire wall

Fire protection shall not be required (pending construction type) below 12,000sf.

Occupancy: 50sf/person

Restroom Fixture Requirements:

- 1. Existing W.C: 3
- 2. Existing LAV: 2
- 3. New W.C: 2
- 4. New LAV: 1



PROJECT STATUS

REZONING SITE PLAN

CURRENT ISSUE DATE

11.1.2024

PROJECT NO.

24028

REVISIONS

#	Description	Date

PROJECT INFORMATION

614 Soccer

Spartak Selimaj

1696 Dyer Rd.
Grove City, OH 43123

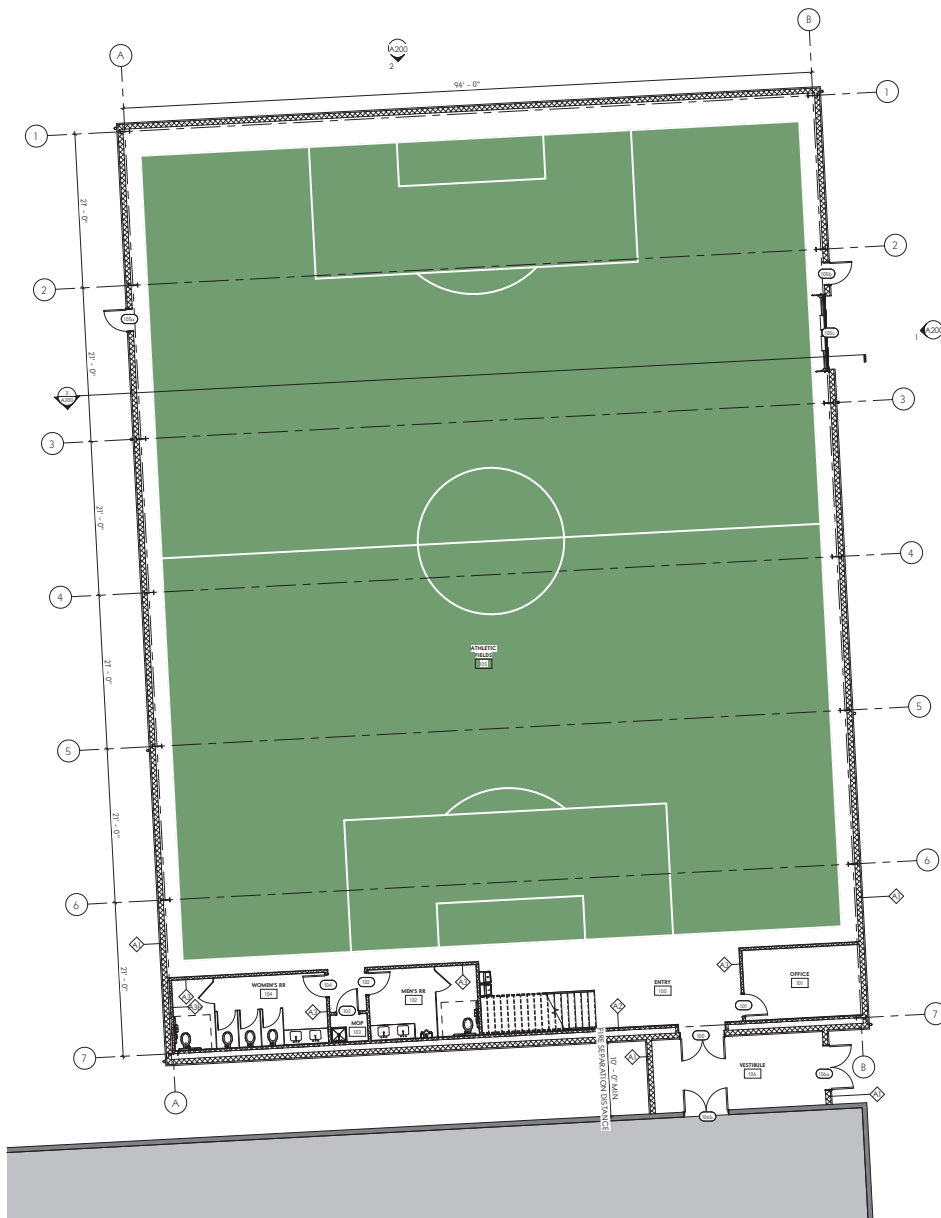


SHEET NAME

Concept Site Plan

SHEET NUMBER

A100



Architectural Plan
Scale: 1/8" = 1'-0"

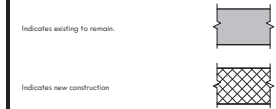
GENERAL NOTES - ARCHITECTURAL PLAN

- A. Do not scale drawings. If dimensions are in question, the contractor shall be responsible for seeking clarification from Architect prior to construction.
- B. All dimensions are from finished surface to finished surface, unless noted otherwise.

KEYNOTES - ARCHITECTURAL PLAN

- 1 TBD

LEGEND - ARCHITECTURAL PLAN



SCHEDULE - WALL TYPES

- A. All gypsum board in restrooms to be moisture resistant.
- B. Provide waterproof membrane at base of all restroom walls. Refer to typical base details.
- C. All soffits to match A3 unless noted otherwise.
- D. Runner track gauge to match stud.
- E. Confirm all stud selections using the stud height limitation chart below.
- F. Walls over 12'-0" high to be laterally braced with 1-1/2" 16Ga. channel clips anchored to metal studs.

MARK	SECTION	WIDTH	DESCRIPTION	TERMINATION
A1		4 7/8"	Metal siding over 8" girt by FEM8 manufacturer. Fill cavity w/ 8" batt insulation.	Refer to details.
A2	THR Rofed	4 7/8"	02 layers 5/8" gypsum board on one face of 3 5/8" 20 gauge metal studs at 16" on center. Diagonally brace studs to deck/structure 48°C. max. fill stud cavity with batt insulation, typ. THR rofed per UL W497.	To deck
A3		4 7/8"	5/8" gypsum board on each face of 3 5/8" 20 gauge metal studs at 16" on center. Diagonally brace studs to deck/structure 48°C. max. fill stud cavity with batt insulation, typ.	Underside of Mezzanine
A3b		4 1/4"	5/8" gypsum board on one face of 3 5/8" 20 gauge metal studs at 16" on center. Diagonally brace studs to deck/structure 48°C. max. fill stud cavity with batt insulation, typ.	Underside of Mezzanine



PROJECT STATUS

REZONING SITE PLAN

CURRENT ISSUE DATE

11.1.2024

PROJECT NO.

24028

REVISIONS

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PROJECT INFORMATION

614 Soccer

Spartak Selimaj

1696 Dyer Rd.

Grove City, OH 43123



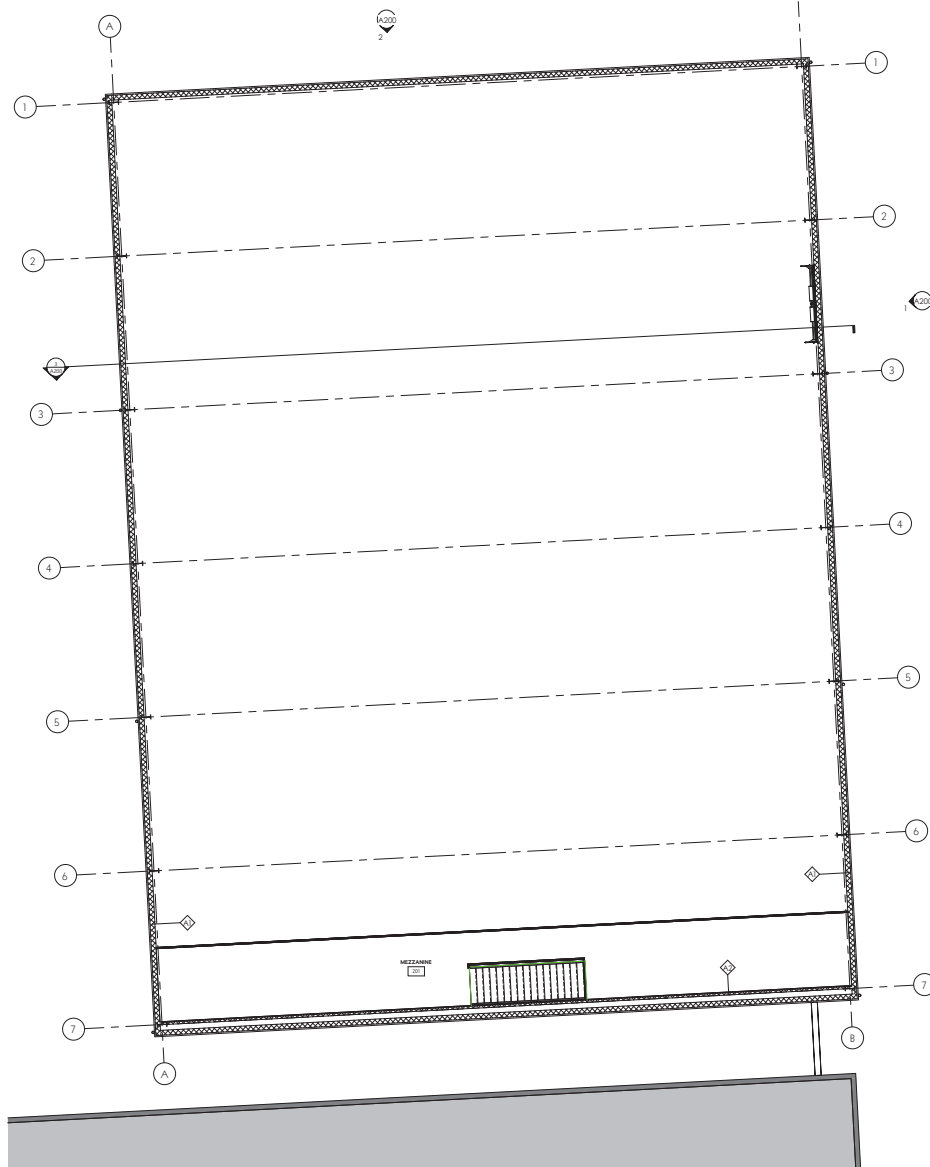
ELEVATION
STUDIO

SHEET NAME

Architectural
Plan

SHEET NUMBER

A101



Architectural Plan - Mezzanine
Scale: 1/8" = 1'-0"

GENERAL NOTES - ARCHITECTURAL PLAN

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- B. All dimensions are from finished surface to finished surface, unless noted otherwise.

KEYNOTES - ARCHITECTURAL PLAN

- 1 T&D

LEGEND - ARCHITECTURAL PLAN



SCHEDULE - WALL TYPES

- A. All gypsum board in restrooms to be moisture resistant.
- B. Provide waterproof membrane at base of all restroom walls. Refer to typical base details.
- C. All soffits to match A3 unless noted otherwise.
- D. Runner track gauge to match stud.
- E. Confirm all stud selections using the stud height limitation chart below.
- F. Walls over 12'-0" high to be laterally braced with 1-1/2" x 16Ga. channel clips anchored to metal studs.

MARK	SECTION	WIDTH	DESCRIPTION	TERMINATION
A1		4 7/8"	Metal siding over 8" girt by FEM8 manufacturer. Fill cavity w/ 8" batt insulation	Refer to details
A2	THR Rofed	4 7/8"	27 layers 5/8" gypsum board on one face of 3 5/8" 20 gauge metal studs at 16" on center. Diagonally brace studs to deck/structure 48°C.C. max. fill stud cavity with batt insulation, typ. THR rofed per UL W97	To deck
A3		4 7/8"	5/8" gypsum board on each face of 3 5/8" 20 gauge metal studs at 16" on center. Diagonally brace studs to deck/structure 48°C.C. max. fill stud cavity with batt insulation, typ.	Underside of Mezzanine
A3b		4 1/4"	5/8" gypsum board on one face of 3 5/8" 20 gauge metal studs at 16" on center. Diagonally brace studs to deck/structure 48°C.C. max. fill stud cavity with batt insulation, typ.	Underside of Mezzanine



PROJECT STATUS
REZONING SITE PLAN
CURRENT ISSUE DATE
11.1.2024
PROJECT NO.
24028
REVISIONS

#	Description	Date

PROJECT INFORMATION
614 Soccer
Spartak Selimaj
1696 Dyer Rd.
Grove City, OH 43123



ELEVATION
STUDIO

SHEET NAME
Architectural
Plan - Mezzanine
SHEET NUMBER

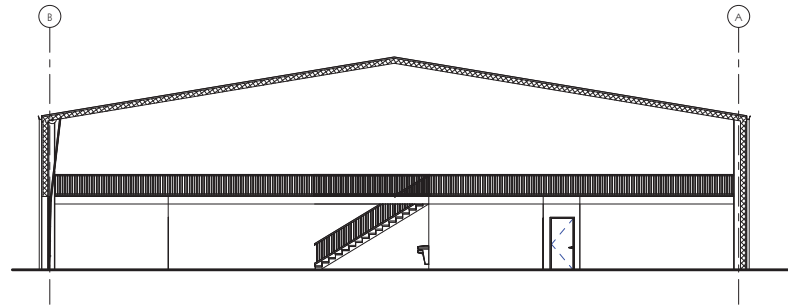
A102

GENERAL NOTES - EXTERIOR ELEVATIONS

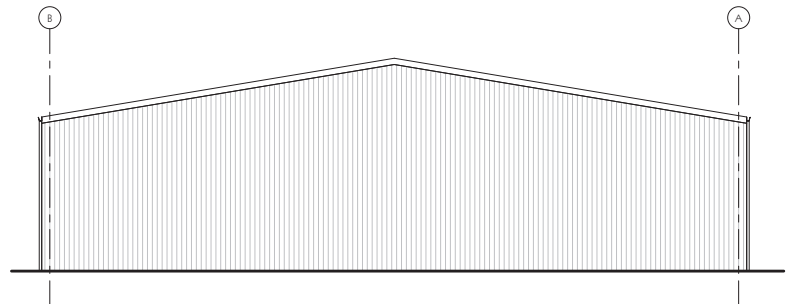
- A. Do not scale drawings. If dimensions are in question, the contractor shall be responsible for seeking clarification from Architect prior to construction.
- B. All dimensions are from finished surface to finished surface, unless noted otherwise.

KEYNOTES - EXTERIOR ELEVATIONS

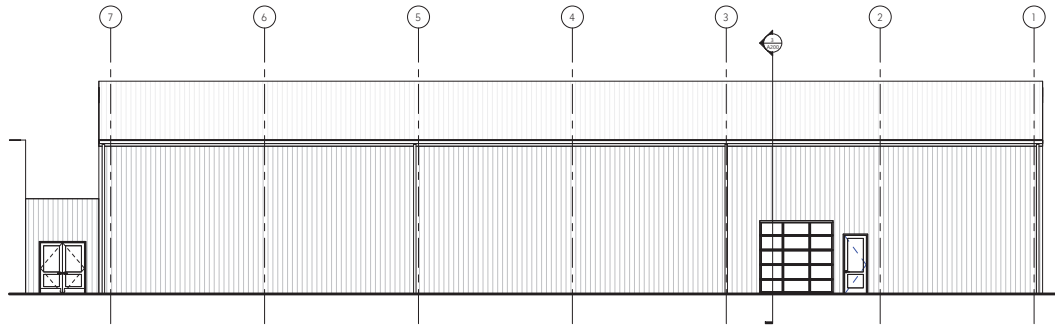
- 1. TBD



3 Building Section
Scale: 1/8" = 1'-0"



2 North Elevation
Scale: 1/8" = 1'-0"



1 East Elevation
Scale: 1/8" = 1'-0"



PROJECT STATUS

REZONING SITE PLAN

CURRENT ISSUE DATE

11.1.2024

PROJECT NO.

24028

REVISIONS

#	Description	Date

PROJECT INFORMATION

614 Soccer

Spartak Selimaj

1696 Dyer Rd.
Grove City, OH 43123



SHEET NAME

Elevations - Exterior

SHEET NUMBER

A200

EXCEPTIONAL USE DISTRICT
JACKSON TOWNSHIP
1700 DYER ROAD
JACKSON TOWNSHIP, FRANKLIN COUNTY, OHIO
KICKMASTER FOOTGOLF
NO. *1-RZ-15

BACKGROUND:

The subject site is located on the north side of Dyer Road east of Brown Road. The site is surrounded by single-family residential land uses. The site incorporates approximately 12± acres and has one owner. The site has an existing 2,161 square foot residential building and a detached garage; both of which were constructed in 1947. The site is zoned Suburban Residential District. The applicant is requesting to rezone the property to the Exceptional Use District to permit recreational and amusement activities both indoors and outdoors on the site. A new 12,800 square foot building will be erected on the property to provide for indoor activities.

