



Commissioner Kevin L. Boyce • Commissioner Marilyn Brown • Commissioner John O'Grady
President

Economic Development & Planning Department
James Schimmer, Director

Technical Review Committee Agenda

Franklin County Engineer's Office
970 Dublin Road
Columbus, OH 43215

May 22, 2018
1:30 p.m.

1. New Business

A. Planning Commission

i. 692-PP – Matt Brown

Applicant:	M/I Homes of Central Ohio LLC – Jason Francis
Engineer:	EMH&T – Jeff Strung
Township:	Jefferson Township
Site:	8070 Clark State Rd. (PID #170-000238) 8015 McOwen Rd. (PID #170-000051) 8101 Clark State Rd. (PID #170-000179) 7555 Morse Rd. (PID #170-000345) 7645 Morse Rd. (PID #170-000347) 4343 Dixon Rd. (PID #170-000527) Morse Rd. (PID #170-000580) 8008 McOwen Rd. (PID #170-001292)
Acreage:	374.100- acres
Utilities:	Public water and wastewater
Request:	Requesting Preliminary Plan approval of the Farms at Jefferson to allow the creation of a 372 lot single-family subdivision with 263.4 acres of open space.

B. Board of Zoning Appeals

i. VA-3903 – Phil Ashear

Applicant:	Ron Thomas
Owner:	Roger James
Township:	Sharon Township
Location:	392 Rosslyn Ave. (PID #254-151656)
Acreage:	0.190-acres
Utilities:	Public water and private wastewater
Request:	Requesting variances to Sections 302.041, 302.042, and 302.043 of the Franklin County Zoning Resolution to allow for the construction of a home that would exceed maximum lot coverage, fail to meet the required lot width, and fail to meet side yard setbacks in an area zoned Rural.

2. Adjournment of Meeting to June 26, 2018.

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Franklin County Planning Department
Franklin County, OH

PRELIMINARY PLAN APPLICATION
for unincorporated Franklin County

Franklin County Development Department – Franklin County Planning Commission
150 S. Front Street, FSL Suite 10 Columbus, OH 43215 Phone: (614) 525-3094

to be completed by FCPC Staff

Date Submitted: 5/15/18

Received By: Matt Brown

Date Accepted / Rejected ___/___/___

By: _____

Application No.: 692-PP Fee: \$39,750.00

FCPC Date: ___/___/___

Subdivision Name: The Farms at Jefferson Township: Jefferson

Location of Property: 8101 Clark State Road

Property Owner

Name: See Attached List

Address: _____

Phone No.: (____) ____ - ____

Applicant

Name: M/I Homes of Central Ohio c/o Jason Francis

Address: 3 Easton Oval, Suite 340
Columbus, Ohio 43219

Phone No.: (614)418 - 8023

Engineer

Name: EMH&T c/o Jeffrey A. Strung

Address: 5500 New Albany Road
Columbus, Ohio 43054

Phone No.: (614) 775 -4700

Total Number of Lots Proposed: 372 Total Area: 374.1 acres
Average Lot Dimension: 54 feet by 71 135 feet Typical Lot Area: 0.17 acre(s)
Reserve Areas: 263.4 acres Streets: 28.6 acres Open Space: 263.4 acres
Current Zoning? PSRD Number of Proposed Final Plat Phases: 9
Type of Water Supply Proposed: Central Water
Type of Wastewater Disposal Proposed: Central Sewer
Will the Subdivision Have Sidewalks? Yes Curb/gutter? Yes

Is a Variance to the Franklin County Subdivision Regulations requested? YES/NO
If YES, Variance application form must be attached with the Preliminary Plan application.

Twenty (20) copies of the Preliminary Plan, including the E&S Plan, are submitted with this application.

The undersigned acknowledges this Preliminary Plan application does not constitute a Subdivision Plat application and understands the filing deadlines and meeting schedules associated with this request. Approval of a Preliminary Plan does not constitute acceptance of any public improvements shown. Such acceptance can only be made in conjunction with Final Plat requirements and procedures specified in the Franklin County Subdivision Regulations. The Subdivision Plat is not considered filed until a Final Plat application is submitted and accepted, in accordance with the Subdivision Regulations of Franklin County, Ohio.

To the best of my knowledge and belief, information and materials submitted as a part of this Preliminary Plan application are correct, complete and accurate. The Franklin County Technical Review Group members are hereby granted permission to enter the property for inspection and review purposes.

Property Owner's Signature [Signature] Date: 5/14/18
Engineer's Signature [Signature] Date: 5/14/18

Property Owners:

Kallal Clark State North LLC
c/o Joseph Shade
1527 Commonwealth Drive
Blacklick, Ohio 43004
Phone: (614) 861-3475

Parcel # 170-000238-00

Kallal Clark State South LLC
c/o George W. Kallal Trustee
1527 Commonwealth Drive
Blacklick, Ohio 43004
Phone: (614) 861-3475

Parcel # 170-000179-00

Louis A. Mampieri
4343 Dixon Road
Blacklick, Ohio 43004
Phone: (740) 964-2765

Parcel # 170-000527-00

Catherine L. Chisolm
8008 McOwen Road
Blacklick, Ohio 43004
Phone: (614) 855-7015

Parcel # 170-001292-00

The New Albany Company LLC
8000 Walton Parkway, Suite 120
New Albany, Ohio 43054
Phone: (614) 939-8000

Parcel # 170-000580-00
170-000345-00
170-000347-00

Kallal McOwen LLC
1527 Commonwealth Drive
Blacklick, Ohio 43004
Phone: (614) 861-3475

Parcel # 170-000051-00

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Franklin County Planning Department
Franklin County, OH

EROSION AND SEDIMENT CONTROL POLICY

Franklin County Subdivision Regulations

692-PP

General:

Per the Franklin County Subdivision Regulations, an Erosion and Sediment Control Plan shall be required for major subdivisions, may be required for other development and shall conform with the *Ohio Department of Natural Resources, Division of Soil and Water Conservation manual, "Rainwater and Land Development."* Implementation of approved erosion control measures should precede earth-disturbing activities. The Ohio Environmental Protection Agency (OPEA) may also have jurisdiction over earth-disturbing activities.

Purpose:

The erosion and sediment (E&S) control plan is required for the purpose of reducing pollution to public and/or private water by sediment from accelerated soil erosion associated with construction activity.

E&S Control Plan Requirements:

The E&S plan shall be a separate sheet, be a part of subdivision improvement plans, provide information regarding the entire site and shall include the following:

1. Vicinity Map – Map locating the site in relation to the surrounding area. Indicate the location of receiving waters.
2. Work Limits – Indicate the limits of earth-disturbing activity; include borrow, spoil and stockpile areas.
3. Existing Topography – The existing contours of the entire site and adjacent land should be shown on the plan. Changes to the existing contours should also be shown on the plan. A topographic map should contain an appropriate scale and contour interval to clearly depict the topography of the site.
4. Existing Vegetation – Show existing tree lines, unique vegetation and areas that may affect erosion and sediment controls. Existing vegetation shall remain along waterways: minimum width of buffer strip on each side of the stream shall be two and one-half times the stream width measured from the top of the streambank or 50 feet, whichever is greater.
5. Soils – Show boundaries of the different soil types. A table relating relevant information concerning their limitations for the proposed use may be necessary. Information pertaining to the limitations of soil type can be determined from the Franklin County Soil Survey and Soil Potential Index.

Topsoil shall be segregated and stockpiled during grading of the site and be reapplied before the establishment of permanent vegetation.

6. Existing Drainage Patterns – Drainage patterns should be evident on the plan. Include off-site areas susceptible to sediment deposits or to erosion caused by accelerated runoff, as well as off-site areas affecting potential accelerated runoff and erosion. Indicate size of drainage area contributing to the site. Include any known

existing agriculture field tiles that may be present on the site. Any subsurface drainage tiles encountered during development shall be rerouted or connected into the subdivision's drainage system to ensure that these systems will continue drain upland properties.

7. Special Notes for Critical Areas – Give details and specifications for practices protecting streams, steep slopes, designated trees or stands of trees, etc.
8. Site Development – Show all planned locations of buildings, parking facilities, roads, utilities, easements, etc. Existing structures and facilities should also be shown.
9. Location of Practices – Show the location of all erosion and sediment control and stormwater management practices to be used on-site. Include measures that are to be utilized temporarily or permanently.

Temporary sediment basins and/or traps are to be utilized as the primary means of trapping sediment on site. They should be situated within the lowest points of elevation along the perimeter of the property and also adjacent to waterways whose headwaters originate upslope of the property. Enough land must be reserved to accommodate sediment basins and/or traps sized at 67 cubic yards of storage volume per acre of drainage area. (Note: this is not the same as per acre disturbed acre or per acre of the site). If permanent stormwater management ponds are proposed for the site, they must be retrofit to serve as sediment basins during active construction periods. Basins and traps shall be installed prior to any grading of the site.