PERMITTED USES:

The following shall be permitted:

- Single family residence
- Exterior:

Year-round foot golf, weather permitting; Friday night glow-in-the-dark foot golf with balls that glow, t-markers that glow, reflective vests, holes that have LED beams of light shining up from the cup; Pro-Am tournaments, corporate sponsored outings/events, charitable functions/outings. Food trucks shall be permitted on the parking lot as a temporary activity. The outdoor activities will operate seven (7) days a week starting at 6 a.m. and on certain nights of the week will continue until midnight (on Friday and Saturdays) and 8 p.m. on the other nights.

- Interior – Within the 12,800 sq. ft. building

Activities include: workout facilities or sports training, including but not limited to, soccer and baseball training and practice, a clubhouse with retail space indoor/outdoor seating with televisions and vending machines. The indoor activities will operate seven days a week starting at 6 a.m. and on certain nights of the week will continue until midnight.

DEVELOPMENT STANDARDS:

Unless otherwise indicated in the submitted drawing or in the written text, the applicable standards for the site shall be those standards contained in Section 203 General Provisions of the Jackson County Zoning Code.

LIGHTING:

- a. All lighting on the subject property shall be cut-off type fixtures (down lighting) and limited to the building, golf course area, patio and parking areas unless located for landscaping and security purposes.
- b. All types of parking, building and other exterior lighting to be on poles shall be from the same "family" from the same manufacturer's type and style.
- c. All lighting poles will be either of wood or bronzed colored metal construction.
- d. Parking lot lighting shall not exceed twelve (12) feet in height.
- e. The exterior lighting for the site shall minimize off-site glare and reflection by utilizing screening, direction of lighting, height of lighting, wattage and type of lighting.

SIGNAGE AND GRAPHICS:

- a. One freestanding graphic shall be allowed along the Dyer Road frontage. The total size of the sign shall not exceed fifty (50) square feet and shall not be any higher than ten (10) feet. The sign design is included in the Exceptional Use application.
- b. Black, dark walnut, dark charcoal, dark rust, dark green or dark bronze in color sign frame shall be utilized for the sign with cream colored lettering and border. The signage may be internally or external illuminated. The sign will have a stone base.
- c. Directional signs for ingress and egress shall be permitted at the curbcuts on Dyer Road to direct traffic in and out of the site.
- d. No off-premise graphic shall be permitted on site nor any illumination which flashes, travels, animates or intermittently illuminates shall be allowed.
- e. Signage will be permitted throughout the course and placards will be located around the outer perimeters of the course area.

ENVIRONMENTAL TREATMENT:

- a. The parking lot shall be landscaped along the eastern and southern edge with a variety of shrubs and other landscaping materials to produce a height of three (3) feet with a 60% opacity within two (2) years.
- b. An earthen berm and an eight (8) foot tall white board on board fence shall be erected around the rear play area as shown on the site plan.
- c. There shall be only two (2) curbcuts allowed for along Dyer Road, one for the house and one to serve the proposed parking lot and that curb cut shall have a maximum width of thirty-five (35) feet. The parking area and access lanes will be paved and maintained in order to prevent any dust problems.
- e. The screening and landscaping plan for the development of the site shall conform to the submitted drawings and such screening shall provide a buffer to the areas to the west, south and east. All screen plantings shall be maintained permanently and any plant which does not survive shall be replaced within one year with material meeting the specifications of the original planting. Maintenance of the screening materials shall be the responsibility of the owner of the property and failure to replace and maintain the screening materials shall be a violation of the Jackson County Zoning Code.

SITE PLAN:

- a. The property shall be used in accordance with the submitted site plan. The attached site plan illustrates the area where the building and parking areas will be located. This site plan may be slightly adjusted to reflect engineering, topographical or other site data developed at the time final development and engineering plans are completed. Any slight adjustment to the site plan shall be reviewed and approved by the Zoning Officer or his designee, upon submission of the appropriate data regarding the proposed adjustment. The general layout and site concept shall, however, conform to the site plan.
- b. Parking requirements shall conform to those found in Section 531 of the Jackson County Zoning Code.

BUILDING ELEVATIONS:

- a. The new building shall conform to the submitted elevations.

STORMWATER DRAINAGE:

- a. Drainage and run-off from the proposed development shall not cause property damage to off-site areas. All drainage improvements shall be designed in conformance with the requirements for the Franklin County development regulations. The new building will be guttered and the down spouts will tie into a drainage system that routes the surface drainage into the catch basins located on the site. If necessary, additional catch basin will be located on the parking lot and sized to permit on-site detention in the parking areas and then provide for a gradual release of surface water into the existing catch basin. EP Ferris and Associates confirms the ability of the detention pond to handle proposed stormwater run-offs as it is the consulting engineer for the project.
- b. The building will also conform to the requirements of the Franklin County development regulations and will utilize the detention basin used for stormwater drainage. The stormwater detention plan will accompany the site plan for detailing the methods to be used to handle stormwater drainage off the site.

SEWAGE DISPOSAL AND WATER SUPPLY:

Centralized water is available to serve the site and new onsite septic system is proposed to serve the various utilities that are permitted on the property.

POLLUTION:

- a. Smoke: No smoke shall be emitted from any structure in the Exceptional Use District.
- b. Noise: The noise level shall be no greater than sixty (60) decibels at the lot line.
- c. Odor: No odorous gases or other odorous matter in any quantities as to be offensive at any point on or beyond the Exceptional Use District boundary.

ARCHITECTURAL DESIGN:

- a. The building lot coverage shall not exceed 35% of the lot and parking lot coverage (excluding access drives to the storage units) shall not exceed an additional 30% coverage for a total of 65% lot coverage of the site.
- b. No outside storage shall be permitted on the lot. No rubbish or debris of any kind shall be placed or permitted to accumulate on any portion of the lot.

- c. All utilities shall be placed underground.
- d. The 80' x 160' new building will be constructed of steel and have a roof pitch of 3/12.

guzzo-dyerrd.txt (nct)
2/27/15 S:Docs/s&htxts/2015

GENERAL NOTES

SPECIFICATIONS

The City of Columbus Construction and Material Specifications(CMCS) 2012, including supplemental specification 1100 and all other supplements thereto, shall govern all construction items that are a part of the plan unless otherwise noted.

UTILITY OWNERSHIP

The Contractor is responsible for the investigation, location, support, protection, and restoration of all existing utilities and appurtenances whether shown on these plans or not. The Contractor shall expose all utilities or structures prior to construction to verify the vertical and horizontal effect on the proposed construction. The Contractor shall call, toll free, the Ohio Utilities Protection Service (1-800-362-2764) 72-hours prior to construction and shall notify all utility companies at least 48-hours prior to work in the vicinity of their underground lines.

WARNING: The following City of Columbus Utilities are not a member of the Ohio Utilities Protection Service. The contractor shall contact the City of Columbus Division of Water, (614) 645-8276, any marking request before commencement of any excavation.

Where plans provide for a proposed sewer to be connected to, or cross over or under an existing sewer or underground utility, the Contractor shall locate the existing pipes or utilities, both as to line and grade before starting to lay the proposed sewer. These locations are noted thus: **EXPOSE**. The cost of this work shall be included in the unit price bid for CMSC Item 901.

MODIFICATIONS

Any modification to the work as shown on these drawings must have prior written approval by Jackson Township and/or The Franklin County Engineer.

DEFLECTION TESTING

All plastic sewer lines shall be deflection tested after installation in conformance with the requirements of item 901 of the City of Columbus, Construction and Material Specifications, current version (2012).

CERTIFICATION OF PIPE AND STRUCTURES

All concrete pipe, storm and sanitary sewer structures will be stamped or have such identification noting that said pipe, storm and sanitary structures have been inspected by the City of Columbus and meets their specifications. Pipe and structures without proper identification will not be permitted for installation.

EROSION CONTROL

Erosion and sediment control measures are required as part of this project. Erosion and Sediment Control measures specific to this site may be found on Sheets No. 8 of this plan. Land-disturbing activities must comply with all provisions of the Franklin County Soil and Water Conservation District **EROSION AND SEDIMENT CONTROL REGULATION**. All land-disturbing activities shall be subject to inspection and site investigation by the Franklin County Soil and Water Conservation District and/or the Ohio EPA.

GRADE CHECKS

The Contractor shall ensure there is a surveyor's level and rod on the project for use in performing grade checks whenever sewer line structures or pipe are being installed. The Contractor shall make this equipment available for use and assist the County inspector in performing grade checks when requested by the Inspector. The Inspector will make all reasonable attempts to confine requests for assistance in performing grade checks to times convenient to the Contractor.

These checks will be performed to ensure the following:

1. Proper placement of each structure.
2. Proper installation of pipe runs.
3. Grade, after an overnight or longer shutdown.
4. Grade, at any other time the Inspector has reason to question grade of installation.

Grade checks performed by the County Inspector in no way relieve the Contractor of the ultimate responsibility to ensure construction to the plan grade.

PONDING / DETENTION AREAS

The ponding or detention areas shown on the plans are a part of the storm sewer facilities. The Developer/Owner will assume the responsibility to maintain the ponding or detention areas so as not to reduce the water storage areas. If the Owner does not maintain the ponding and detention areas, the plan will become void and the County will plug the sewer at the outlet.

AS-BUILTS

As a condition of final acceptance, the property owner shall be responsible for providing as-built surveys to verify the final grades and elevations of stormwater detention basins and wetlands that are to be owned and operated by the City. At the completion of home construction, the Owner/Developer shall field survey the stormwater detention facility to verify that the facilities are constructed according to approved plans. Should a discrepancy between the plans and constructed grades exist, the design storage of the detention facility shall be restored by the Owner/Developer as directed by the Franklin County Engineer.

PERMITS

The Contractor is to obtain all necessary permits. An original permit, with red signatures, shall be kept onsite at all times.

100 YEAR DETENTION TABLE

LOCATION	STORAGE VOL. REQUIRED	STORAGE VOL. PROVIDED	MAX. W.S. ELEVATION
DETENTION POND	15,584 CF	16,575 CF	735.85

Note: Downspout drains shall be directed to swales around proposed and existing buildings, to provide positive drainage away from structures.

SITE IMPROVEMENT PLAN

KICKMASTER FOOTGOLF

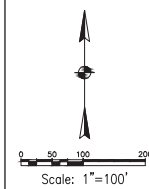
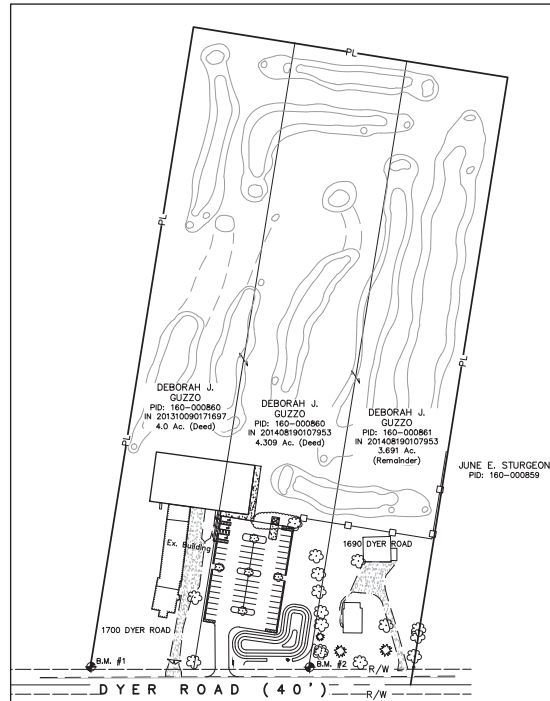
1700 DYER ROAD

JACKSON TOWNSHIP, FRANKLIN COUNTY, OHIO

2015



LOCATION MAP
N.T.S.



SITE DATA TABLE:

Total Site Area:	4.203 Ac.
% of Lot Area Covered by Buildings:	4.5%
% Impervious Area:	9.3%
Pervious Area:	3.814 Ac.
Parking Spaces:	55 Spaces

BENCHMARKS:

All bench marks and elevations shown upon this plan are based on the (NAVD88) North American Vertical Datum of 1988.

All elevations shown on these drawings are based on the vertical component of 0001's VRS RTK Network, which is based on NAVD88 as determined by National Geodetic Survey (NSG)

BM1

A 3/4" iron pin found at the southwest corner of 1700 Dyer Road.
N 692789.88, E 1816806.56
Elevation = 742.08

BM2

A iron pin found and capped "Patriage" at the southeast corner of 1700 Dyer Road and the southwest corner of 1690 Dyer Road.
N 692849.01, E 1817153.54
Elevation = 733.10

Note: The Contractor shall carefully preserve benchmarks, property corners, reference points, and stakes. Any benchmark, property corner, or survey marker damaged or disturbed by the Contractor shall be reset by an Ohio Registered Surveyor at the Contractor's expense.

Owner/Developer Information:

DEBORAH J. GUZZO
1700 DYER ROAD
GROVE CITY, OHIO 43123
Contact: DEBORAH J. GUZZO
PH: 614-595-8659

Civil Engineer Information:

E.P. FERRIS & ASSOCIATES
880 KING AVENUE
COLUMBUS, OHIO 43212
Contact: SEAN GILLILAN, P.E.
PH: 614-299-2999
FAX: 614-299-2992
EMAIL: sgillilan@epferris.com

Architect Information:

NEW AVENUE ARCHITECTS & ENGINEERS
4740 REED, ROAD, SUITE 201
UPPER ARLINGTON, OHIO 43220
Contact: MICHAEL MAISTROS
PH: 614-884-8888
FAX: 614-884-8448
EMAIL: mmaistros@new-avenue.net

INDEX MAP

Scale: 1"=100'

SHEET INDEX

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EXISTING CONDITIONS	3
OVERALL SITE IMPROVEMENT PLAN	4
DETAILED SITE IMPROVEMENT PLAN	5
OVERALL GRADING PLAN	6
DETAILED GRADING PLAN	7
EROSION CONTROL PLAN	8

STANDARD CONSTRUCTION DRAWINGS

ODOT		COLUMBUS (ODSD)	
NUMBER	DATE	NUMBER	DATE
CB-1.2	07/20/12	AA-S133A	12/06/13
		AA-S139	12/06/13
		AA-S169	12/06/13

REVISIONS

NO.	DATE	DESCRIPTION	BY

SHEET NO.	OF
1	8

Drawing No. 1070701_1000.dwg (C:\Users\epferris\Documents\Drawings\Thruway\Thruway_Sewer.dwg) on 07-22-15 10:46 Modified by: epferris - Update - 1 - 100% scale - 1"=100'



CONTACT:
880 KING AVENUE
COLUMBUS, OHIO 43212
(614) 299-2999
(614) 299-2992 (Fax)
www.EPFERRIS.com



REGISTERED ENGINEER _____ DATE _____

GENERAL NOTES

WHEELCHAIR RAMP TRAINING REQUIREMENT: Any contractor or subcontractor involved in directing, planning, layout, and/or constructing wheelchair ramps or other amenities required under the Americans with Disabilities Act of 1990 (ADA) shall have previously attended a City sponsored training session to be permitted to execute work on this project. This shall include, but not be limited to, project superintendents, supervisors and foremen. Laborers are encouraged, but not required, to attend. For more information contact the City of Columbus ADA section at 645-0285.

DRIVE APPROACH, PEDESTRIAN FACILITY AND CURB RAMPS: All drive approaches, pedestrian facility, curbs, and ramps constructed with this project shall meet the requirements of the City of Columbus standards and ADA compliance. It is the sole responsibility of the Contractor to meet these construction standards.

CITY WATER

SERVICE BOX ADJUSTMENT: The Contractor shall adjust existing Utility Valve Boxes and Service Boxes to grade within the construction area. The Contractor shall replace any damaged Curb Box encountered while relocating Water Service Taps as directed by the Engineer. Any damage to Curb, Utility, and Service Boxes caused by the Contractor shall be replaced by the Contractor at his own expense as required by CMSC 105.07.

FIRE HYDRANT PERMIT: The Contractor must obtain from the Division of Power and Water (Water) a fire hydrant permit prior to connection of this water supply lines to any fire hydrant. The Contractor shall provide the necessary gate valves, backflow preventers, and flow meter for each hydrant location. All equipment, fittings and valves shall be in accordance with Division of Power and Water (Water) standards. The Contractor shall pay for water at the Contractor's at his own expense as required by CMSC 105.07.

INTERRUPTION OF WATER SERVICE: The Contractor shall give written notice to all affected property owners at least 24 hours, but not more than 72 hours, prior to any temporary interruption of water service. Interruption of water service shall be held to a minimum and shall be approved by the Division of Power and Water (Water).