Sediment barriers shall be installed to intercept sheet runoff from disturbed areas that do not drain into sediment basins or traps.

Vegetative practices shall be utilized on all disturbed areas within seven days if they are to remain dormant (undisturbed) for more than 45 days. Disturbed areas within 50 feet of any stream shall be stabilized within seven days.

10. Surface Water Locations - Show locations of springs, wetlands, streams, lakes, etc., on or within 200 feet of the site.
11. Detailed Drawings – Any structural practices used should be explained and illustrated with detailed drawings. Detailed drawings should be included for only those practices used on-site.
12. Specifications for Stabilization – Specifications for temporary and permanent seeding, mulching, construction entrances, etc., should be given. Include seeding mixtures and rates, lime and fertilizer application rates, and type and quantity of mulching for both temporary and permanent stabilization.
13. Construction Sequence – Provide a schedule relating the implementation of erosion and sediment control practices and stormwater management practices to major construction operations. By properly scheduling the construction, both the extent of exposed ground and the duration of exposure can be minimized.

Example of Construction Sequence:

1. Clearing and grubbing for those areas necessary for installation of sediment basins and traps and perimeter controls.
 2. Installation of sediment basin/traps and perimeter control.
 3. Continuation of clearing and grubbing within the areas designated to be disturbed.
 4. Road grading.
 5. Sewer and utility installation.
 6. Final grading.
 7. Application of permanent vegetative cover.
14. Maintenance and Inspection – Provide notes and information regarding maintenance for each practice to ensure continued performance.
15. Plan Reference Data – Title, scale, direction, legend and date shall be provided on all plans. The plan should also include name, address and telephone number of person(s) preparing the plan, as well as the owner of the property.

Plan Review and Enforcement:

1. Plan Review and Site Inspection – During and at the end of the construction of the subdivision street(s), utilities, etc., the erosion and sedimentation (E&S) control practices will be monitored by the Franklin Soil and Water Conservation District (FSWCD) personnel. The FSWCD personnel, based on a cooperative agreement with the Franklin County Commissioners and Franklin County Engineer, are responsible for plan review and approval will make periodic site inspections to ensure compliance. During inspections it may be determined that other erosion control practices, not already specified on this plan, may be necessary due to unforeseen environmental conditions and/or changes in drainage patterns caused by earth-moving activity.
2. Enforcement – Several milestones are reached at the end of the development process, which will be utilized to ensure proper placement of required conservation practices per the above.
 - A. Release of Surety – No surety, all or in part, will be released until the Franklin County Engineer's office is notified by FSWCD staff that the E&S practices, as previously approved, are in place and are properly functioning.
 - B. "Progress Letter" – The "progress letter" from the Franklin County Engineer to the Franklin County Development Department (providing assurance that street construction has been sufficiently and properly completed such that commencement of house construction is appropriate) will be forwarded only after assurance is received indicating all approved E&S practices are in place and are properly functioning.
 - C. Street Completion – The transfer and acceptance of any street for public purpose will occur only after assurance is received that all approved E&S practices are in place and are properly functioning.

- D. Building Permits and Inspections – The Franklin County Development Department, in cooperation with the FSWCD, reserves the right to withhold the issuance of building permits and inspections at any time during the homebuilding phase of the project until assurance is received that all approved erosion and sediment control practices are in place and are properly functioning.

- E. The Franklin County Planning Commission, in cooperation with the Franklin County Prosecuting Attorney's office and the FSWCD, reserve the right to pursue necessary legal actions at any time during the construction phases of the project to ensure compliance with the approved E&S control plan.

STATEMENT OF UNDERSTANDING

I understand and accept the responsibility to plan for and complete the required erosion and sediment control practices and hereby recognize them as an integral part of the subdivision named The Farms at Jefferson.

I will notify the FSWCD a minimum of three (3) work days prior to any land disturbance and will attend a preconstruction meeting with personnel from the FSWCD to review the implementation of the erosion control plan.

J. J.
Signature of Subdivider/Developer

5, 14, 18
Date

3 Easton Oval - Suite 340
Address of Subdivider/Developer

Columbus OH 43219

614 418 8023 wk
614 989-0515 cell
Telephone Number

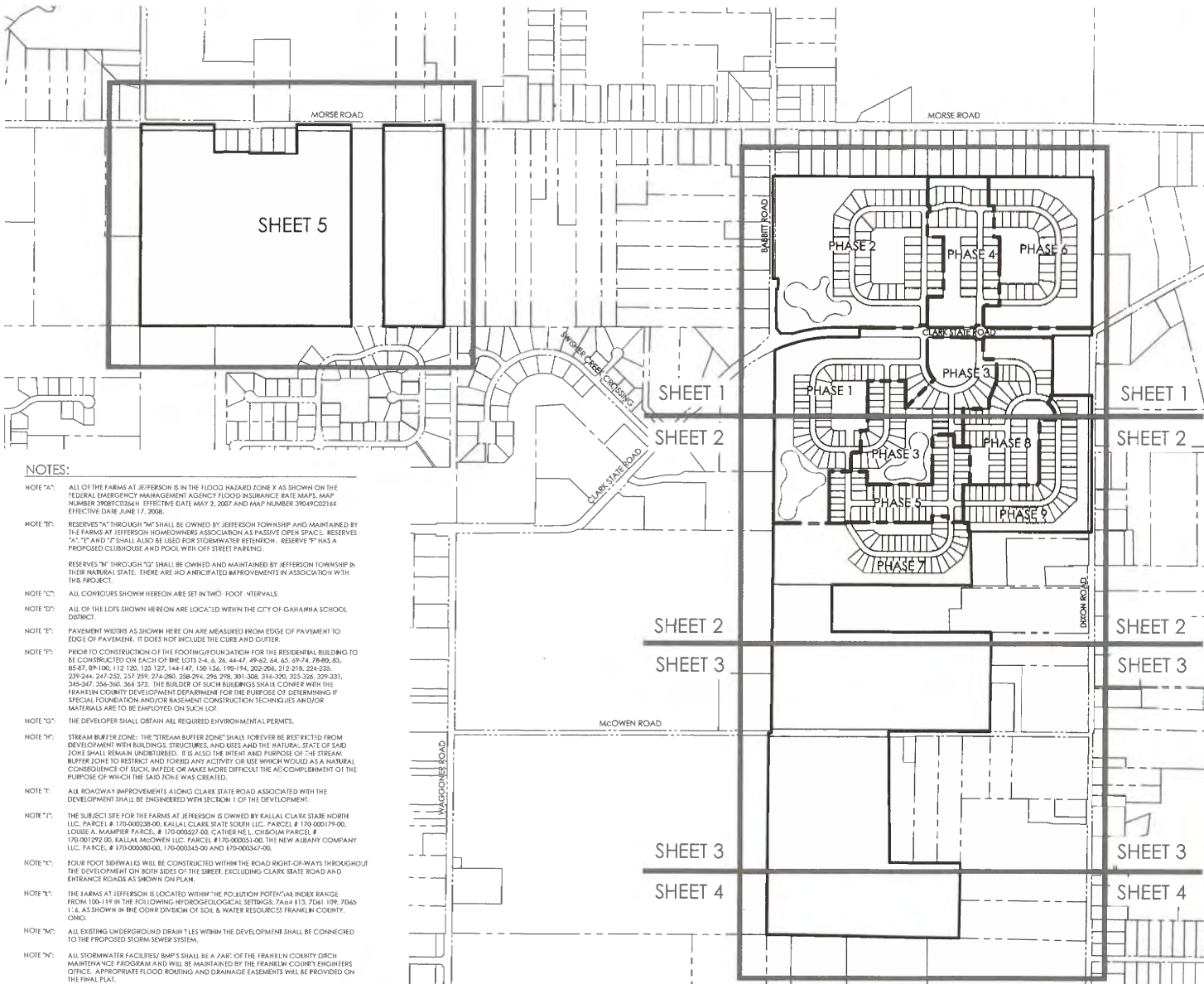


TABLE OF CONTENTS:
 SHEET 1: COVER SHEET & LOCATION MAP
 SHEET 2-6: SITE PLAN
 SHEET 7-10: COMPOSITE UTILITY PLAN
 SHEET 11-15: GRADING PLAN & EROSION AND SEDIMENT CONTROL PLAN

SITE STATISTICS:

TOTAL ACRES:	157.1 ACRES
TOTAL NUMBER OF LOTS:	372
GROSS DENSITY:	50.99 UNITS/ACRE
OPEN SPACE REQUIRED:	4149.7 ACRES (40.0%)
OPEN SPACE PROVIDED:	4240.5 ACRES (27.0%)
RESERVE "A":	231.9 ACRES
RESERVE "B":	44.2 ACRES
RESERVE "C":	33.3 ACRES
RESERVE "D":	33.8 ACRES
RESERVE "E":	25.6 ACRES
RESERVE "F":	23.4 ACRES
RESERVE "G":	22.9 ACRES
RESERVE "H":	25.3 ACRES
RESERVE "I":	11.4 ACRES
RESERVE "J":	24.5 ACRES
RESERVE "K":	23.1 ACRES
RESERVE "L":	11.4 ACRES
RESERVE "M":	44.8 ACRES
RESERVE "N" (OPEN SPACE / PARK):	439.6 ACRES
RESERVE "O" (OPEN SPACE / PARK):	248.5 ACRES
RESERVE "P" (OPEN SPACE / PARK):	44.7 ACRES
RESERVE "Q" (OPEN SPACE / PARK):	219.4 ACRES

DESIGN STANDARDS:

SUB AREA 1 (LOTS 1-114)	
MINIMUM FRONTAGE AT BUILDING LINE:	71 FEET
MINIMUM LOT AREA:	9,200 SQ. FT.
MINIMUM FRONT SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	5 FEET (TOTAL OF 10 FEET)
MINIMUM REAR YARD SETBACK:	20 FEET
SUB AREA 2 (LOTS 115-372)	
MINIMUM FRONTAGE AT BUILDING LINE:	54 FEET
MINIMUM LOT AREA:	7,200 SQ. FT.
MINIMUM FRONT SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	5 FEET (TOTAL OF 10 FEET)
MINIMUM REAR YARD SETBACK:	20 FEET

NOTES:

NOTE "A": ALL OF THE FARMS AT JEFFERSON IS IN THE FLOOD HAZARD ZONE X AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS, MAP NUMBER 59685C0236H, EFFECTIVE DATE MAY 2, 2007 AND MAP NUMBER 59449C0216X EFFECTIVE DATE JUNE 17, 2008.

NOTE "B": RESERVES "A" THROUGH "M" SHALL BE OWNED BY JEFFERSON TOWNSHIP AND MAINTAINED BY THE FARMS AT JEFFERSON HOMEOWNERS ASSOCIATION AS PASSIVE OPEN SPACE. RESERVES "A," "C," "E," AND "F" SHALL ALSO BE USED FOR STORMWATER RETENTION. RESERVE "B" HAS A PROPOSED CUBHOUSE AND POOL WITH OFF STREET PARKING.

RESERVES "N" THROUGH "Q" SHALL BE OWNED AND MAINTAINED BY JEFFERSON TOWNSHIP IN THEIR NATURAL STATE. THERE ARE NO ANTICIPATED IMPROVEMENTS IN ASSOCIATION WITH THIS PROJECT.

NOTE "C": ALL CONEGRS SHOWN HEREON ARE SET IN TWO FOOT INTERVALS.

NOTE "D": ALL OF THE LOTS SHOWN HEREON ARE LOCATED WITHIN THE CITY OF GAHANNA SCHOOL DISTRICT.

NOTE "E": PAVEMENT WIDTHS AS SHOWN HERE ON ARE MEASURED FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT. IT DOES NOT INCLUDE THE CURB AND GUTTER.

NOTE "F": PRIOR TO CONSTRUCTION OF THE FOOTING/FOUNDATION FOR THE RESIDENTIAL BUILDING TO BE CONSTRUCTED ON EACH OF THE LOTS 2-4, 6, 26, 44-47, 49-52, 64, 65, 69-74, 78-80, 83, 85-87, 89-100, 112-120, 123-127, 144-147, 150-156, 190-194, 202-205, 212-218, 224-231, 239-244, 247-252, 257-259, 274-280, 288-294, 296-298, 301-308, 314-320, 323-326, 329-331, 345-347, 356-360, 368-372. THE BUILDER OF SUCH BUILDINGS SHALL CONFER WITH THE FRANKLIN COUNTY DEVELOPMENT DEPARTMENT FOR THE PURPOSE OF DETERMINING IF SPECIAL FOUNDATION AND/OR BASEMENT CONSTRUCTION TECHNIQUES AND/OR MATERIALS ARE TO BE EMPLOYED ON SUCH LOT.

NOTE "G": THE DEVELOPER SHALL OBTAIN ALL REQUIRED ENVIRONMENTAL PERMITS.

NOTE "H": STREAM BUFFER ZONE: THE "STREAM BUFFER ZONE" SHALL FOREVER BE RESTRICTED FROM DEVELOPMENT WITH BUILDINGS, STRUCTURES, AND USES AND THE NATURAL STATE OF SAID ZONE SHALL REMAIN UNDISTURBED. IT IS ALSO THE INTENT AND PURPOSE OF THE STREAM BUFFER ZONE TO RESTRICT AND FORBID ANY ACTIVITY OR USE WHICH WOULD AS A NATURAL CONSEQUENCE OF SUCH IMPEDER OR MAKE MORE DIFFICULT THE ACCOMPLISHMENT OF THE PURPOSE OF WHICH THE SAID ZONE WAS CREATED.

NOTE "I": ALL ROADWAY IMPROVEMENTS ALONG CLARK STATE ROAD ASSOCIATED WITH THE DEVELOPMENT SHALL BE ENGINEERED WITH SECTION 1 OF THE DEVELOPMENT.

NOTE "J": THE SUBJECT SITE FOR THE FARMS AT JEFFERSON IS OWNED BY KALLAL CLARK STATE NORTH LLC, PARCEL # 170-000338-00, KALLAL CLARK STATE SOUTH LLC, PARCEL # 170-000179-00, LOUISE A MAMPIER PARCEL, # 170-000227-00, CATHERINE L CHESOM PARCEL, # 170-001292-00, KALLAN McOWEN LLC, PARCEL # 170-000033-00, THE NEW ALBANY COMPANY LLC, PARCEL # 170-000380-00, 170-000345-00 AND 170-000347-00.

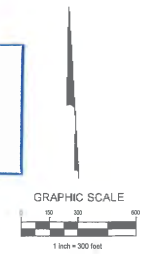
NOTE "K": FOUR FOOT SIDEWALKS WILL BE CONSTRUCTED WITHIN THE ROAD RIGHT-OF-WAYS THROUGHOUT THE DEVELOPMENT ON BOTH SIDES OF THE STREET, EXCLUDING CLARK STATE ROAD AND ENTRANCE ROADS AS SHOWN ON PLAN.

NOTE "L": THE FARMS AT JEFFERSON IS LOCATED WITHIN THE POLLUTION POTENTIAL INDEX RANGE FROM 100-119 IN THE FOLLOWING HYDROGEOLOGICAL SETTINGS, 74a & 113, 7d & 109, 7d & 118, AS SHOWN IN THE COORR DIVISION OF SOIL & WATER RESOURCES FRANKLIN COUNTY, OHIO.

NOTE "M": ALL EXISTING UNDERGROUND DRAIN LINES WITHIN THE DEVELOPMENT SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM.

NOTE "N": ALL STORMWATER FACILITIES/ BMP'S SHALL BE A PART OF THE FRANKLIN COUNTY DIRCH MAINTENANCE PROGRAM AND WILL BE MAINTAINED BY THE FRANKLIN COUNTY ENGINEERS OFFICE. APPROPRIATE FLOOD ROUTING AND DRAINAGE EASEMENTS WILL BE PROVIDED ON THE FINAL PLAN.

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 MAY 15 2018
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 Franklin County, OH



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DATE	DESCRIPTION

EMHT
 ENGINEERING, MECHANICAL, HOISTING & TOWER, INC.
 ENGINEERS • ARCHITECTS • PLUMBERS • CONSULTANTS
 5205 NEW ALBANY ROAD, COLUMBUS, OH 43206
 PHONE: 614.237.1422 FAX: 614.237.1424
 WWW.EMHT.COM