TRENCHING

Excavating and backfilling for sewers, shall comply with CMSC Item 901. The Contractor shall excavate all material of whatever nature encountered, including rock, and remove excess material from the site. No additional payment will be made for rock excavation. Blasting is not permitted.

If unsuitable material is encountered at the subgrade of the trench, the treatment of this material shall follow CMSC Item 901.06. Replacement of unsuitable material with stone foundation specified in CMSC Item 901.06 is required if dewatering of the subgrade does not produce a subgrade acceptable to the Engineer.

Any excavation performed beyond the standard trench width, as defined on Division of Sewerage and Drainage Standard Construction Drawings AA-5149, AA-5150, and AA-5151 due to site conditions or the Contractor's methods are done so solely at the Contractor's expense. No extra payment will be made for unauthorized excavation.

All existing pavements, walkways, curbs, etc. shall be saw cut before removal. If during construction, the pavement, walkway, curb, etc. is damaged beyond the original saw cut, the damaged area shall be resurfaced by the Engineer. Payment for saw cutting shall be included under CMSC Item 901.

BACKFILL: Trench backfill shall be per CMSC Item 901.17. No additional compensation shall be made for trenches requiring CMSC Item 911, Compacted Backfill. The cost for backfilling trenches with CMSC Item 911, Compacted Granular Material shall be paid for under the applicable "Item 901 - 12" Storm Pipe, with Type 1 Bedding, including 912 Backfill", no separate payment shall be made for Item 912, Compacted Granular Material.

At all points of crossing water mains or other sewers, the backfill shall be granular material between the deeper and shallower pipes.

All trenches within the road right-of-way shall be backfilled or securely plated during non-working hours.

The Contractor shall be responsible for the condition of the trenches for a period of one (1) year from the date of final inspection. The cost of this work shall be included under CMSC Item 901.

DEWATERING: Should water be encountered, the Contractor shall furnish and operate suitable pumping equipment of such capacity to adequately dewater the trench per CMSC Item 901.06. The trench shall be sufficiently dewatered so that the placement of bedding and laying and joining of the pipe is made on firm, dry ground. The Contractor shall convey all trench water to a natural drainage channel or storm sewer without causing any damage to the property by utilizing proper erosion and sediment controls. Direct discharge of sediment laden water to the County's sewer system or a receiving stream is a violation of Ohio EPA and Jackson Township regulations; the Contractor will be held liable for the violation and subsequent fines. The cost of all dewatering work shall be included in the unit price bid for CMSC Item 901.

SEWERS

EXISTING SYSTEMS: Existing drainage systems (field tiles, roof drain outlets, sump pumps, etc.) encountered during construction of the new storm sewer or removal of existing storm sewers shall be extended as necessary and blind tagged to the new storm sewer per City of Columbus Division of Sewerage and Drainage Standard Drawing AA-5152 or connected to the catch basin as directed by the Engineer. All costs associated with this work shall be included in CMSC Item 901.

If the Contractor encounters a pipe or connection to the storm sewer that in the estimate of the Engineer may be an illicit connection from an on-site sewage disposal system, the Franklin County Board of Health shall be contacted at (614) 545-3160 to determine whether the pipe may be reconnected to the City's storm sewer system.

Roof drains, foundation drains, and other clean water connections to the sanitary sewer system are prohibited.

GRADE CHANGES: If it is determined that the elevation of the existing sewer, or existing appurtenance to be connected, differs from the plan elevation or results in a change in the plan sewer slope, the Engineer shall be notified before starting construction of any portion of the proposed sewer which will be affected by the variance in the existing elevations.

If it is determined that the proposed sewer will intersect an existing sewer or underground utility if constructed as shown on the plan, the Engineer shall be notified before starting construction of any portion of the proposed sewer which would be affected by the interference with an existing facility.

Grades and elevations shown on the plans shall not be revised under any circumstances without first obtaining written approval from the Engineer. Invert elevations shall not deviate from plan elevation by more than 0.05 foot. Failing to meet the above requirements is cause for rejection of the affected section of sewer.

STRUCTURE ADJUSTMENT: The Contractor shall field verify the top of existing elevation of all new stormwater structures. If precast structures are utilized the top 6 inches minimum shall be field placed either with grade rings or brick and mortar to allow for field adjustment. The cost for this work shall be included in the unit price bid for the applicable CMSC Item 604.

If the Engineer determines that an inlet is too low after it has been placed and rough grading performed, the Contractor shall adjust the inlet as directed by the Engineer and regrade the area accordingly. The cost to adjust the inlet shall be paid in the unit price bid for CMSC Item Special - Inlet Adjust to Grade, As Directed by Engineer, and shall constitute full payment for adjusting the inlet including grade rings, concrete, excavation, backfill, regrading, etc.

MANHOLE STEPS: Manhole steps shall be reinforced polypropylene plastic per DQSD Std. Construction Drawing AA-5119. Payment for manhole steps shall be included in the unit price bid for CMSC Item 604, Manhole.

STORMWATER FACILITIES: Before any work is started on the project and again before final acceptance by the Owner, the Engineer and the Contractor shall make an inspection of all existing sewers which are to remain in service and which may be affected by the work. The condition of the existing conduits and their appurtenances shall be determined from field observations. The Engineer shall keep records of the inspection in writing.

All new conduits, inlets, catch basins, and manholes constructed or reconstructed as a part of the project shall be free of all foreign matter and in a clean condition before the project will be accepted by the Owner.

All existing manholes, catch basins, drains, sewers, and appurtenances inspected initially by the above mentioned parties shall be maintained and left in a condition reasonably comparable to that determined by the original inspection. Any change in the condition resulting from the Contractor's operations shall be corrected by the Contractor to the satisfaction of the Engineer. The above is not applicable for structures to be abandoned. The Contractor shall remove debris, silt, etc. from the existing manholes and catch basins that have been affected by construction operations. The Contractor shall maintain service in existing sewers during construction. All existing charted or uncharted storm sewers encountered during construction shall be connected into the new system. The cost of this work shall be included in the unit price bid CMSC Item 901.

TREES

PRESERVATION: All trees, whether shown or not shown on the plans, are to be preserved unless approval to remove is given in writing by the Engineer or their removal has been designated not to be preserved by the Engineer. The cost for tree preservation shall be paid for under CMSC Item 201, Clearing and Grubbing. The Contractor shall use special precautions to avoid damage to all other trees. All trees removed shall include stump removal to 6 inches below grade. All wood over 4-inch diameter shall, at the property owner's discretion, be cut into lengths not exceeding 16 inches and stacked on the owner's property adjacent to the removal site. The cost for tree preservation and stump removal shall be included in the price bid for CMSC Item 201, Clearing and Grubbing.

PRUNING: Branches or growth that interfere with the free construction of the project may be removed from trees/bushes that are to be saved by the use of pruning tools with prior approval from the Engineer. All pruning tools used and methods employed shall meet the approval of the Engineer. The branches shall be removed with a good clean cut made flush with the parent trunk or if having a good healthy lateral branch, the cut shall be a good clean slanting cut close to and beyond the healthy branch. All pruning cuts shall be spotted with an accepted pruning preservation. The cost of all work and expenses connected with tree pruning shall be included in the price bid for CMSC Item 201, Clearing and Grubbing. No extra payment shall be made.

Trees damaged or destroyed that were not designated for removal or approved by the Engineer for removal shall be replaced at the Contractor's expense. If suitable replacement cannot be determined, compensation by the Contractor for unauthorized tree removal shall include sufficient additional landscaping as determined by Jackson Township.

EROSION CONTROL

SEEDING AND SOODING: The Contractor shall seed and mulch all disturbed areas in conformance with CMSC Item 659 - Seeding and Mulching. The area for payment shall be computed by multiplying the length of the disturbed area as measured along the centerline of the pipe, times the width of the disturbed area as defined by the plans. Payment will be made under CMSC Item 659 - Seeding and Mulching at the unit price bid per square yard for the quantities as determined from the measurements specified above. Payment for watering shall be included in the unit price bid for CMSC Item 659 - Seeding and Mulching, no separate payment shall be made for watering. In case an area outside these limits is damaged and is in need of grading and seeding, it shall be done at the Contractor's expense.

The Contractor shall water seeded areas at a rate of 300 gallons per 1,000 square feet as soon as the seed is covered. The Contractor shall water all seeded areas at a rate of 120 gallons per 1,000 square feet every other day for four weeks. Watering shall be performed in the morning between 6:00am and 10:00am and shall be applied by means of a hydro-seeder or a water tank under pressure with a nozzle that will produce a spray that will not dislodge the mulching material. The cost for water shall be included in the cost for Item 659 - Seeding and Mulching.

MAINTENANCE: Maintenance shall begin immediately after any area is seeded and shall continue for a minimum four-week active growing period following the completion of all seeding work, and until final acceptance of the project. In the event that seeding operations are completed too late in the fall for adequate germination and growth of grass, then maintenance shall continue into the following spring.

Maintenance shall include reseeding, mowing to maintain a height of 3 inches, watering, weeding, fertilizing and resetting and straightening of protective barriers. Maintenance shall also include chemical treatments as required for fungus and/or pest control.

It shall be the Contractor's responsibility to protect and maintain the seeded areas. After the grass in seeded areas has appeared, all areas and parts of areas that, in the opinion of the City, fail to show a uniform stand of grass for any reason whatsoever shall be reseeded and such areas and parts of areas shall be reseeded repeatedly until all areas are covered with a satisfactory growth of grass. Reseeding together with necessary grading, fertilizing, and trimming shall be done at the expense of the Contractor.

The following estimated quantity has been carried to the Estimated Quantities for the work described above.

CMSC 659 - Seeding and Mulching 7,500 S.Y.

TOPSOIL: The requirements of CMSC Item 653 shall govern the construction of this work. Four inches of topsoil shall be placed over all disturbed areas that are to be seeded and mulched. Final grades shall conform to those shown on the plans. Topsoil found suitable by the Project Engineer during clearing and grubbing shall be segregated from the other excavated material and stockpiled for reuse. Payment for segregating, stockpiling and reuse of stockpiled topsoil shall be included in the amount bid for CMSC Item 901. If stockpiled topsoil is insufficient, the Engineer may direct the Contractor to import additional topsoil. Imported topsoil shall be paid for under the unit price bid for CMSC Item 653, Topsoil Fertilized and Placed, as directed by the Engineer.

DUST CONTROL: The following estimated quantities are to be used as directed by the Engineer for dust control.

CMSC 616 - Water 0.5 MGAL
 CMSC 616 - Calcium Chloride 0.5 TONS

TEMPORARY SEDIMENT AND EROSION CONTROL: Erosion and Sediment Control Measures area included as part of this plan. Reference Sheet 5 for Erosion Control Details.

It is the responsibility of the site Owner to notify the Franklin County Soil and Water Conservation 2 working days prior to the commencement of the initial site land disturbance on any site of two or more acres. This includes site clearing, grubbing, and earth moving. Primary Erosion and Sediment Control practices are mandated by regulation to be in place from the beginning of the construction activity. Contact David Reutter at (614) 486-9613

Land-disturbing activities must comply with all provisions of the Division of Sewerage and Drainage Erosion and Sediment Control regulation. All Land-Disturbing activities shall be subject to inspection and site investigation by the Franklin County Soil and Water Conservation and/or the Ohio EPA. Failure to comply with these regulations is subject to legal enforcement action.

Temporary and/or permanent seeding within the designated work limits shall be completed in accordance with the specifications of the mass excavation improvements. Reference Sheet 5 for seeding specifications.

Direct discharge of sediment laden water to the County's sewer system or a receiving stream is a violation of Ohio EPA and Franklin County regulations.

SOIL STOCKPILES: All soil stockpiles, including trench excavation stockpiles shall be protected from erosion by perimeter control devices such as straw bale dikes or silt fences. These perimeter control devices shall be maintained throughout the life of the project. Excavated materials shall not be stored on existing public roadway pavements. This includes excess or unusable excavated soil.

DISPOSAL OF EXCESS EXCAVATION: The Contractor shall dispose of all excess excavation at such location on the project site as approved by the Engineer. For disposal outside of the limits of the project the Contractor shall provide a copy of the signed, written agreement between the Contractor and the off-site landowner before such disposal occurs. This written agreement shall clearly state the purpose of the agreement and indicate the landowner's permission for such use.

STORM SEWER INLET PROTECTION: All storm sewer inlets shall be protected from excessive amounts of sediments using adequate filtering devices as approved by the Franklin County Soil and Water Conservation District. These devices shall be maintained until the denuded area has been stabilized, or as directed by the Engineer. The cost of this work shall be included under CMSC Item 207 - Storm Sewer Inlet Protection. Straw or hay bales are not approved for inlet protection.

MISCELLANEOUS

NON-RUBBER Tired VEHICLES: Non-rubber tired vehicles shall be moved on public streets or roads. The County Engineer/Township may grant exceptions where short distances and special circumstances are involved. Granting of exceptions must be in writing and any resulting damage must be repaired to the satisfaction of the respective jurisdiction.

CLEAN-UP: All debris, rubble, unusable materials, and items not salvaged by the Owner shall become the property of the Contractor and shall be removed from the site by the Contractor and disposed of properly. The Contractor shall restore disturbed areas to their original elevation on equal or better condition that existed before construction. The Contractor shall immediately clean any dirt, sediment or mud deposited on County/Township roads, on or off the project site. The Engineer may require the Contractor to perform weekly street cleaning if excessive amounts of dirt and mud are left along the street. This may include removal by sweeping, power cleaning, or manual methods. The cost of this work shall be included in the unit price bid for CMSC Item 901, unless otherwise specified.

EXTRA COMPENSATION: The Contractor shall furnish all labor, materials, tools, equipment, services, and related accessories for a complete project as described in the plans and specifications. The price for items of work, or materials shown on the plans or provided for in the specifications or special provisions for which no separate unit price is given shall be distributed among the various bid items. Submission of a bid shall be considered evidence that the bidder is satisfied with the plans and conditions as shown. No additional compensation will be paid to the Contractor for compliance with the plans, specifications, or special provisions.

DRIVE APPROACH, PEDESTRIAN FACILITY, AND CURB RAMP: All drive approaches, pedestrian facility, curbs, and ramps constructed with this project shall meet the requirements of the City of Columbus standards and ADA compliance. It is the sole responsibility of the Contractor to meet these construction standards.

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E.P. FERRIS & ASSOCIATES INC



CONTACT:
 880 KING AVENUE
 COLUMBUS, OHIO 43212
 (614) 299-2999
 (614) 299-2992 (Fax)
 www.EPFERRIS.com

JACKSON TOWNSHIP, FRANKLIN COUNTY, OHIO
1700 DYER ROAD
KICKMASTER FOOTGOLF, LLC

JOB NO.	1077.001
DESIGNED BY:	SWG
DRAWN BY:	CLP
CHECKED BY:	SWG
APPROVED BY:	---
DATE:	04/14/15

SCALE:		N/A	
SHEET NO.	OF	2	8

GENERAL NOTES

- LEGEND**
- ⊗ Ex. Fire Hydrant
 - ⊠ Ex. Pull Box
 - ⊕ Ex. Tree
 - ⊡ Ex. Catch Basin
 - ⊙ Ex. Sanitary Manhole
 - ⊕ Ex. Storm Manhole
 - ⊠ Ex. Storm Curb Inlet
 - ⊕ Ex. Utility Pole
 - ⊕ Ex. Light Pole
 - ⊕ Ex. Gas Service Valve
 - ⊕ Ex. Underground Tele. Pedestal
 - ⊕ Ex. Water Service Valve
 - ⊕ Ex. Sign
 - X — Ex. Fence
 - W — Ex. Water Line
 - WS — Ex. Water Service
 - UGT — Ex. Underground Telephone
 - G — Ex. Gas
 - ST — Ex. Storm
 - SA — Ex. Sanitary
 - UGE — Ex. Underground Electric
 - OHE — Ex. Overhead Electric
 - Prop. Catch Basin
 - Prop. Storm Manhole
 - STM — Prop. Storm Sewer
 - DS — Prop. Downspout Line
 - SS — Prop. Sanitary Srv.
 - WS — Prop. Water Srv.
 - ▭ Ex. Concrete Walk/Drive
 - CO₂ Prop. Clean-out
 - DND Do Not Disturb
 - ➔ Proposed Flood Route
 - ➔ Proposed Drainage Flow Directional Arrow
 - ⊗ Tree to be Removed
- NOTE: (TBR) Shall mean to be removed.

NOTE: Existing topography and conditions is a combination of field survey data, County GIS data, and existing plan records. The contractor should verify all conditions prior to commencing construction activities.



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REVISIONS	DATE	BY	CHK.