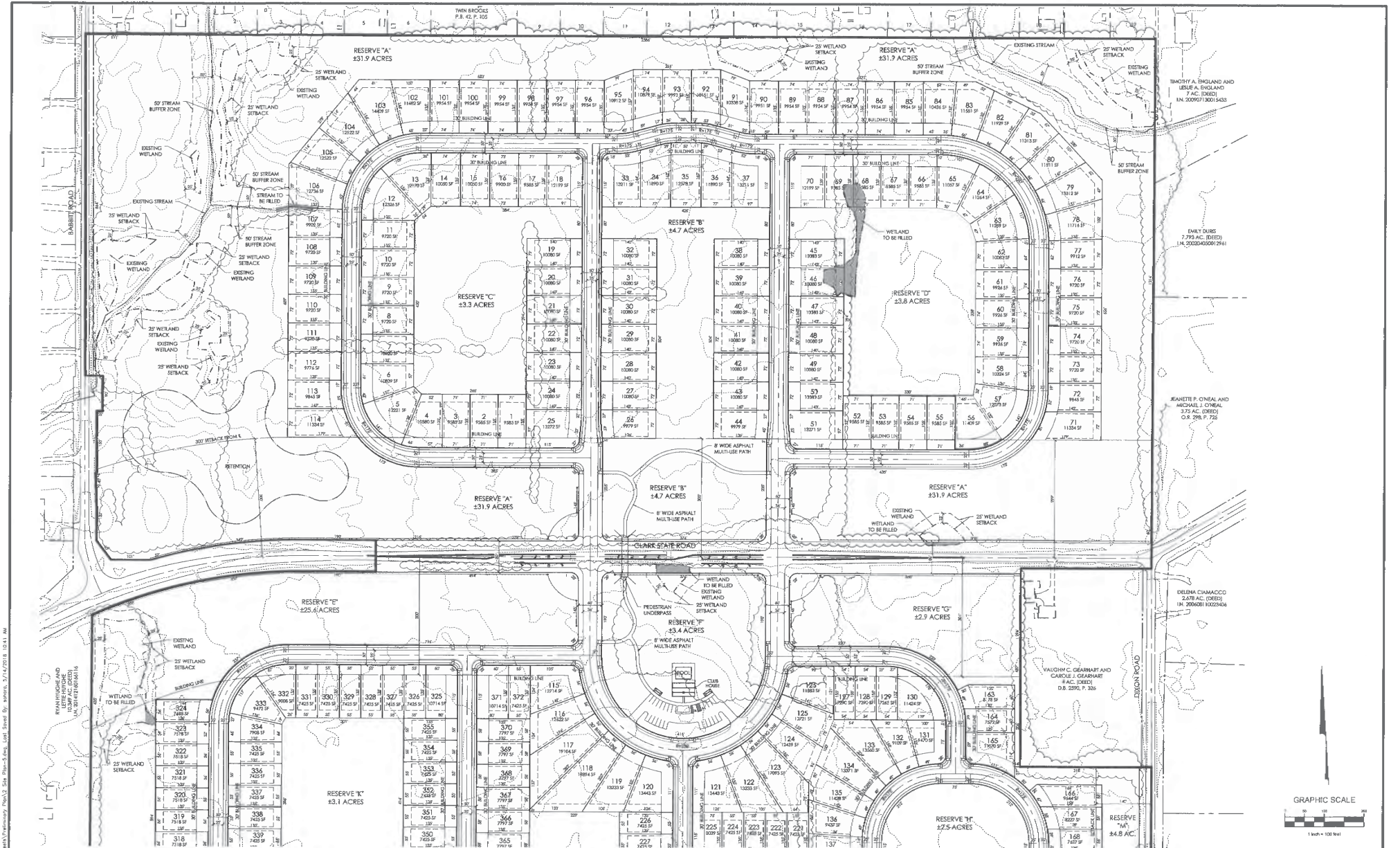
M/I HOMES
 Move Up
 mihomes.com
 FRANKLIN COUNTY, OHIO 43121

JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
 PRELIMINARY PLAN
 FOR
THE FARMS AT JEFFERSON
 COVER SHEET & LOCATION MAP

LOCATED IN:
 STATE OF OHIO, COUNTY OF FRANKLIN, TOWNSHIP OF JEFFERSON
 QUARTER TOWNSHIP 1, TOWNSHIP 1, RANGE 16
 UNITED STATES MILITARY LANDS

Date	MAY 15, 2018	Job No.	2017-516
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PRELIMINARY PLAN FOR THE FARMS AT JEFFERSON



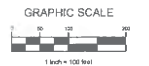
TIMOTHY A. ENGLAND AND
LESLIE A. ENGLAND
P.C. 20007
N.N. 20007/300/5433

EMLY DUBBS
7,376 AC. (DEED)
N.N. 20024/300/1241

JEANETTE P. O'NEAL AND
MICHAEL J. O'NEAL
3.75 AC. (DEED)
O.R. 298, P. 725

DEBORA CIAMACCO
2,876 AC. (DEED)
N.N. 29808/10025/06

VAUGHN C. GEARHART AND
CAROL J. GEARHART
8 AC. (DEED)
O.R. 320, P. 326



DATE	DESCRIPTION

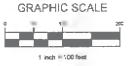
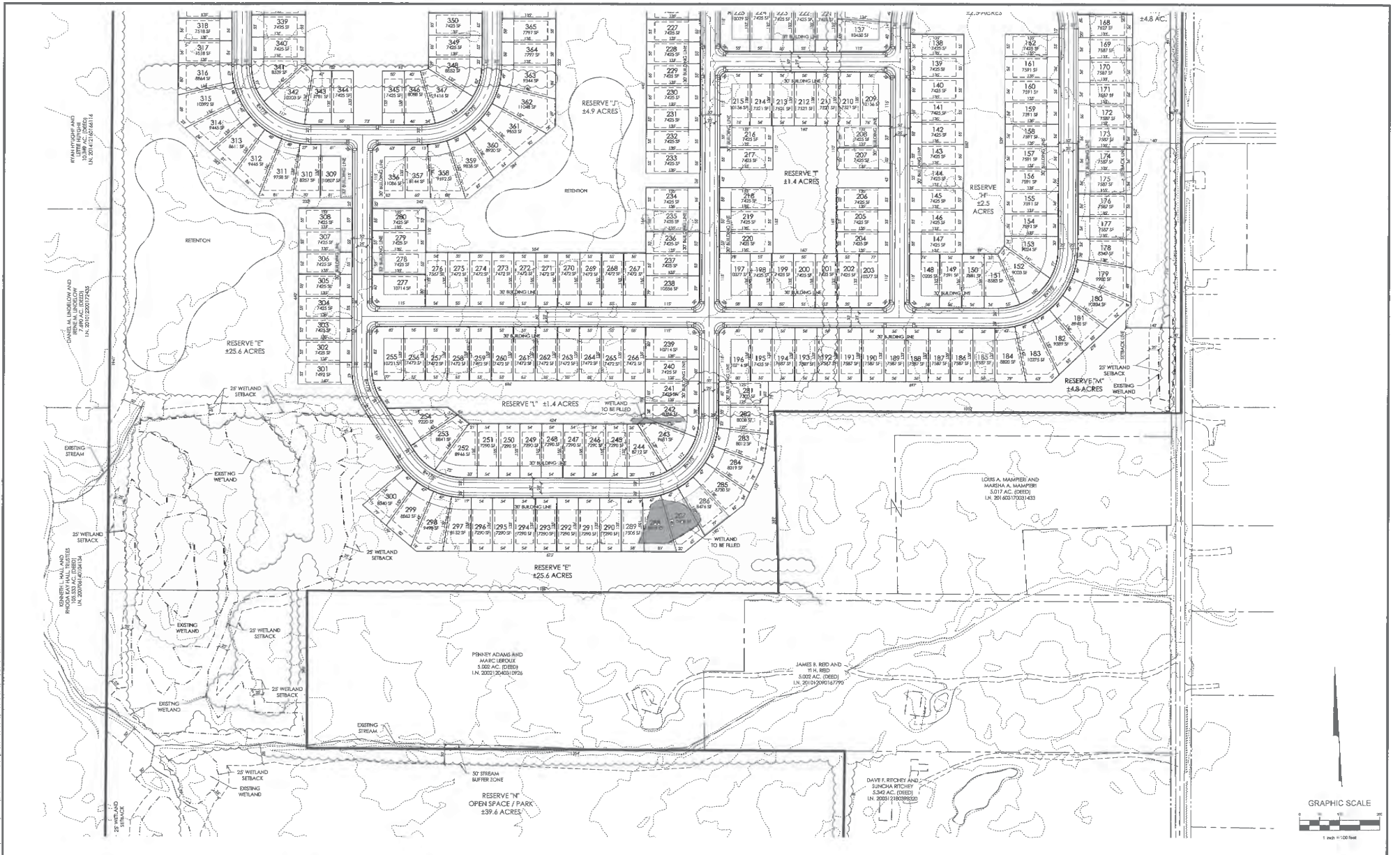
EMHT
Engineering, Mapping, Hydrology & Topography, Inc.
6920 New Albany Road, Columbus, OH 43250
Phone: 614-770-4200 Fax: 614-770-3488
emh.com

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mihomes.com
1-800-551-0141
COLUMBUS, OHIO 43240

JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
PRELIMINARY PLAN
FOR
THE FARMS AT JEFFERSON
SITE PLAN

LOCATED IN:
STATE OF OHIO, COUNTY OF FRANKLIN, TOWNSHIP OF JEFFERSON
QUARTER TOWNSHIP 1, RANGE 16
UNITED STATES MILITARY LANDS

Date	MAY 15, 2018	Job No.	20171516
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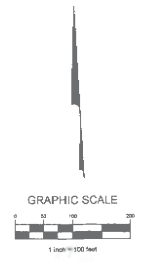
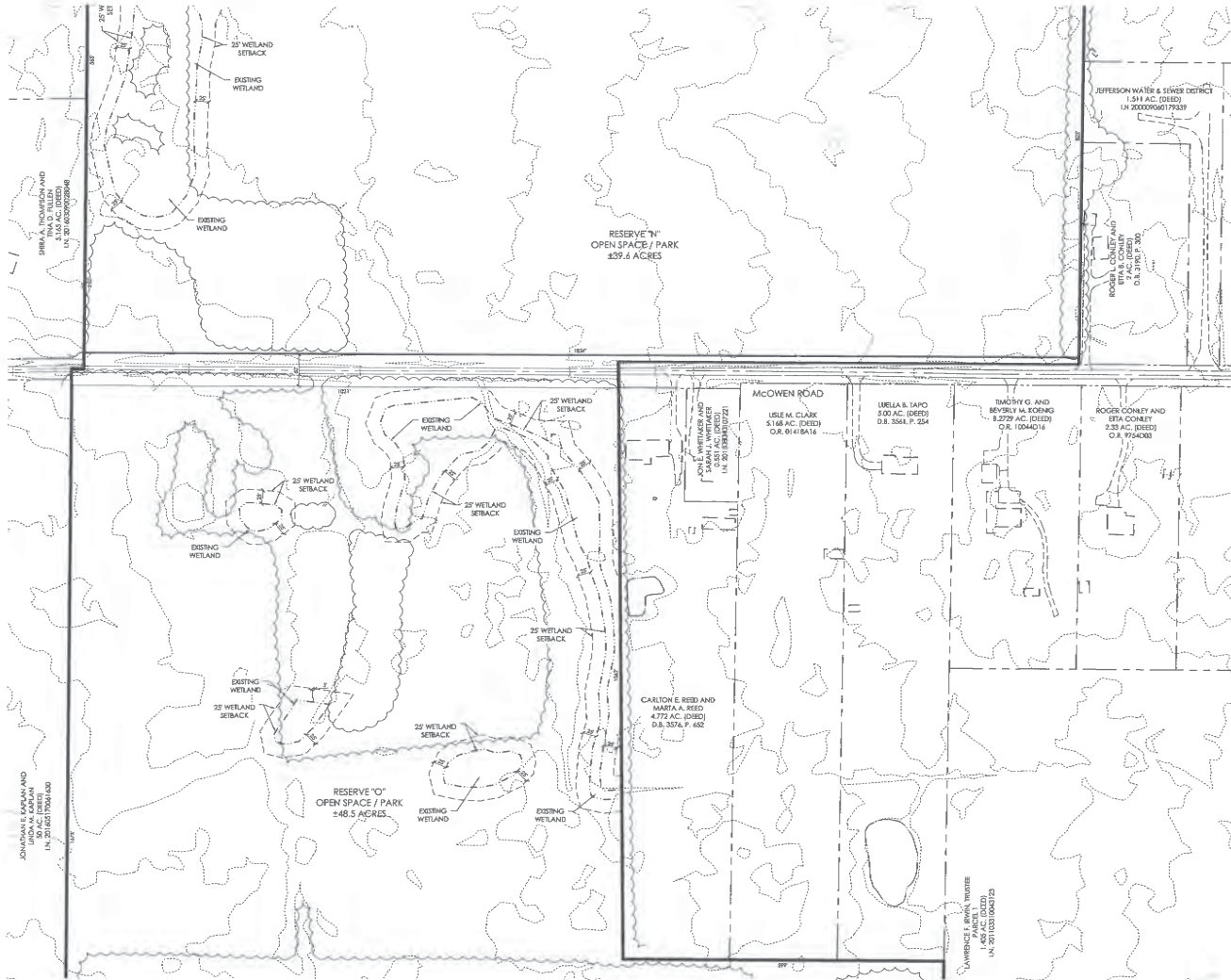
EMHT
 ENGINEERS, ARCHITECTS, PLANNERS & WRITERS, INC.
 ENGINEERS • ARCHITECTS • PLANNERS • WRITERS
 3300 New Albany Road, Columbus, OH 43260
 Phone: 614.772.6300 Fax: 614.887.7338
 emht.com

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 5400 WYOMING
 COLUMBUS, OH 43219

JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
 PRELIMINARY PLAN
 FOR
THE FARMS AT JEFFERSON
 SITE PLAN

LOCATED IN:
 STATE OF OHIO, COUNTY OF FRANKLIN, TOWNSHIP OF JEFFERSON
 QUARTER TOWNSHIP 1, TOWNSHIP 1, RANGE 16
 UNITED STATES MILITARY LANDS

Date	MAY 15, 2018	Job No.	20171516
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REVISIONS	
DATE	DESCRIPTION

EMHT
 Environmental Management & Technology, Inc.
 5850 New Albany Road, Columbus, OH 43254
 Phone: 614.773.4332 Fax: 614.773.3442
 emht.com

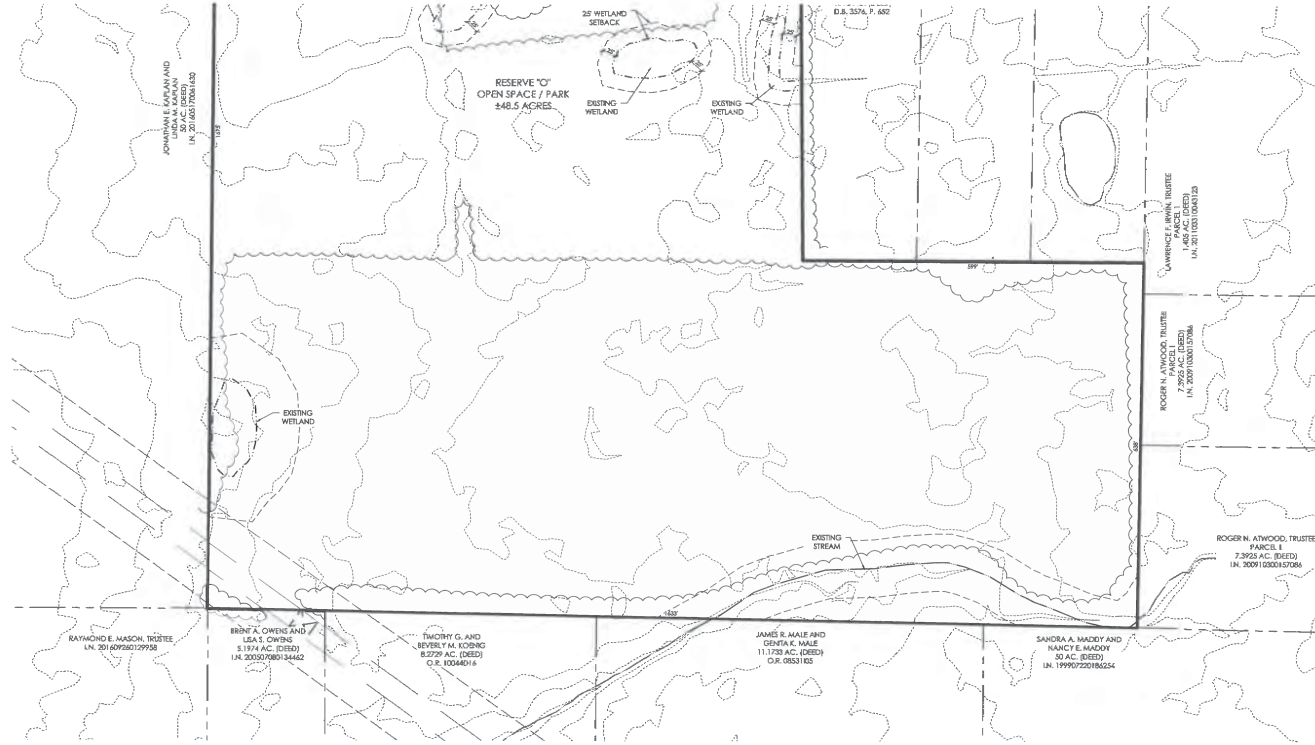
M/I HOMES
 Move Up
 mihomes.com
 2400 Riverway
 Columbus, OH 43219

JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OH-IO
 PRELIMINARY PLAN
 FOR
THE FARMS AT JEFFERSON
 SITE PLAN

LOCATED IN:
 STATE OF OHIO, COUNTY OF FRANKLIN, TOWNSHIP OF JEFFERSON
 QUARTER TOWNSHIP 1, TOWNSHIP 1, RANGE 16
 UNITED STATES MILITARY LANDS

Date	MAY 15, 2018	Job No.	20171514
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DATE	DESCRIPTION

EMHT
 Design • Mechanical • Foundation & Steel, Inc.
 Engineering • Surveying • Planning • Consulting
 5800 New Albany Road, Columbus, OH 43254
 Phone: 614.774.4000 Fax: 614.774.3448
 emht.com