E. P. FERRIS
 AND ASSOCIATES
 INC.
 Consulting Civil Engineers and Surveyors

CONTACT:
 880 KING AVENUE
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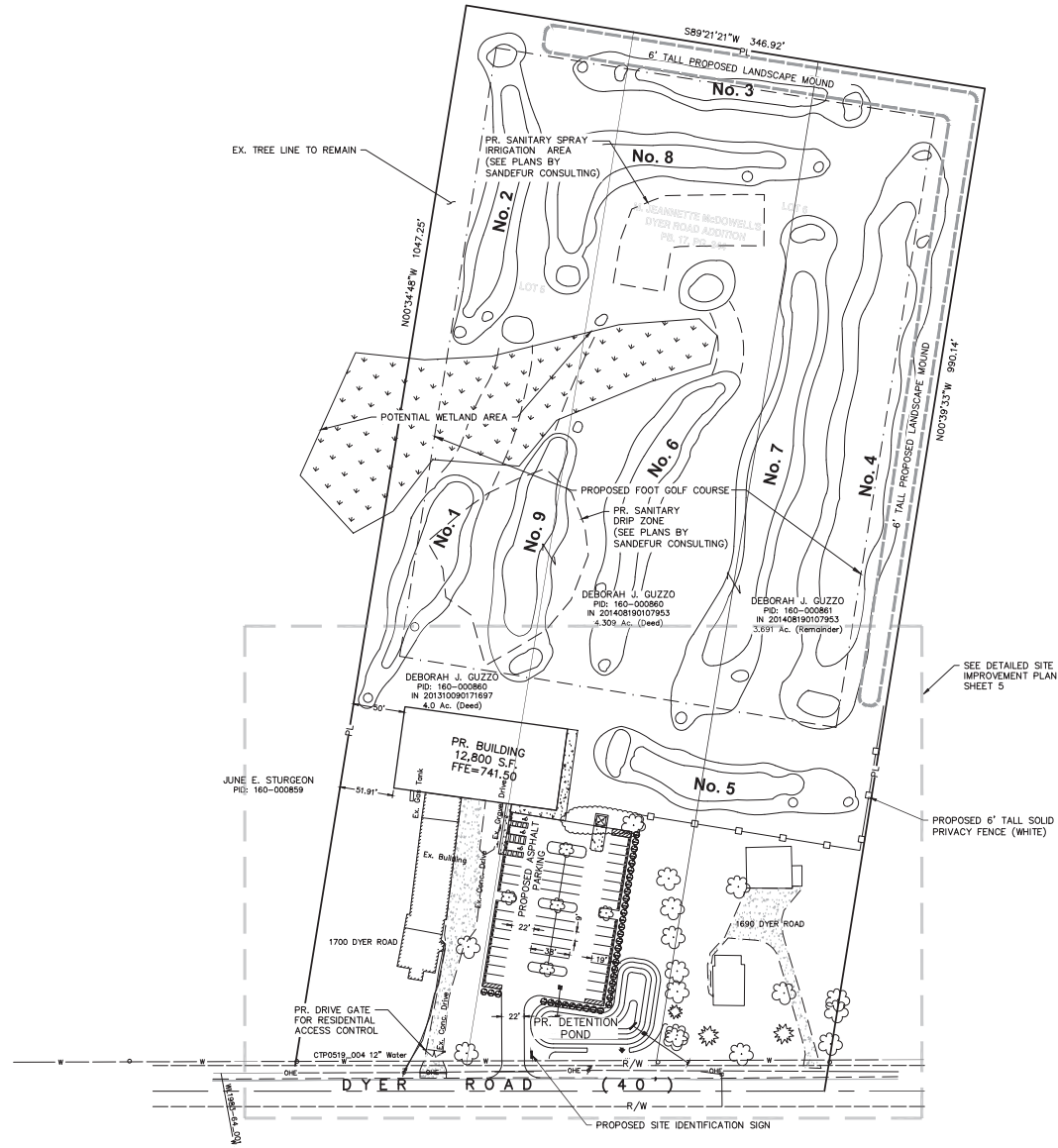
JACKSON TOWNSHIP, FRANKLIN COUNTY, OHIO
1700 DYER ROAD
 KICKMASTER FOOTGOLF, LLC

JOB NO. 1077.001
 DESIGNED BY: SWG
 DRAWN BY: CLP
 CHECKED BY: SWG
 APPROVED BY: _____
 DATE: 04/14/15

EXISTING CONDITIONS

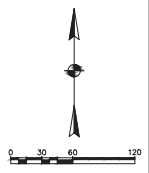
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SHEET NO. 3 OF 8



NOTE: See septic system plans by Sandefur Consulting for exact sizing, layout, and location

NOTE: Golf course design is as provided by developer.



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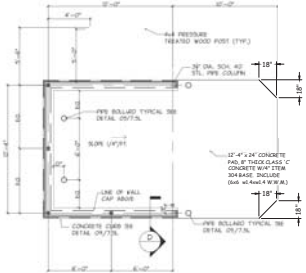
JACKSON TOWNSHIP, FRANKLIN COUNTY, OHIO
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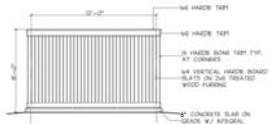
OVERALL SITE IMPROVEMENT PLAN

SCALE: 1" = 60'

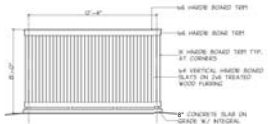
SHEET NO.	OF
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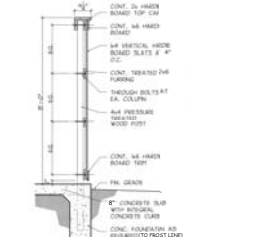
A. COMPUTER ENCLOSURE PLAN



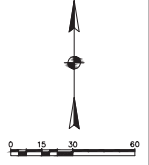
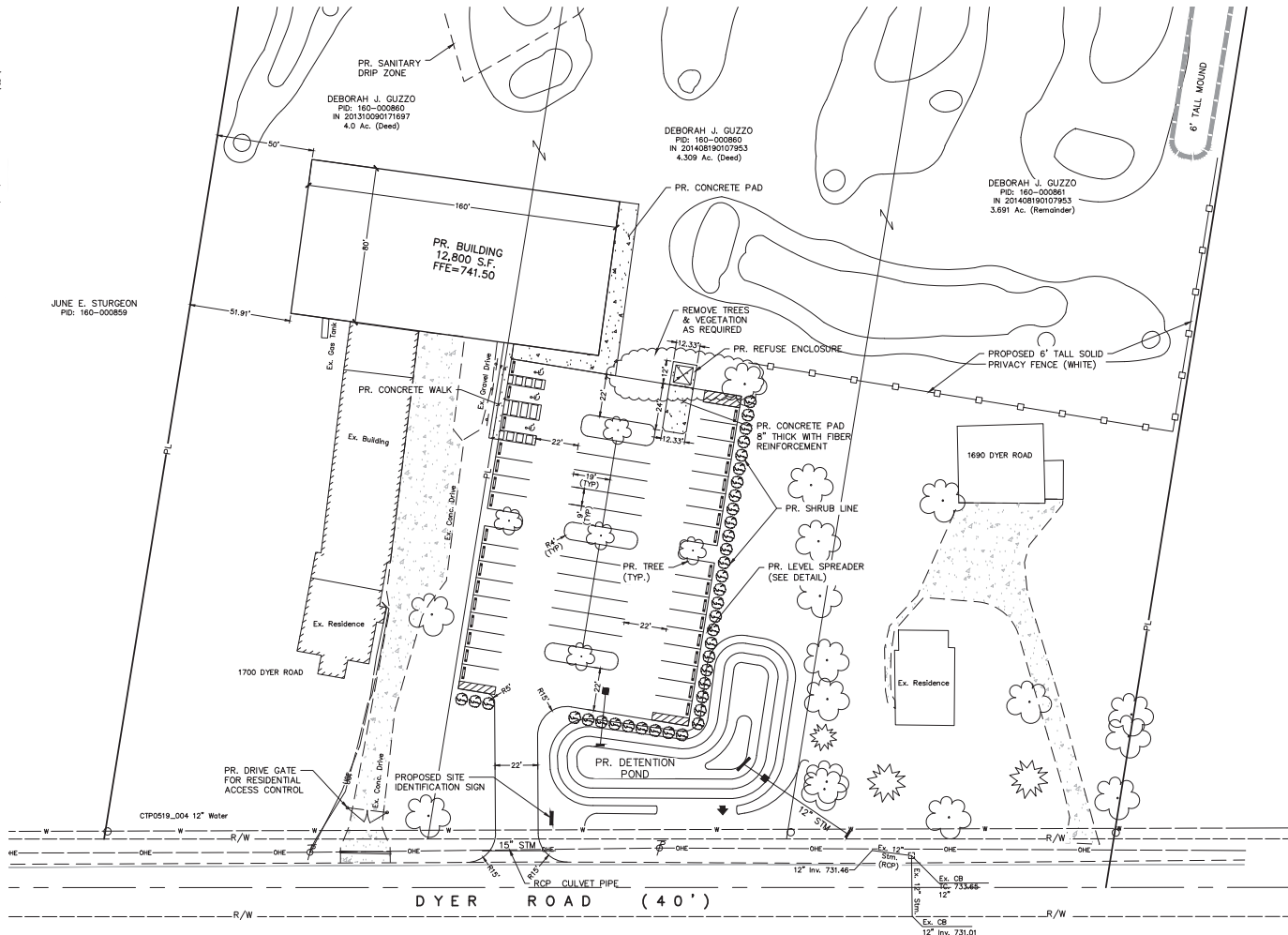
B. SIDE ELEVATION



C. BACK ELEVATION



D. WALL SECTION



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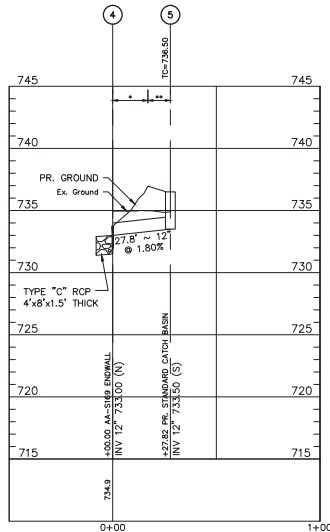
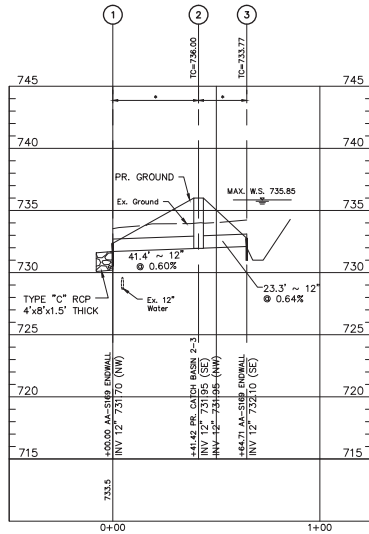
E. P. FERRIS
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JACKSON TOWNSHIP, FRANKLIN COUNTY, OHIO
1700 DYER ROAD
 KICKMASTER FOOTGOLF, LLC

JOB NO.	1077.001
DESIGNED BY:	SWG
DRAWN BY:	CLP
CHECKED BY:	SWG
APPROVED BY:	
DATE:	04/14/15

SCALE: 1" = 30'	
DETAILED SITE IMPROVEMENT PLAN	
SHEET NO.	OF
5	8



NOTE:

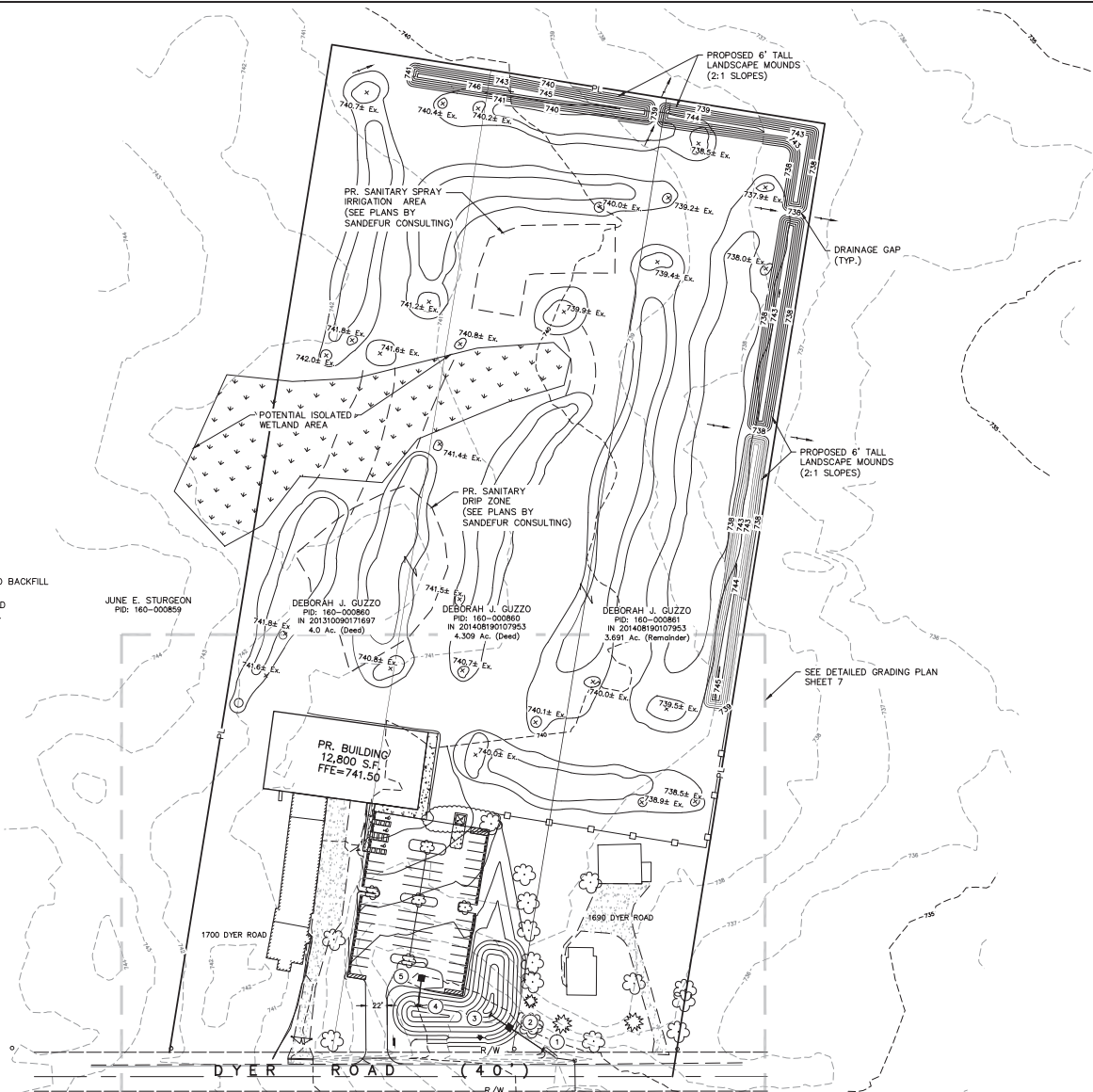
- * ITEM 911 COMPACTED BACKFILL
- ** ITEM 912 COMPACTED GRANULAR MATERIAL

JUNE E. STURGEON
PID: 160-000859

DEBORAH J. GUZZO
PID: 160-000860
IN 201310090171697
4.0 Ac. (Deed)

DEBORAH J. GUZZO
PID: 160-000860
IN 201408190107963
4.309 Ac. (Deed)

DEBORAH J. GUZZO
PID: 160-000861
IN 201408190107953
3.691 Ac. (Remainder)



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REVISIONS	DATE	BY	CHK



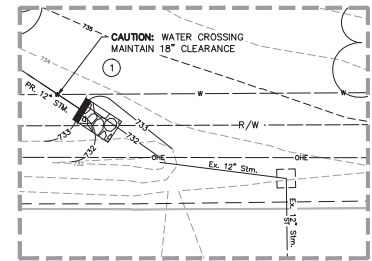
CONTACT:
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DRAWN BY: CLP
CHECKED BY: SWG
APPROVED BY: _____
DATE: 04/14/15