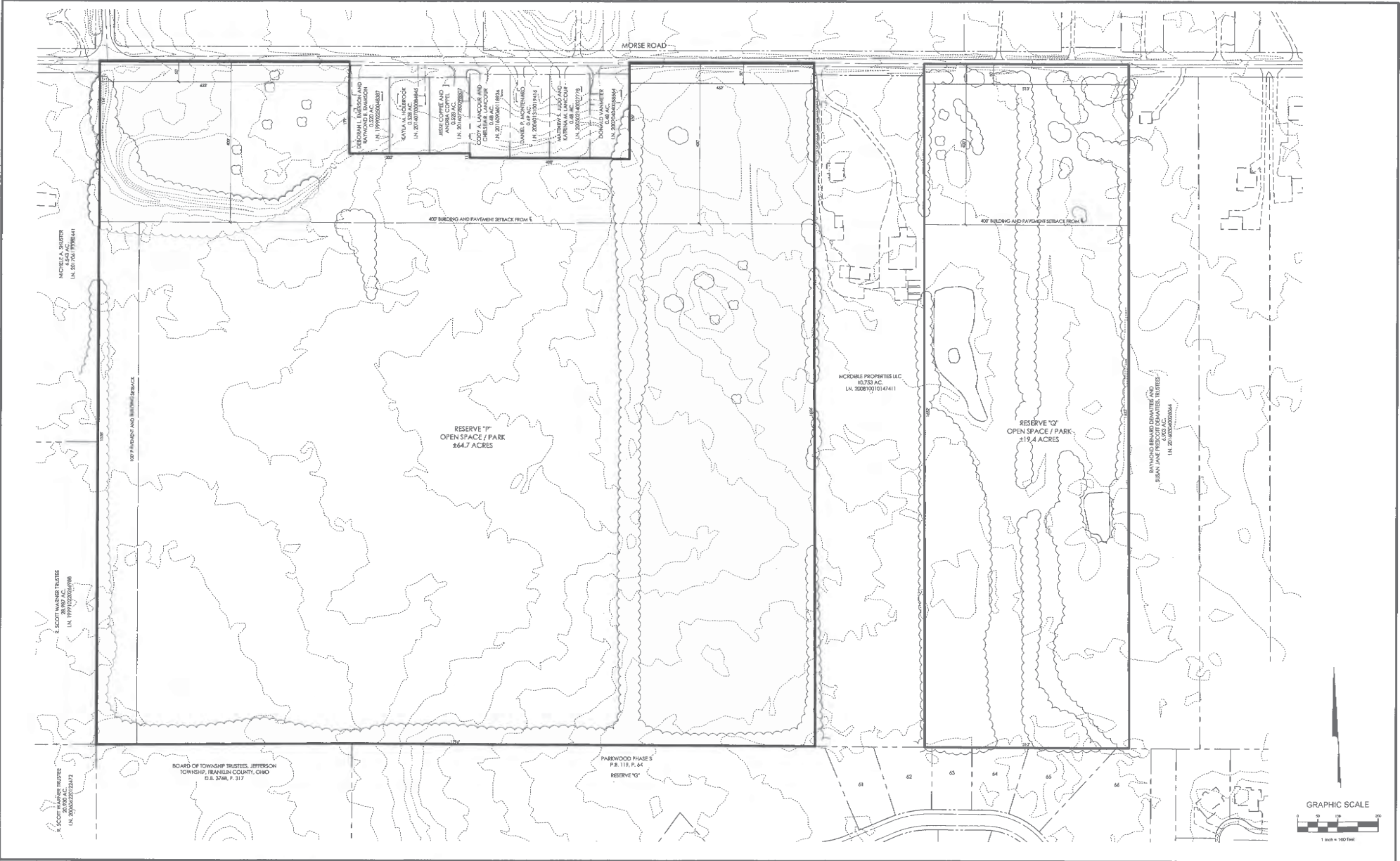
M/I HOMES
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 mlhomes.com
 REGIONAL OFFICE
 COLUMBUS, OH 43219

JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
 PRELIMINARY PLAN
 FOR
THE FARMS AT JEFFERSON
 SITE PLAN

LOCATED IN:
 STATE OF OHIO, COUNTY OF FRANKLIN, TOWNSHIP OF JEFFERSON
 QUARTER TOWNSHIP 1, TOWNSHIP 1, RANGE 16
 UNITED STATES MILITARY LANDS

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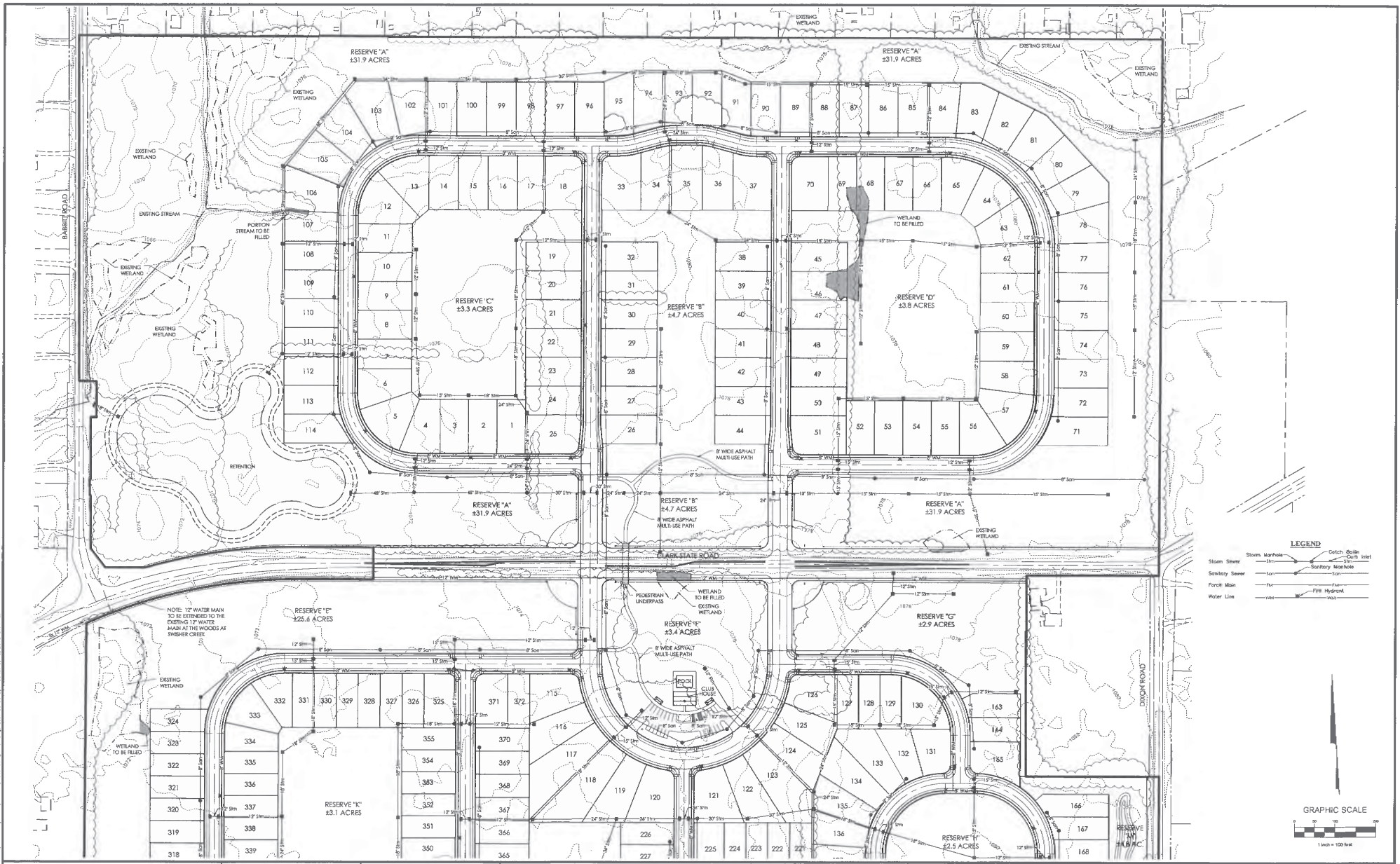
EMHT
 ENGINEERS, ARCHITECTS, TRANSPORTATION & TRADING, INC.
 ENGINEERS • ARCHITECTS • TRANSPORTATION • SCIENTISTS
 6880 Willow Albany Road, Columbus, OH 43254
 PHONE: 614.772.6422 FAX: 614.772.3448
 WWW.EMHT.COM

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 mihomes.com
 35400 OHIO
 COLUMBUS, OHIO 43221

JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
 PRELIMINARY PLAN
 FOR
THE FARMS AT JEFFERSON
 SITE PLAN

LOCATED IN:
 STATE OF OHIO, COUNTY OF FRANKLIN, TOWNSHIP OF JEFFERSON
 QUARTER TOWNSHIP 1, TOWNSHIP 1, RANGE 16
 UNITED STATES MILITARY LANDS

Date	JOB NO.
MAY 15, 2018	20171516
Scale	Sheet
1"=100'	6/15



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DATE	DESCRIPTION	REVISIONS

EMHT
 Environmental Mechanical & Thermal, Inc.
 Engineers • Planners • Surveyors • Scientists
 9925 New Albany Road, Columbus, OH 43255
 Phone: 614.773.4200 Fax: 614.773.3888
 emht.com

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 mihomes.com
 2500 W. Ohio
 Columbus, Ohio 43219

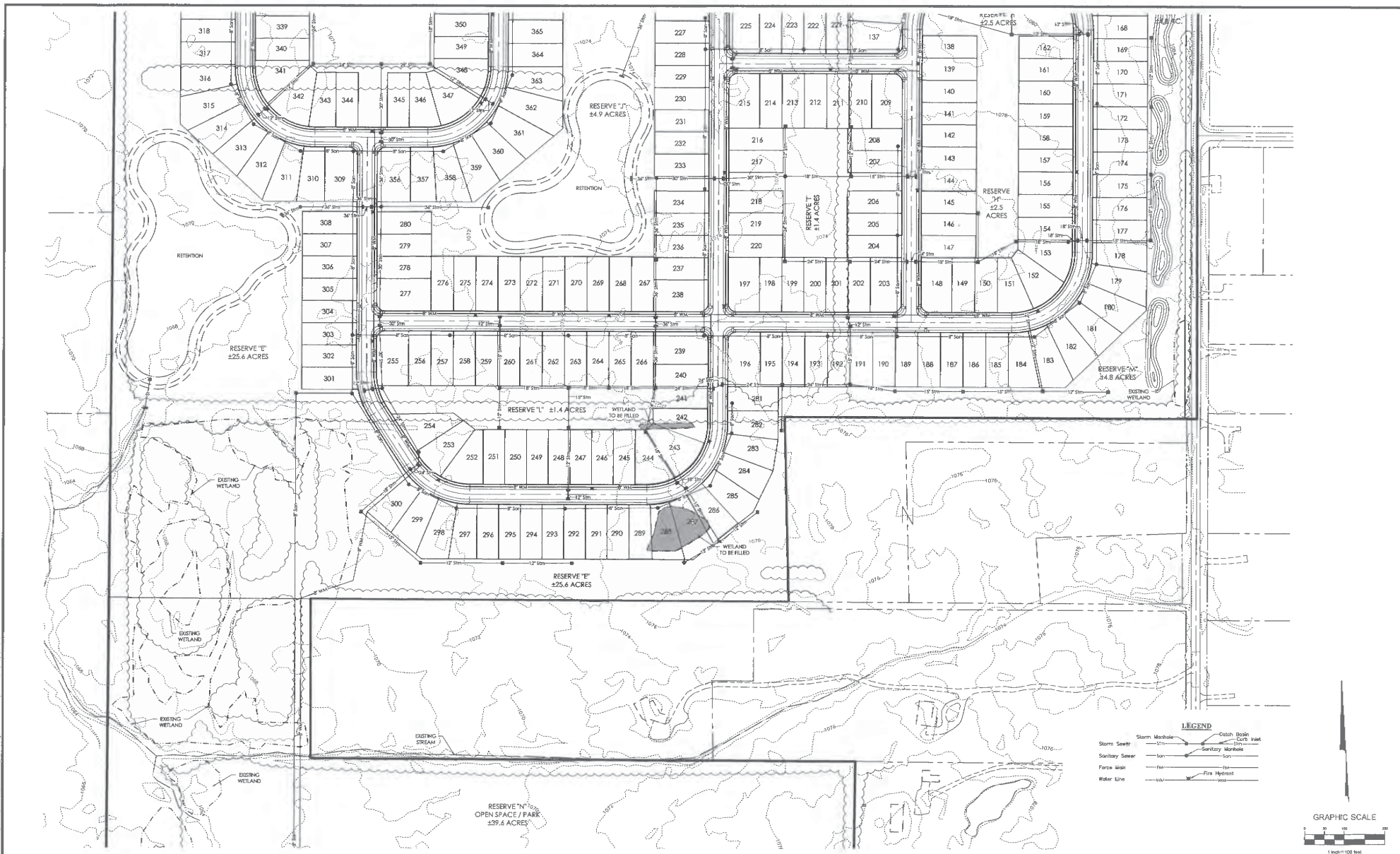
JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
 PRELIMINARY PLAN
 FOR
THE FARMS AT JEFFERSON
 COMPOSITE UTILITY PLAN

LOCATED IN:
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 QUARTER TOWNSHIP 1, TOWNSHIP 1, RANGE 16
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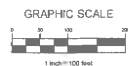
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PRELIMINARY PLAN FOR THE FARMS AT JEFFERSON

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- ### LEGEND
- Storm Sewer ———
 - Sanitary Sewer ———
 - Force Main ———
 - Water Line ———
 - Storm Manhole ———
 - Catch Basin ———
 - Sanitary Manhole ———
 - Force Main ———
 - Water Line ———
 - Retention ———
 - Existing Wetland ———
 - Existing Stream ———
 - Wetland to be Filled ———

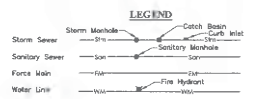
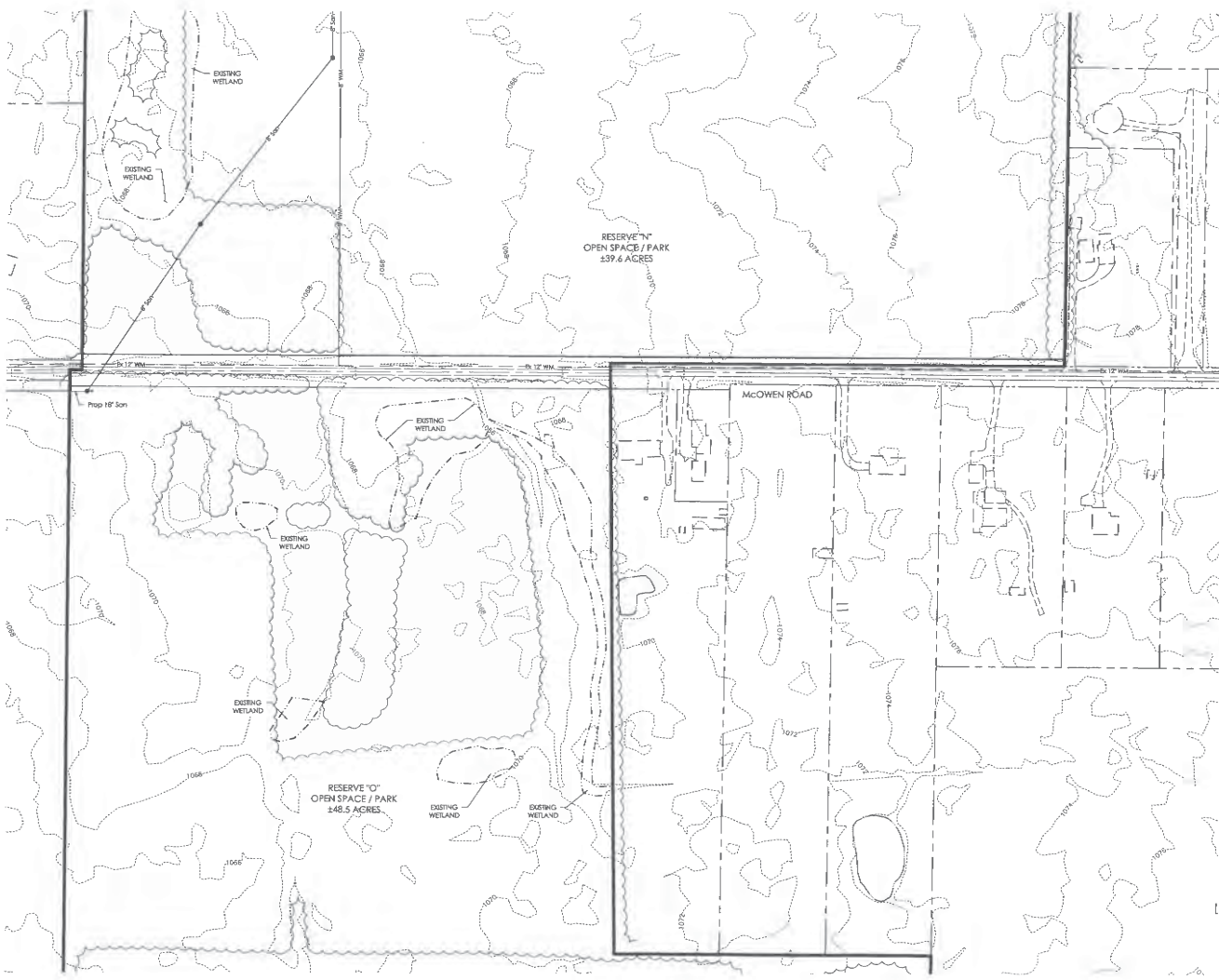