OVERALL GRADING PLAN

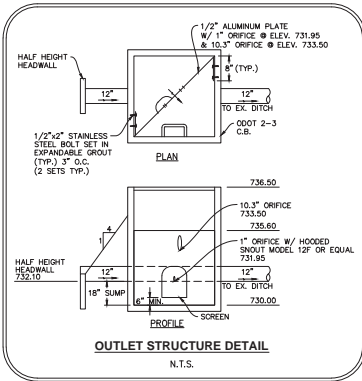
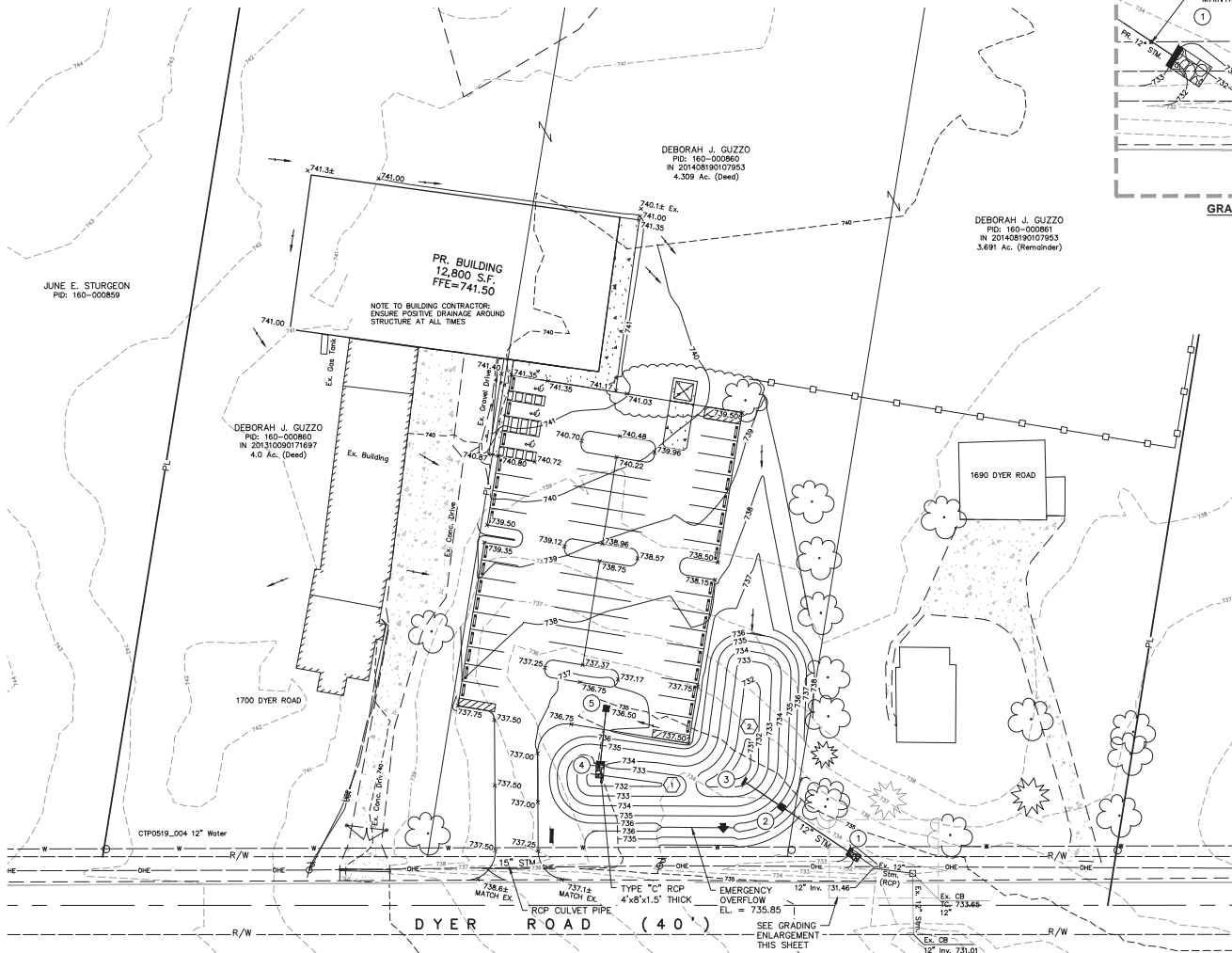
SCALE:	
1" = 60'	
SHEET NO.	OF
6	8



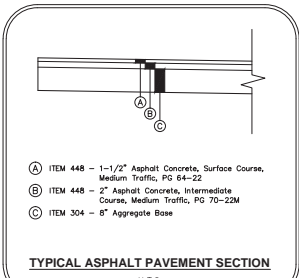
GRADING ENLARGEMENT
 SCALE: 1" = 10'

- NOTES:**
- BUILDING CONTRACTOR TO ENSURE POSITIVE DRAINAGE AROUND STRUCTURE AT ALL TIMES.
 - ALL DOWN SPOUTS SHALL OUTLET TO RETENTION POND.

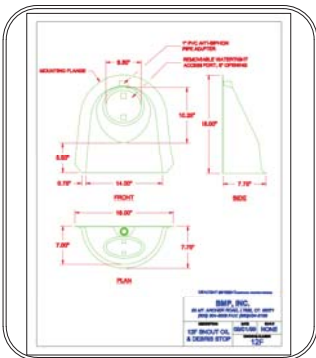
- CODED NOTES:**
- 1 EXTENDED DRY DETENTION FORBAY
 - 2 EXTENDED DRY DETENTION MICROPOOL



OUTLET STRUCTURE DETAIL
 N.T.S.

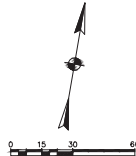


TYPICAL ASPHALT PAVEMENT SECTION
 N.T.S.



BMP, INC.
 4000 W. STATE ST. SUITE 100
 COLUMBUS, OHIO 43228
 (614) 299-2999
 FAX (614) 299-2992
 WWW.BMPINC.COM

- A ITEM 448 - 1-1/2" Asphalt Concrete, Surface Course, Medium Traffic, PG 64-22
- B ITEM 448 - 2" Asphalt Concrete, Intermediate Course, Medium Traffic, PG 70-22M
- C ITEM 304 - 6" Aggregate Base



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REVISIONS	DATE	BY	CHK

E. P. FERRIS AND ASSOCIATES INC.
 Consulting Civil Engineers and Surveyors

CONTACT:
 880 KING AVENUE
 COLUMBUS, OHIO 43212
 (614) 299-2999
 (614) 299-2992 (Fax)
 www.EPFERRIS.com

JACKSON TOWNSHIP, FRANKLIN COUNTY, OHIO

1700 DYER ROAD

KICKMASTER FOOTGOLF, LLC

JOB NO. 1077.001
DESIGNED BY: SWG
DRAWN BY: CLP
CHECKED BY: SWG
APPROVED BY: _____
DATE: 04/14/15

DETAILED GRADING PLAN

SCALE: 1" = 30'
SHEET NO. 7 OF 8

EROSION AND SEDIMENTATION CONTROL NARRATIVE
 OEPA NPDES GENERAL PERMIT NUMBER:

PLAN DESIGNER:
 E.P. Ferris & Associates
 880 King Ave
 Columbus, OH 43212
 Phone: 614-299-2999 Fax: 614-299-2992

OWNER:
 Deborah J. Guzzo
 1700 Dyer Road
 Grove City, Ohio 43123

DEVELOPER:
 Deborah J. Guzzo
 1700 Dyer Road
 Grove City, Ohio 43123

PROJECT DESCRIPTION:
 The existing site consists of a residential lot in Franklin County, Ohio. The proposed improvements include a parking lot, detention pond, storm sewers, topsoil course, and utilities. Disturbed area is limited on the lot to the above mentioned improvements.

SITE DRAINS TO:
 The developed portion site is proposed to drain into an existing storm sewer system along Dyer Road. This area is tributary to the Moran Run watershed, which ultimately drains to the Scioto River.

SOILS:
 OA - Crosby Silt Loam 0%-2% slopes; Or - Crosby Silt Loam 2%-6% slopes; Ko - Kokomo Silt Clay Loam 0%-2% slopes

EXISTING SITE CONDITIONS:
 The site is vegetated with short grasses, sparsely wooded with existing trees on the southeastern portion of the property, densely wooded with existing trees on the northwestern portion of the site. The site drains into one watershed.

ADJACENT AREAS:
 The existing adjacent developments have been taken into account for the storm system and flood routing following existing drainage path.

CRITICAL AREAS:
 A potential wetland located on the western portion of the site.

EROSION CONTROL MEASURES:
 Erosion and silt run-off will be controlled through the use of filter fabric fence placed at low lying areas around the site.

SEDIMENT CONTROL MEASURES:
 Sediment will be controlled through the use of inlet protection at proposed and existing basins. Sediment basins will be constructed in the permanent detention basins until vegetation is established for the basins.

PERMANENT STABILIZATION:
 All disturbed areas are to be seeded.

MAINTENANCE:
 All erosion control devices will be inspected by the construction superintendent daily and after significant rainfalls. Any damaged devices will be repaired and/or replaced immediately or as necessary.

CONSTRUCTION SEQUENCE:
 Erosion control devices around and within the site will be in place as needed prior to construction activities. Initial grading will commence as well as construction of underground utilities. As storm sewers are completed, inlet/catch basin erosion devices will be installed. Only after final grading, seeding/sodding and paving operations have been completed will erosion devices be removed.

SITE CONTACT:
 Deborah Guzzo
 1700 Dyer Road, Grove City, Ohio 43123
 (614) 595-8659

SEDIMENT & EROSION CONTROL NOTES:

EROSION/SEDIMENT/DUST CONTROL CONSTRUCTION PRACTICES
 UTILIZE EROSION AND SEDIMENT CONTROL PRACTICES PER THE SOIL CONSERVATION SERVICE STANDARDS AND SPECIFICATIONS. EROSION CONTROL DEVICES ARE TO BE MAINTAINED IN EFFECTIVE WORKING CONDITION DURING CONSTRUCTION AND UNTIL THE CONSTRUCTION AREA HAS BEEN PERMANENTLY STABILIZED. THE CONTRACTOR SHALL CONSULT WITH SOIL CONSERVATION SERVICE AND THE ENGINEER CONCERNING PROPER EROSION AND SEDIMENT PRACTICES.

STOOPED TOPSOIL AND EXCAVATED MATERIAL IS TO BE PROTECTED THROUGH THE USE OF TEMPORARY SEEDING, OR COVERED WITH ANCHORED STRAW MULCH.
 FINAL GRADING WILL BE CONSISTENT WITH PRE-CONSTRUCTION TOPOGRAPHY TO MAINTAIN DRAINAGE AND AESTHETICS.
 REMOVE ONLY THOSE TREES, SHRUBS, AND GRASSES THAT MUST BE REMOVED TO PERMIT ADEQUATE CONSTRUCTION. PROTECT THE REMAINING TO PRESERVE THEIR AESTHETIC AND EROSION CONTROL VALUE.

BACKFILL TRENCHES IMMEDIATELY AFTER COMPACTION. SEED AND MULCH TRENCHES WITHIN TWO WEEKS AFTER TRENCHES ARE OPENED.

SILT FROM CONSTRUCTION OPERATIONS SHALL NOT BE PERMITTED TO ENTER THE STORM DRAIN SYSTEM, WATERWAYS (NATURAL OR MAN-MADE), OR ADJACENT PRIVATE PROPERTY. CONSTRUCTION OCCURRING NEAR STORM DRAIN INLETS OR WATERWAYS (NATURAL OR MAN-MADE) SHALL REQUIRE EROSION CONTROL MEASURES, SUCH AS SILT FENCE AND STRAW BALE BARRIERS TO PREVENT SILT FROM ENTERING THE STORM DRAIN, WATERWAYS (NATURAL OR MAN-MADE) OR ADJACENT PRIVATE PROPERTY.

ALL EROSION/SEDIMENT/DUST CONTROL PRACTICES SHALL BE PERFORMED AS RECOMMENDED BY THE SOIL CONSERVATION SERVICE PUBLICATION "WATER MANAGEMENT AND SEDIMENT CONTROL FOR URBANIZING AREAS".

SEEDING OF DENuded AREAS
 DENuded AREAS SHALL HAVE SOIL STABILIZATION APPLIED WITHIN SEVEN DAYS OF DISTURBANCE IF THEY ARE TO REMAIN SUBSTANTIALLY UNMOWNED FOR MORE THAN 45 DAYS. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENuded AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION SHALL ALSO BE APPLIED WITHIN SEVEN DAYS TO DENuded AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WHICH WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 45 DAYS.

SEEDING CONTROLS
 STORM WATER RUNOFF FROM DENuded AREAS SHALL PASS THROUGH A SEDIMENT BASIN OR OTHER SUITABLE SEDIMENT TRAPPING FACILITY. THESE CONTROLS SHALL BE SELECTED AND LOCATED AS DIRECTED BY THE ENGINEER.

CONSTRUCTION ACCESS ROUTES
 MEASURES SHALL BE TAKEN TO PREVENT SOIL TRANSPORT ONTO SURFACES WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROLS, OR ONTO PUBLIC ROADS. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT OFF-SITE TRACKING OF SEDIMENTS BY VEHICLES, EQUIPMENT, AND WORKERS IS MINIMIZED.

SLODGING AND DUMPING
 NO SOIL, ROCK, DEBRIS OR ANY OTHER MATERIAL SHALL BE DUMPED OR PLACED INTO A WATER RESOURCE OR INTO SUCH PROXIMITY THAT IT MAY READILY SLOUGH, SLIP, OR ENDORE INTO A WATER RESOURCE UNLESS SUCH DUMPING OR PLACING IS AUTHORIZED BY THE ENGINEER. UNSTABLE SOILS PRONE TO SLIPPING OR LAND SLIDING SHALL NOT BE GRADED, EXCAVATED, FILLED OR HAVE LOADS IMPOSED UPON THEM UNLESS THE WORK IS DONE IN ACCORDANCE WITH A QUALIFIED PROFESSIONAL ENGINEER'S RECOMMENDATIONS TO CORRECT, ELIMINATE OR ADEQUATELY ADDRESS THE PROBLEM.

ESTABLISHMENT OF PERMANENT VEGETATION
 PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL GROUND COVER IS ACHIEVED WHICH, IN THE OPINION OF THE ENGINEER, IS MATURE ENOUGH TO CONTROL SOIL EROSION SATISFACTORILY AND TO SURVIVE ADVERSE WEATHER CONDITIONS.

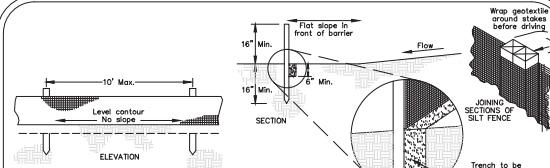
SEEDING AND MULCHING
 1. TEMPORARY SEEDING SHALL CONSIST OF ANNUAL RYE GRASS AS PER ITEM 207. SEED AND MULCHING SHALL BE APPLIED IN ACCORDANCE WITH ITEM 659.
 2. PERMANENT SEEDING AND MULCHING SHALL BE TREATED IN ACCORDANCE WITH ITEM 659.

TIMING OF SEDIMENT-TRAPPING PRACTICES
 SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL THROUGHOUT EARTH-DISTURBING ACTIVITY. SETTLING FACILITIES, PERIMETER CONTROLS AND OTHER PRACTICES INTENDED TO TRAP SEDIMENT SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING CONSTRUCTION AND WITHIN SEVEN DAYS FROM THE START OF GRADING. THESE SOILS SHALL CONTINUE TO FUNCTION UNTIL THE UPSLOPE DEVELOPMENT AREA IS RE-STABILIZED. THESE CONTROLS SHALL BE SELECTED AND LOCATED AS DIRECTED BY THE ENGINEER.

NOTE: LOCATIONS SHOWN FOR SEDIMENT FILTERING BARRIERS ARE SUGGESTED LOCATIONS. THE FINAL AND MOST APPROPRIATE LOCATION FOR THESE DEVICES SHALL BE APPROVED BY THE ENGINEER BASED ON SITE CONDITIONS AND OBSERVED TOPOGRAPHY. PROPER IMPLEMENTATION, INSTALLATION, MAINTENANCE, AND REPAIR OF SEDIMENT FILTERING BARRIERS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

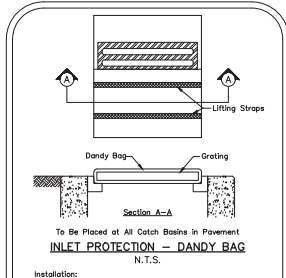
OUTLINES FROM DETAIRING OPERATIONS
 ALL WATER PRODUCED FROM CLEANING AND DETAIRING OPERATIONS, WHETHER SPECIFICALLY FROM TRENCH DETAIRING OPERATIONS OR FROM MORE EXTENSIVE DETAIRING OPERATIONS, SHALL BE DISCHARGED IN SUCH A MANNER AS TO ELIMINATE EROSION FROM SUCH A DISCHARGE BY DIVERTING THE WATER THROUGH THE OR MORE FILTER FENCES. PRIOR TO PUMPING, THE ENGINEER SHALL APPROVE THE INSTALLATION OF THE FILTER FENCE.

ADDITIONAL CONTROLS
 THE CONTRACTOR SHALL ENSURE THAT NO SEDIMENTS ARE TRACKED OFF-SITE BY CONSTRUCTION EQUIPMENT, VEHICLES, AND WORKERS. THE CONTRACTOR SHALL ALSO ENSURE THAT NO OTHER SOIL (OTHER THAN SEDIMENT) OR LIQUID WASTE IS DISCHARGED INTO ANY STORM WATER FLOW.



- SILT FENCE**
 N.T.S.
- Silt fence shall be constructed before uplope land disturbance begins.
 - All silt fence shall be placed as close to the contour as possible so that water will not concentrate at low points in the fence and so that small areas or depressions that may carry small concentrated flows to the silt fence are dissipated along its length.
 - Ends of the silt fence shall be brought upward slightly so that water ponded by the silt fence will be prevented from flowing around the ends.
 - Silt fence shall be placed on the flattest area available.
 - Where possible, vegetation shall be prepared for 5 feet (or as much as possible) uplope from the silt fence. If vegetation is present, it shall be reestablished within 7 days from the installation of the silt fence.
 - The height of the silt fence shall be a minimum of 16 inches above the original ground surface.
 - The silt fence shall be placed in an excavated or silted trench cut a minimum of 6 inches deep. The trench shall be made with a trencher, cable laying machine, sledge machine, or other suitable device that will ensure an adequately uniform trench depth.
 - The silt fence shall be placed with the stakes on the downslope side of the geotextile. A minimum of 8 inches of geotextile must be below the ground surface. Excess material shall lay on the bottom of the 6-inch deep trench. The trench shall be backfilled and compacted on both sides of the fabric.
 - Seams between sections of silt fence shall be spliced together only at a support post with a minimum 6-in. overlap prior to driving into the ground. (See details).
 - Maintenance—Silt fence shall allow runoff to pass only as diffuse flow through the geotextile. If runoff overtop the silt fence, flow under the fabric or around the fence ends, or in any other way allows a concentrated flow discharge, one of the following shall be performed, as appropriate: 1) the layout of the silt fence shall be changed, 2) accumulated sediment shall be removed, or 3) other practices shall be installed.
 - Sediment deposits shall be routinely removed when the deposit reaches approximately one-half of the height of the silt fence.
 - Silt fences shall be inspected after each rainfall and at least daily during a prolonged rainfall. The location of silt fences shall be reviewed daily to ensure its proper location and effectiveness. If damaged, the silt fence shall be repaired immediately.
- Criteria for all fence materials:**
- Fence post—The length shall be a minimum of 32 inches. Wood posts will be 2-1/2" x 2-1/2" nominal dimensioned hardwood of sound quality. They shall be free of knots, splits and other visible imperfections that will weaken the posts. The maximum spacing between posts shall be 10 ft. Posts shall be driven a minimum 16 inches into the ground, where possible. If not possible, the posts shall be adequately secured to prevent overturning of the fence due to sediment/water loading.
 - Silt fence fabric—See chart below.
- | FABRIC PROPERTIES | VALUES | TEST METHOD |
|--------------------------------|----------------|-------------|
| Minimum Tensile Strength | 120 lbs (55 N) | ASTM D 4632 |
| Minimum Elongation @ 60 lbs | 50% | ASTM D 4632 |
| Minimum Puncture Strength | 50 lbs (222 N) | ASTM D 4833 |
| Minimum Tear Strength | 40 lbs (180 N) | ASTM D 4533 |
| Apparent Opening Size | S. 0.84 mm | ASTM D 4791 |
| Minimum Permeability | 100% @ 2-in-1 | ASTM D 4491 |
| UV Exposure Strength Retention | 70% | ASTM G 4355 |

- INSTALL WETLAND PROTECTION
- INSTALL SILT FENCE, INLET PROTECTION, AND OTHER SPECIFIED EROSION CONTROL PRACTICES.
- REMOVE ITEMS SCHEDULED FOR DEMOLITION/RELOCATION.
- ROUGH GRADE AREA INTENDED FOR IMPROVEMENTS.
- INSTALL STORM SEWERS AND FINISH GRADE AREA FOR IMPROVEMENTS.
- APPLY TEMPORARY SEEDING.
- CONSTRUCT PAVING AND IMPROVEMENTS PROPOSED.
- UPON INSTALLATION OF PAVEMENT AND IMPROVEMENTS, INSPECT, CLEAN, AND REINSTALL INLET PROTECTION AND ANY EROSION CONTROL DEVICES. EROSION CONTROLS SHALL BE MAINTAINED UNTIL VEGETATION BECOMES ESTABLISHED TO OH EPA AND THE CITY OF DUBLIN STANDARDS. DEBRIS LEFT FROM CONSTRUCTION SHOULD BE COMPLETELY REMOVED FROM THE SITE.
- INSTALL LANDSCAPING, TREES, ETC. AS DETAIL BY THE LANDSCAPE PLAN.
- PROVIDE PERMANENT SEEDING/SODDING PER THE LANDSCAPE PLAN.
- REMOVE EROSION CONTROL PRACTICES.



SEDIMENT & EROSION CONTROL NOTES:

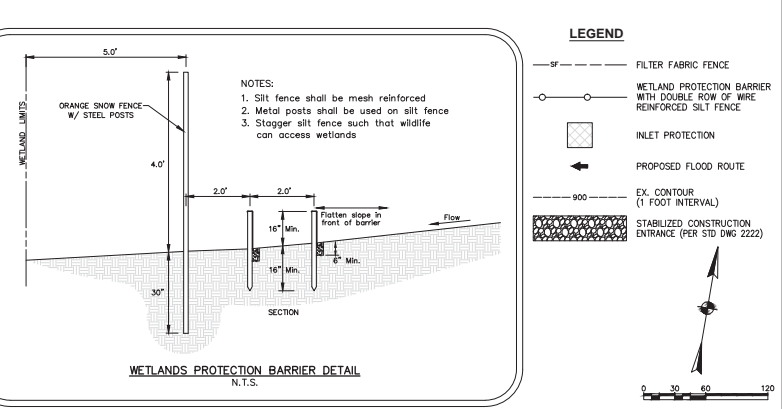
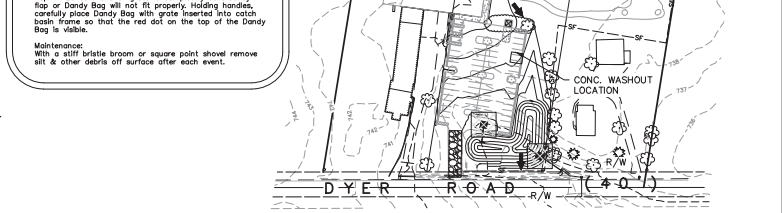
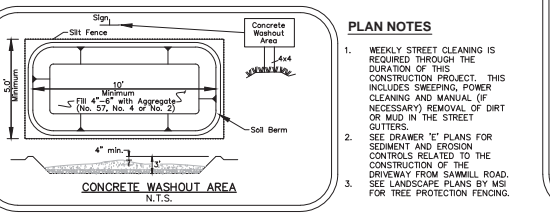
PROHIBITED CONSTRUCTION ACTIVITIES
 THE CONTRACTOR SHALL NOT USE CONSTRUCTION PROCEDURES, ACTIVITIES, OR OPERATIONS THAT MAY NECESSARILY IMPACT THE NATURAL ENVIRONMENT OR THE PUBLIC HEALTH AND SAFETY. PROHIBITED CONSTRUCTION PROCEDURES, ACTIVITIES, OR OPERATIONS SHALL BE LIMITED TO:

- DISPOSAL OF EXCESS OR UNSUITABLE EXCAVATED MATERIAL, IN WETLANDS OR FLOOD PLAINS, EVEN WITH THE PERMISSION OF THE PROPERTY OWNER.
- INDISCRIMINATE, ARBITRARY, OR CAPRICIOUS OPERATION OF EQUIPMENT IN ANY STREAM CORRIDORS, ANY WETLANDS, ANY SURFACE WATERS, OR OUTSIDE THE EASEMENT LIMITS.
- PUMPING OF SEDIMENT-LADEN WATER FROM TRENCHES OR OTHER EXCAVATIONS INTO ANY SURFACE WATERS, ANY STREAM CORRIDORS, ANY WETLANDS, OR STORM DRAINS.
- DISCHARGING POLLUTANTS SUCH AS CHEMICALS, FUELS, LUBRICANTS, BITUMINOUS MATERIALS, RAW SEWAGE AND OTHER HARMFUL WASTE INTO OR ALONGSIDE OF RIVERS, STREAMS, WATERSHEDS OR INTO NATURAL OR MAN-MADE CHANNELS LEADING THERETO.
- PERMANENT OR UNSPECIFIED ALTERATION OF THE FLOW LINE OF A STREAM.
- DAMAGING VEGETATION OUTSIDE OF THE CONSTRUCTION AREA.
- DISPOSAL OF TREES, BUSH AND OTHER DEBRIS IN ANY STREAM CORRIDORS, ANY WETLANDS, ANY SURFACE WATERS, OR AT UNSPECIFIED LOCATIONS.
- OPEN BURNING OF PROJECT DEBRIS WITHOUT A PERMIT.
- STORING CONSTRUCTION EQUIPMENT AND VEHICLES AND/OR STOCKPILING CONSTRUCTION MATERIALS ON PROPERTY, PUBLIC OR PRIVATE, NOT PREVIOUSLY SPECIFIED BY THE ENGINEER FOR SUD PURPOSES.

MAINTENANCE AND INSPECTION
 ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND CONSTRUCTED TO MINIMIZE MAINTENANCE REQUIREMENTS. THEY SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. MAINTENANCE AND INSPECTION OF ALL EROSION/SEDIMENT CONTROL DEVICES REQUIRED BY THE ENGINEER SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. INSPECTION SHALL BE PERFORMED AS PRESCRIBED IN THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT. INSPECTIONS SHALL BE PERFORMED BY THE CONTRACTOR, IN THE PRESENCE OF THE ENGINEER ONCE EVERY 7 CALENDAR DAYS AND/OR WITHIN 24 HOURS AFTER ANY RAIN EVENT OF GREATER THAN 0.5 INCHES IN A 24 HOUR PERIOD. THESE INSPECTIONS SHALL IDENTIFY AREAS CONTRIBUTING TO STORM WATER DISCHARGES ASSOCIATED WITH THE PROJECT, EVALUATE THE RESULTS, IMPLEMENTATION, AND MAINTENANCE OF EXISTING AND PROPOSED EROSION/ SEDIMENTATION MEASURES, AND DETERMINE WHETHER ADDITIONAL MEASURES ARE REQUIRED.

ACCEPTABLE INSPECTION REPORTS SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER, IF REQUESTED, WITHIN 48 HOURS OF INSPECTION COMPLETION. THE REPORT SHALL CONTAIN THE RESULTS OF THE INSPECTION, NAMES AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE STORM WATER POLLUTION PLAN, A CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE PLAN, AND IDENTIFICATION OF ANY INCIDENTS OF NON-COMPLIANCE.

POLLUTION PREVENTION PLAN AVAILABILITY AND UPDATES
 THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO ENSURE THE IMMEDIATE AVAILABILITY OF THE POLLUTION PREVENTION PLAN ON-SITE. THE CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE TO PERFORM ALL UPDATES AND AMENDMENTS TO THE POLLUTION PREVENTION PLAN.



JOB NO.	1077.001
DESIGNED BY:	SWG
DRAWN BY:	CLP
CHECKED BY:	SWG
APPROVED BY:	---
DATE:	04/14/15

EROSION CONTROL PLAN

SCALE:	1" = 100'
SHEET NO.	8
OF	8

Drawing: M:\077501_1700DyerRoad\Production Drawings\Urban\Urban - Jack Ferris.dwg
 Scale: 1" = 100'
 Date: 04-14-15 15:52
 Reviewed by: csest
 Title: E.P. Ferris & Associates
 Project: JACK-15-02

E. P. FERRIS AND ASSOCIATES INC.
 Consulting Civil Engineers and Surveyors

CONTACT:
 880 KING AVENUE
 COLUMBUS, OHIO 43212
 (614) 299-2999
 (614) 299-2992 (Fax)
 www.EPFERRIS.com

JACKSON TOWNSHIP, FRANKLIN COUNTY, OHIO
1700 DYER ROAD
KICKMASTER FOOTGOLF, LLC

STAFF REPORT

Planning Commission
December 11, 2024

Case: JACK-24-10

Prepared by: Austin Workman

Owner/Applicant:	Candice Bollinger
Township:	Jackson Township
Site:	4746 Rensch Rd (PID #160-002861)
Acreage:	1.53-acres
Utilities:	Private water and wastewater
Request:	Request for Franklin County Planning Commission recommendation to Jackson Township Zoning Commission to rezone 1.53 acres from the Township’s Semi-Residential (SR) District to the Exceptional Use (EU) District for a pet grooming business in connection with the existing residential use.

Summary

The rezoning application requests the rezoning of the subject property from the Semi-Residential (SR) District to the Exceptional Use (EU) District to allow a pet grooming business in connection with an existing residential use on the property. The proposed rezoning does not conform to existing neighborhood character nor to land use recommendations of the comprehensive plan. Staff recommends *denial*.

Surrounding Zoning and Land Use

Direction	Zoning	Land Use
North	Semi-Residential	Single-Family Residential
East	Semi-Residential	Single-Family Residential
South	Semi-Residential	Single-Family Residential
West	Semi-Residential	Single-Family Residential

Comprehensive Plan

The Jackson Township Comprehensive Plan’s Future Land Use Map locates the property in an area identified for future rural residential land uses under the Townships Rural zoning district. The majority of properties within this future rural residential land use area along the Rensch Rd corridor are currently zoned Suburban Residential. The Plan and its future land use map do not envision commercial land uses in this area. The request is not consistent with this recommendation. However, the use is not inherently incompatible with existing and permitted land uses surrounding the site and within the underlying zone district.

Staff Analysis

Commercial uses are not recommended by the Jackson Township Comprehensive Plan and the request does not conform to the character of the surrounding area. The property is surrounded on its western, northern, and eastern boundaries by a 91.45-acre parcel used for farming and agricultural uses.

The submitted application did not include a development plan that identified details about the parking areas, location of septic and well, or clearly label the proposed uses on the development plan. No development text has been provided in the application. Staff did not have enough information to determine full compliance with the Jackson Township Zoning Resolution development standards of the Exceptional Use (EU) district.

Zoning District Requirements

The provisions of the Jackson Township Zoning Resolution's General Development Standards shall apply to the Exceptional Use (EU) district. Due to the unique nature of such uses and because their locations cannot be readily predetermined, more specific development standards cannot be set forth. Therefore, full usage of the development standards and other provisions of the zoning resolution shall be used as appropriate and detailed in a Development Plan. The Development Plan shall include the following in text or map form:

Development Plan

1. *The proposed location and size of areas of use, indicating size, location and type of structure.*
 - The development plan includes partial details of all such items. Location of the proposed use will need to be identified in the development plan. More detailed interior plans should be provided.
2. *The proposed location, size and use of all open areas landscaped and other open space with suggested ownership of such area.*
 - The development plan as submitted does not address this requirement.
3. *The proposed provision of water, sanitary sewer and surface drainage facilities including engineering feasibility studies.*
 - An existing on-site septic system will manage wastewater. Upgrades to the system to accommodate additional uses will be reviewed and permitted by Franklin County Public Health. Specifications for the new septic system will be required to be reviewed and approved by Franklin County Public Health Department prior to installation.
4. *The proposed circulation pattern including streets, both public and private, parking areas, walks and other access ways including their relation to topography, existing streets and other evidence of reasonableness.*
 - Additional information is needed, and the required number of parking space are required to be shown on the development plan.
5. *The proposed schedule of site development and construction of buildings and associated facilities including sketches or other documentation indicating design principles or concepts for site development, buildings, landscapes or other features. Such schedule shall include the use or redevelopment of existing features such as structures, streets, easements, utility lines and land use.*
 - The application identifies that the use will take place in an existing 1,419.31 square foot accessory structure on the property.
6. *The relationship of the proposed development to the existing and future land use in the surrounding area, the street system, community facilities, land services and other public improvements.*
 - The proposed use will take place in an existing structure. Structures and land uses on neighboring properties are not shown in the development plan. The site is bound on the west, north, and east by a single 91.45-acre parcel used for farming and agricultural land uses.
7. *Evidence that the applicant has sufficient control over the land to effectuate the proposed Development Plan within three (3) years. Such control includes property rights, economic resources and engineering feasibility as may be necessary.*
 - The applicant has provided sufficient evidence of all necessary items.

Basis of Approval – The basis of approval for the Exceptional Use (EU) District according to the Jackson Township Zoning Resolution shall be:

1. *That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Jackson Township Zoning Resolution.*
 - A home-based pet grooming business operating in a rural zoning district may be considered consistent with the applicable portions of the Township Zoning Resolution if conducted within an accessory structure as proposed and compliance with parking requirements are confirmed on the development plan and text for the Exceptional Use (EU) District.
2. *That the proposed development is in conformity with the Comprehensive Plan or a portion thereof as it may apply.*
 - The request conflicts with the future land use recommendation made by the Jackson Township Comprehensive Plan. The plan allows flexibility to approve land uses that are outside of the recommendation, but those decisions should be justified to not render the plan ineffective. If the use is conducted indoors with minimal impact to adjoining properties and roadway network, the proposed use may be justified without compromising the integrity of the Plan recommendations.
3. *That the proposed development advances the general welfare of the Township and that the benefits to be derived from the proposed use justify the change in the land use character of the area.*
 - The proposed use is not objectionable, but the lack of sufficient development plans makes it challenging to support this case for approval. The provision of the proposed services may be considered to advance the general welfare of the Township and justify the change in land use character of the area. No information has been provided regarding hours of operations, whether kennel and/or boarding services are proposed, or maximum number of pets/clients served at a given time. This information is needed to identify whether there will be significant potential impacts to surrounding properties.

Franklin Soil and Water Conservation District

The Franklin Soil and Water Conservation District raised questions about the method of wastewater serving the proposed tub for pet washing.

Franklin County Engineer

The Franklin County Engineer's Office has reviewed the request and has posed no concerns.

Franklin County Public Health

The Franklin County Public Health Department has not provided comments to date.

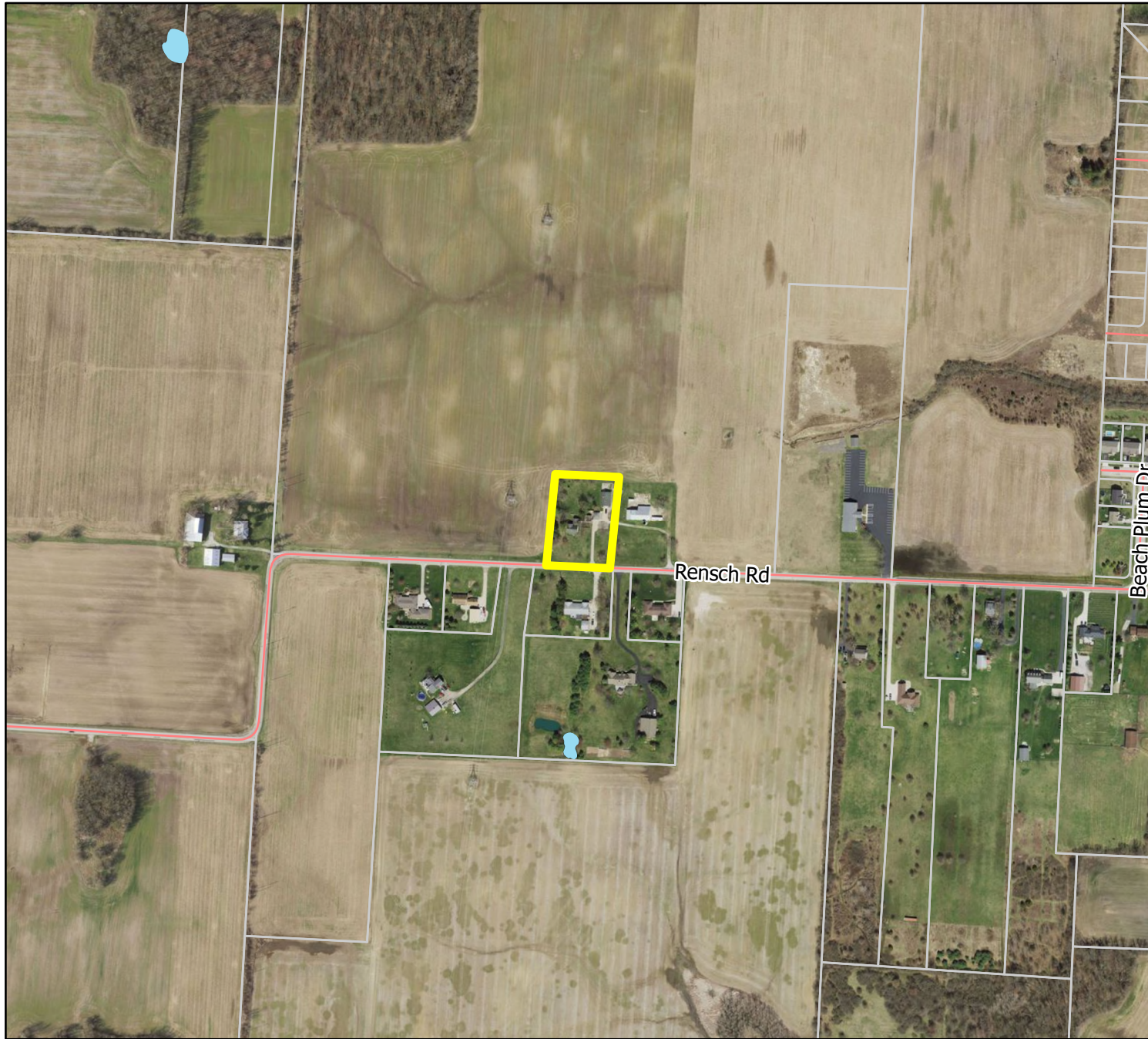
Jackson Township

The township zoning official has not expressed any concerns with the development plans or proposed use on the site.

Staff Recommendation

Based on Staff's Review, staff recommends *denial* of the request to rezone the Semi-Residential (SR) District to the Exceptional Use (EU) District for the following reasons:

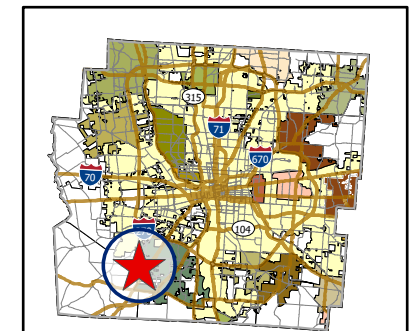
1. The development plan does not clearly distinguish accessory structures that will be used exclusively for the residential use.
2. No information has been provided about hours of operation.
3. No information has been provided about the maximum number of pets that will be serviced at a given time.
4. The plan is not clear on whether overnight or long-term kennel or boarding activities are proposed.
5. No response has been received from Franklin County Public Health on the septic system impacts or future requirements associated with a pet grooming business.

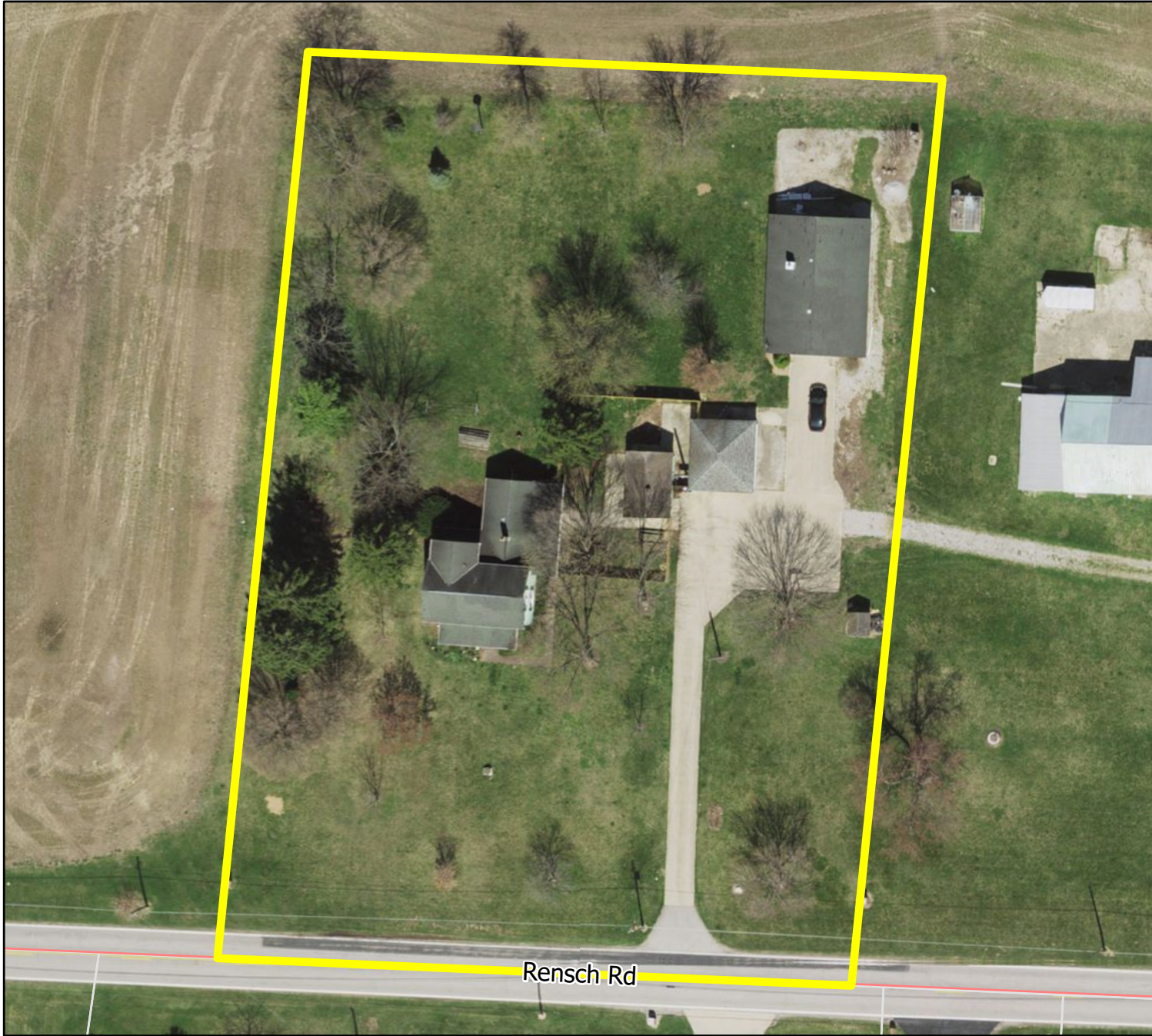


JACK-24-10

Request for Franklin County
Planning Commission
recommendation to Jackson
Township Zoning Commission to
rezone 1.53 acres from the
Township's Suburban Residential
(SR) District to the Exceptional Use
(EU) District for a pet grooming
business in connection with the
existing residential use.

Acres: 1.53-acres
Township: Jackson




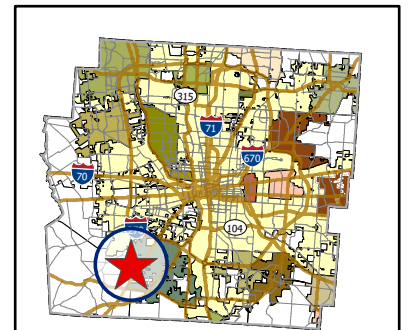


JACK-24-10

Request for Franklin County Planning Commission recommendation to Jackson Township Zoning Commission to rezone 1.53 acres from the Township's Suburban Residential (SR) District to the Exceptional Use (EU) District for a pet grooming business in connection with the existing residential use.

Acres: 1.53-acres
Township: Jackson

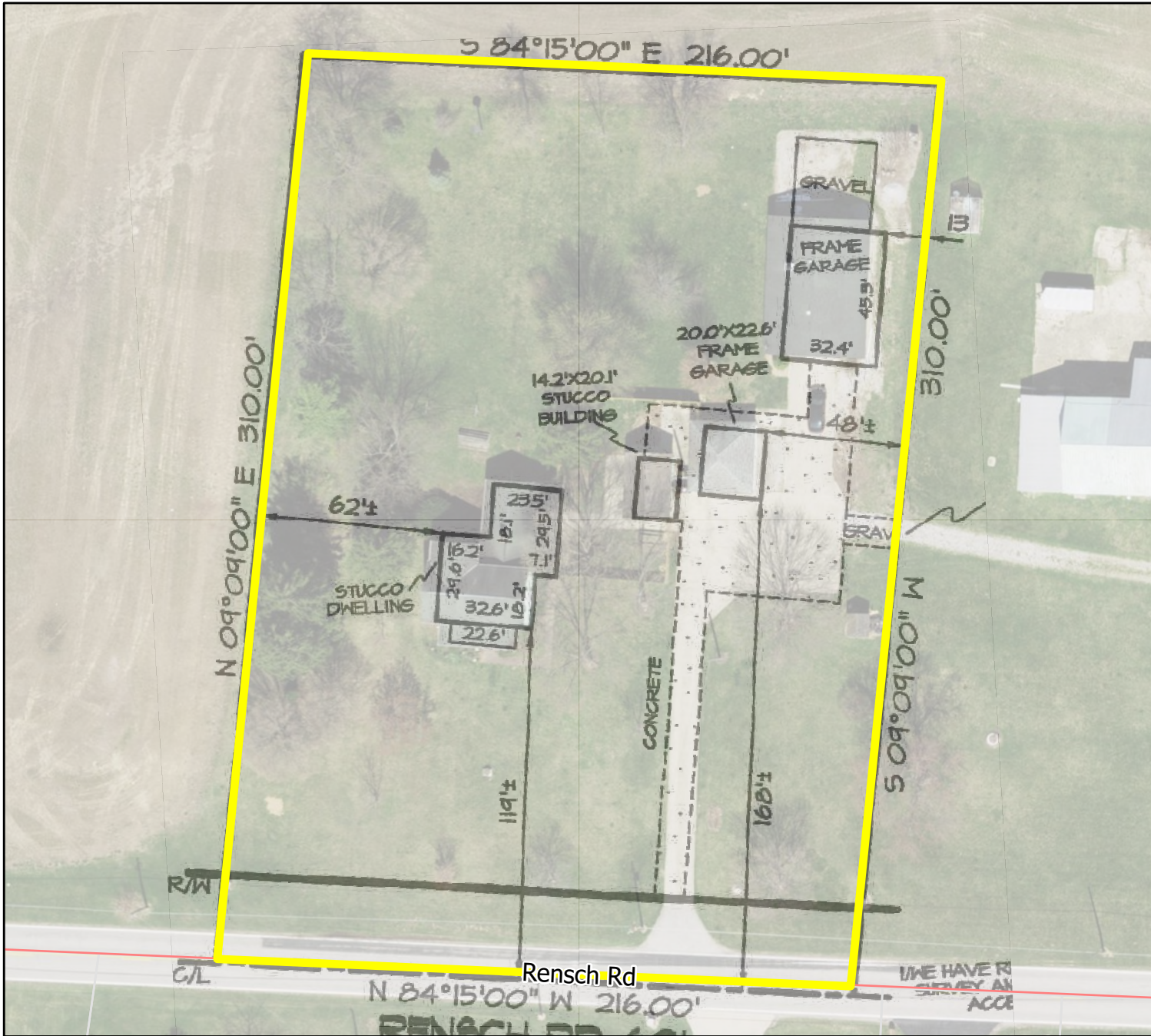
-  Streets
-  Parcels
-  4746 Rensch Rd



Rensch Rd



0 25 50
Feet
1 inch = 50

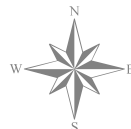
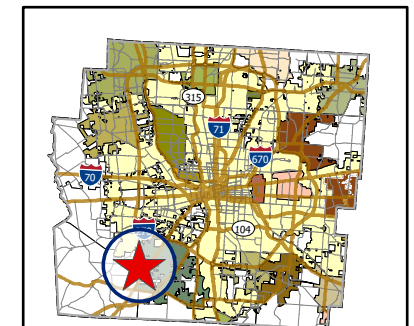


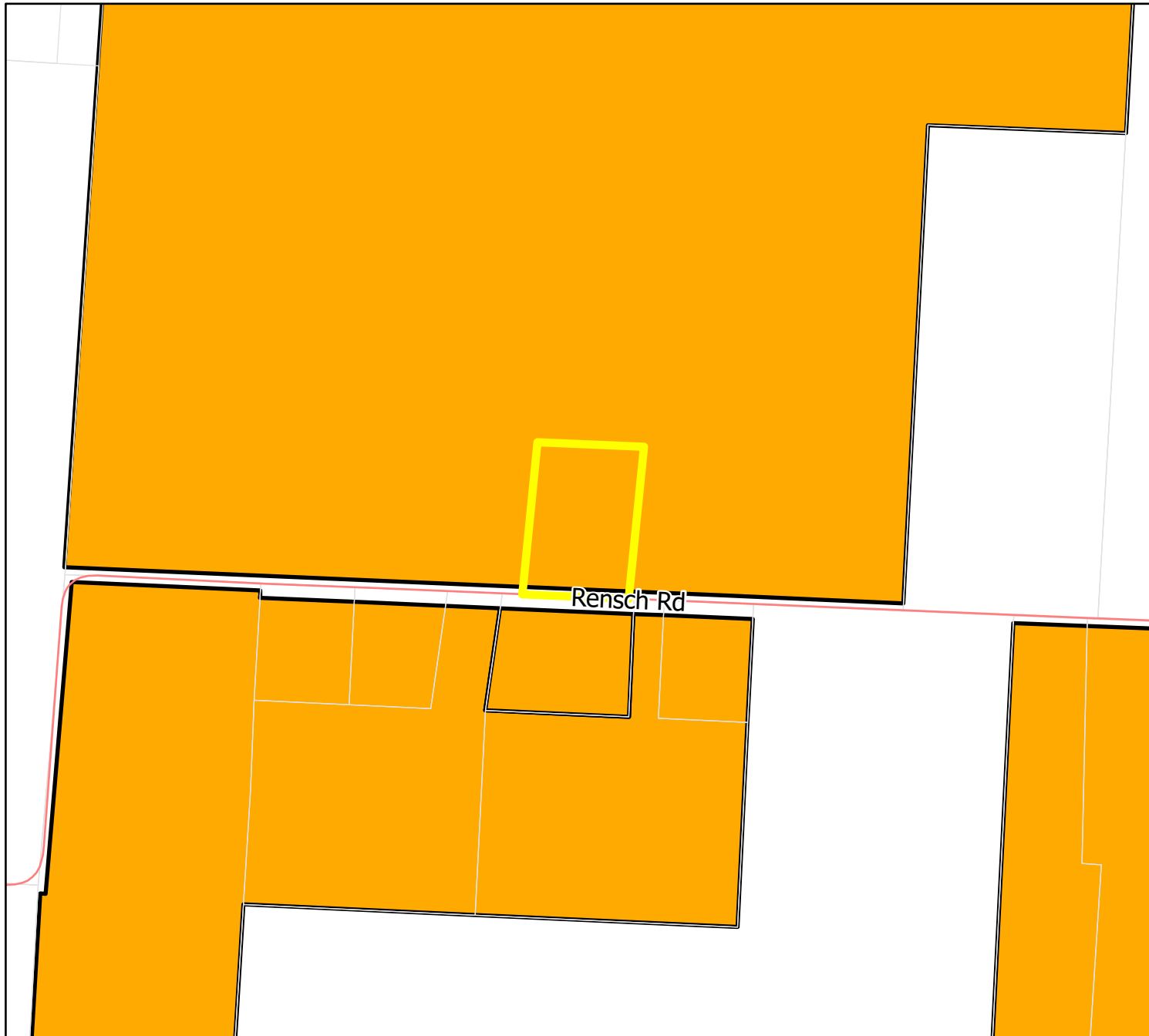
JACK-24-10

Request for Franklin County Planning Commission recommendation to Jackson Township Zoning Commission to rezone 1.53 acres from the Township's Suburban Residential (SR) District to the Exceptional Use (EU) District for a pet grooming business in connection with the existing residential use.

Acres: 1.53-acres
Township: Jackson

- Streets
- Parcels
- 4746 Rensch Rd



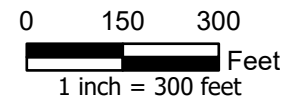
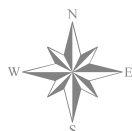
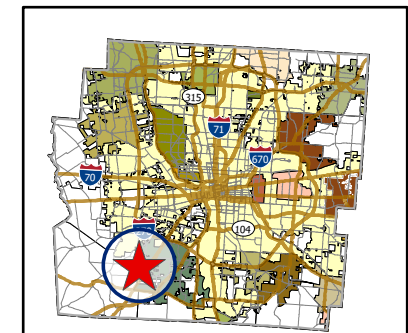


JACK-24-10

Request for Franklin County
 Planning Commission
 recommendation to Jackson
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 Township's Suburban Residential
 (SR) District to the Exceptional Use
 (EU) District for a pet grooming
 business in connection with the
 existing residential use.

Acres: 1.53-acres
 Township: Jackson

- Streets
-  4746 Rensch Road
- Zoning - Jackson Twp**
-  SR



Fee Paid by Cash / Check # _____, \$ _____

Application # _____ / -ZC-20 24

ZONING COMMISSION APPLICATION

REQUEST FOR HEARING BEFORE ZONING COMMISSION

3756 Hoover Road Grove City, OH 43123 614-875-2742

Property Owner: Candice A. Bollinger Applicant: _____

Boys

Address: 2383 Birch Bark Trl, Grove City, OH Zoned: _____

Property Location: 4746 Rensch Rd

PID: 160- _____ Area/Acres: _____ Floodplain: _____

(Home): 614-875-1707 (Work): N/A (Cell): 614-202-7926

Email Address: cbolling604@yahoo.com Carla Eaddy 614-374-8119

Summary of Zoning Commission: It is the responsibility of the Zoning Commission to review and recommend a change in how land is zoned as well as the specific regulations and requirements of the Township Zoning Resolution. It is the responsibility of applicants appearing before the Zoning Commission to have all required site plans, drawings, descriptions and all facts ready for public review and discussion. The schedule of required hearings may be extended by actions of continuance at any step in the procedures.

To the Township Zoning Commission, the applicant requests the following:

Re-Zoning / PUD

Map/Text Amendment

Exceptional Use

A change in zoning from the existing _____ District to the proposed _____ District

A change in use from the existing SIC _____ to the proposed SIC _____

General Description of the Request

1. Describe in specific detail the proposed request noting special and unique conditions of the proposed use. Attach development text as required.

Pole Barn to be used for dog grooming

The rest of the property will remain Residential

APPLICANT'S AFFIDAVIT

STATE OF OHIO
COUNTY OF FRANKLIN

I/We Candice A. Bollinger
(Name) 43123

4746 Rensch Rd Grove City OH Home: _____
(Address) (City, State, Zip Code) (Phone)

Cell: 614-202-7926 Business: _____
(Phone) (Phone)

" the above named Owner / Applicant being duly sworn, depose and say that I/We are the owner(s) of the land included in the application and that the foregoing statement herein contained and attached, and information or attached exhibits thoroughly and to the best of my ability. By filing this application, I/We do hereby grant permission to Jackson Township and its employees to enter upon my property and to observe, photograph and document all conditions observed therein and to post all application materials upon the Township's website for public information purposes."

Candice A. Bollinger
(Owner Signature)

(Co-Owner Signature)

Subscribed and sworn before me this 17 day of October 2024
(Day) (Month) (Year)



ANGELA R. LEE
Notary Public, State of Ohio
My Commission Expires 3-15-26

Angela R. Lee
(Notary Signature)

Stamp or Seal

ACTION BY TOWNSHIP

Application Received & Accepted by: _____ Date: _____

Hearing Date: _____ 7:00pm at the Jackson Township Hall, Grove City, Ohio



CAMPBELL &
ASSOCIATES, INC.
Land Surveying

614.785.9340
Fax: 614.785.9342
77 E Wilson Bridge Road
Suite 205
Worthington, OH 43085
<http://www.campbellsurvey.com>

MORTGAGE LOCATION SURVEY



Made for and at the instance of **World Class Title**

Street Address: **4746 Rensch Road, Grove City, Ohio**

New Owner: **Candice Bollinger**

Present Owner: **Candice Bollinger**

Client Order No: **2010-092-Rensch**

Date: **October 30, 2020**

This is to declare, that on October 30, 2020 we made an inspection of the premises standing in the name of Candice Bollinger situated at City of Grove City, County of Franklin, State of Ohio, and at the time of such inspection we found no one available.

We further declare as to the existence or non-existence of the following at the time of our inspection:

1. Rights of way, old highways, or abandoned roads, lanes or driveways, visual evidence of drains, sewer, water, gas or oil pipe lines, utility lines across said premises:

Right of Way of Rensch Road

2. Disputed boundaries and encroachments:

None Apparent

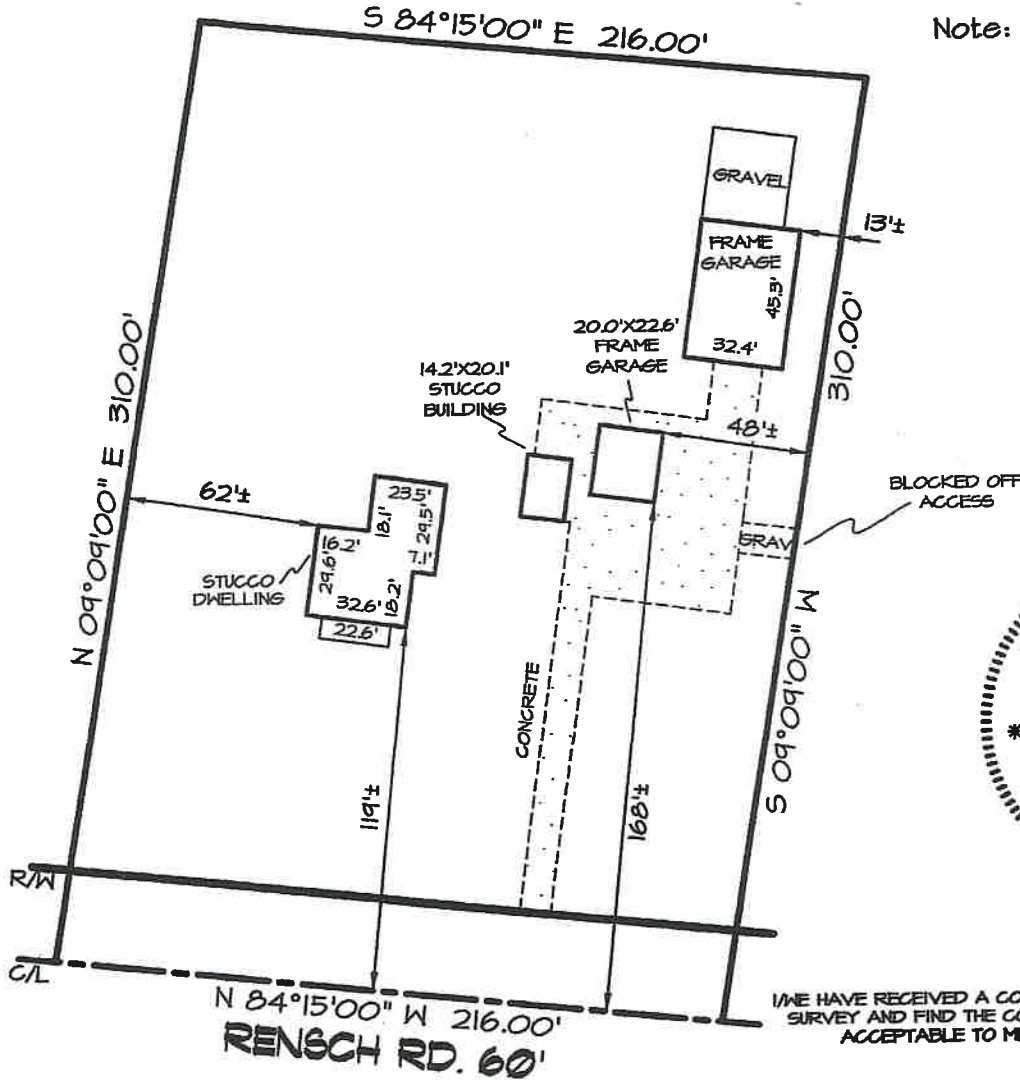
3. Indications of building construction, alterations or repairs, street or sidewalk construction or repairs within recent months:

None Apparent

C & A Order No. CO170794

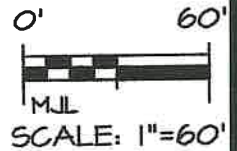
MORTGAGE LOCATION SURVEY

Note: Building ties $\pm 2'$



WE HAVE RECEIVED A COPY OF THIS SURVEY AND FIND THE CONDITIONS ACCEPTABLE TO ME/US.

BUYER/OWNER



Address 4746 Rensch Road

State of Ohio, County of Franklin

City of Grove City, Ohio

New Owner Candice Bollinger

Client Order No. 2010-092-Rens

Date October 30, 2020

Present Owner Candice Bollinger

C & A Order No.
CO170794

This is to certify to World Class Title

that a visual inspection of the property and buildings shown (if any) has been made and there are no apparent encroachments or visible easements unless otherwise shown. This service was not performed for the purpose of establishing boundary lines, and is not to be used for that purpose.

This Mortgage Location Survey has been prepared in accordance with Chapter 4733-38, Ohio Administrative Code, and is not a boundary survey pursuant to Chapter 4733-37, Ohio Administrative Code.

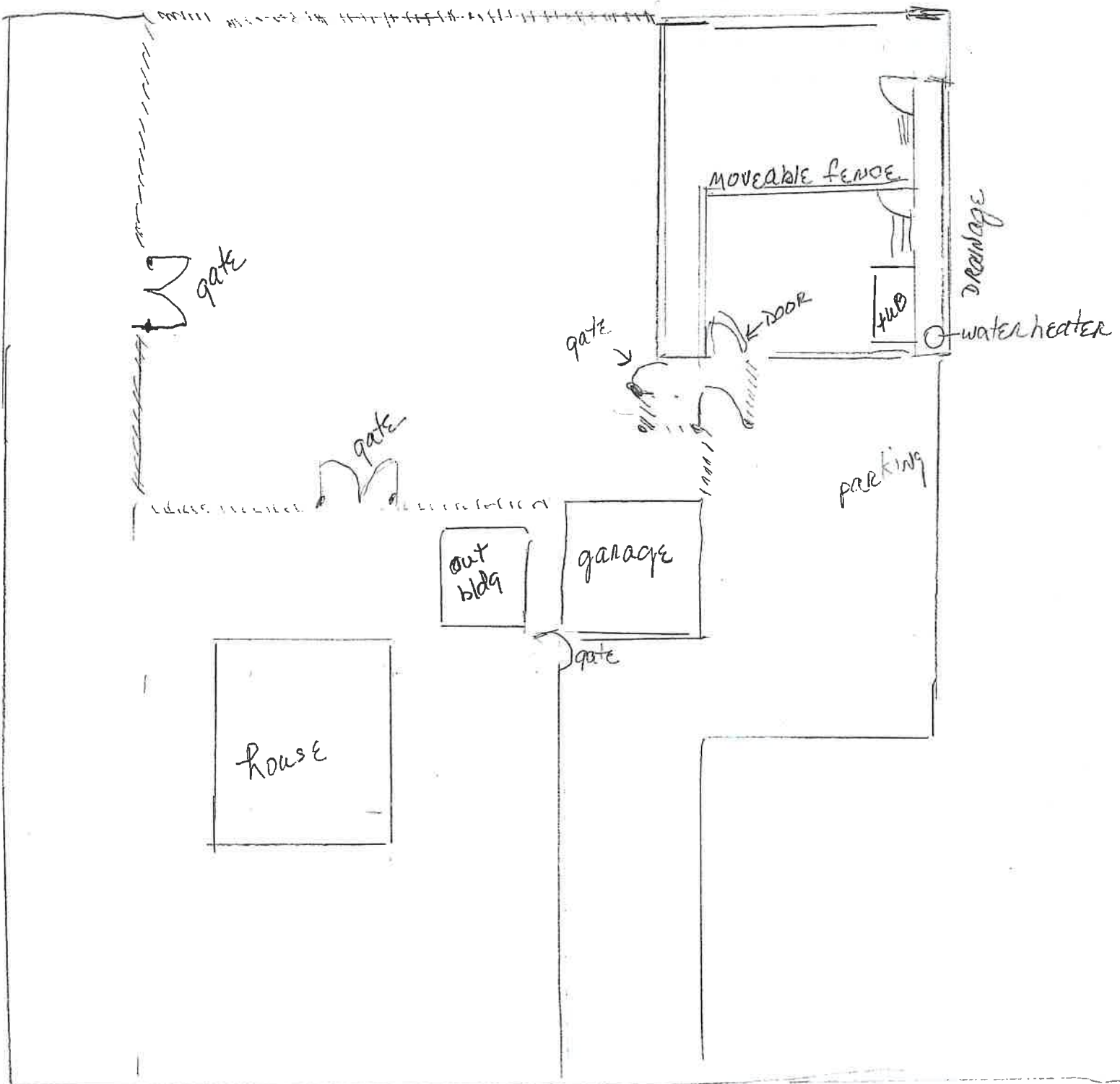
Matthew L. Campbell

Matthew L. Campbell - Reg. Surveyor No. 8546

RESIDENTIAL

GRAVEL

COMMERCIAL



RENSCH RD