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JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
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LOCATED IN:
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 QUARTER TOWNSHIP 1, TOWNSHIP 1, RANGE 16
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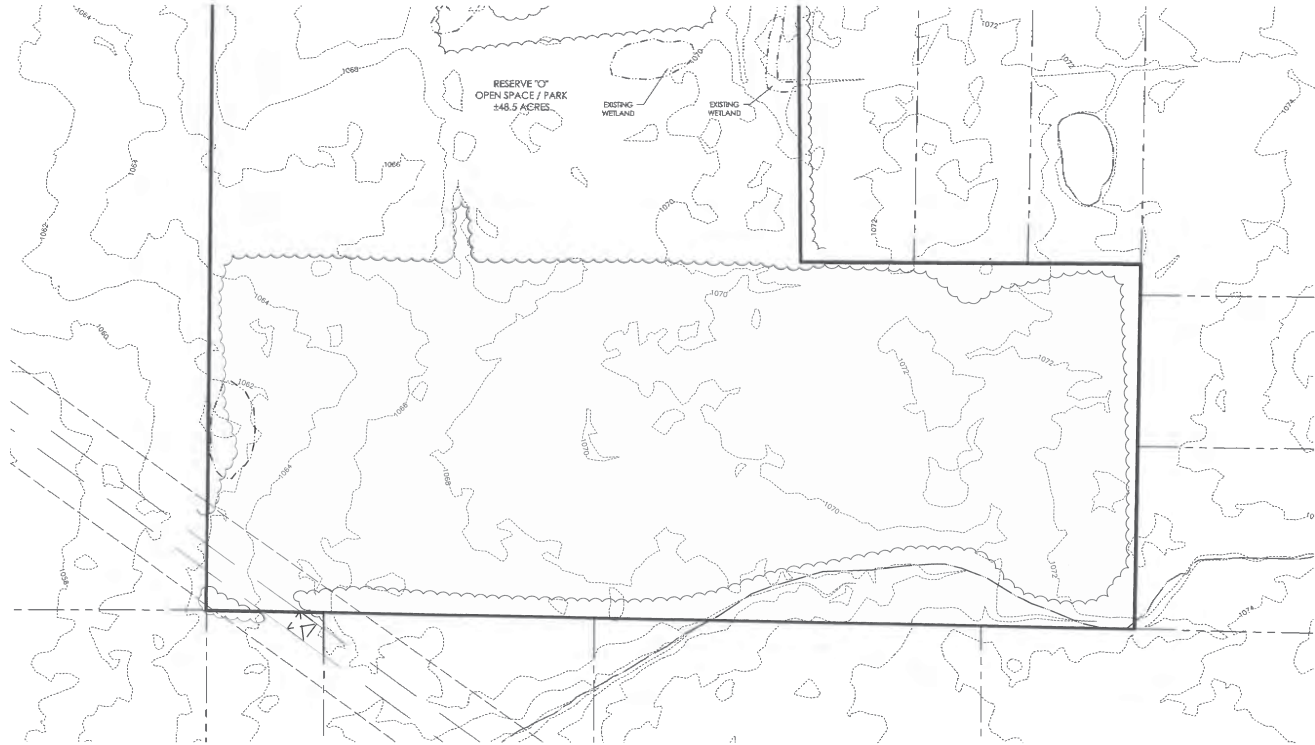
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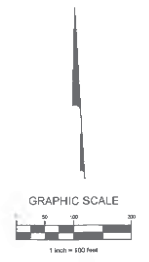
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LEGEND

Storm Sewer	Storm Manhole	Catch Basin	Curb Inlet
Sanitary Sewer	Sanitary Manhole		
Force Main			
Water Line	Fire Hydrant		



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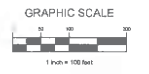
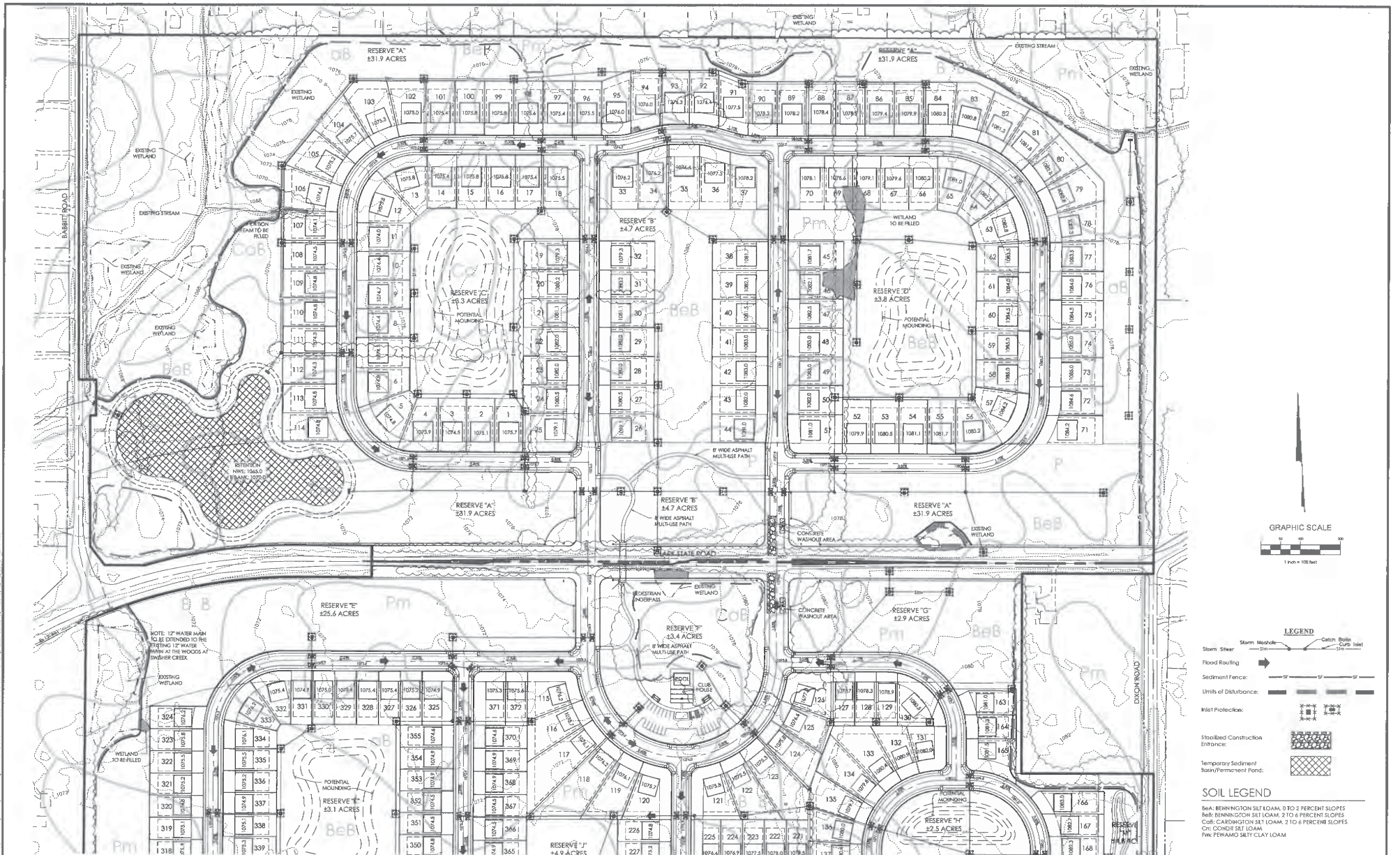
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JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
 PRELIMINARY PLAN
 FOR
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 COMPOSITE UTILITY PLAN

LOCATED IN:
 STATE OF OHIO, COUNTY OF FRANKLIN, TOWNSHIP OF JEFFERSON
 QUARTER TOWNSHIP 1, TOWNSHIP 1, RANGE 16
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LEGEND

- Storm Sizer
- Flood Routing
- Sediment Fence
- Units of Disturbance
- Kilet Protection
- Stabilized Construction Entrance
- Temporary Sediment Basin/Fermentation Pond

SOIL LEGEND
 Sbk: BENNINGTON SILT LOAM, 0 TO 2 PERCENT SLOPES
 Bsb: BENNINGTON SILT LOAM, 2 TO 6 PERCENT SLOPES
 Csb: CANTON SILT LOAM, 2 TO 6 PERCENT SLOPES
 Cbc: CONQUE SILT LOAM
 Pbc: PEWAWA SILT CLAY LOAM

DATE	DESCRIPTION

EMHT
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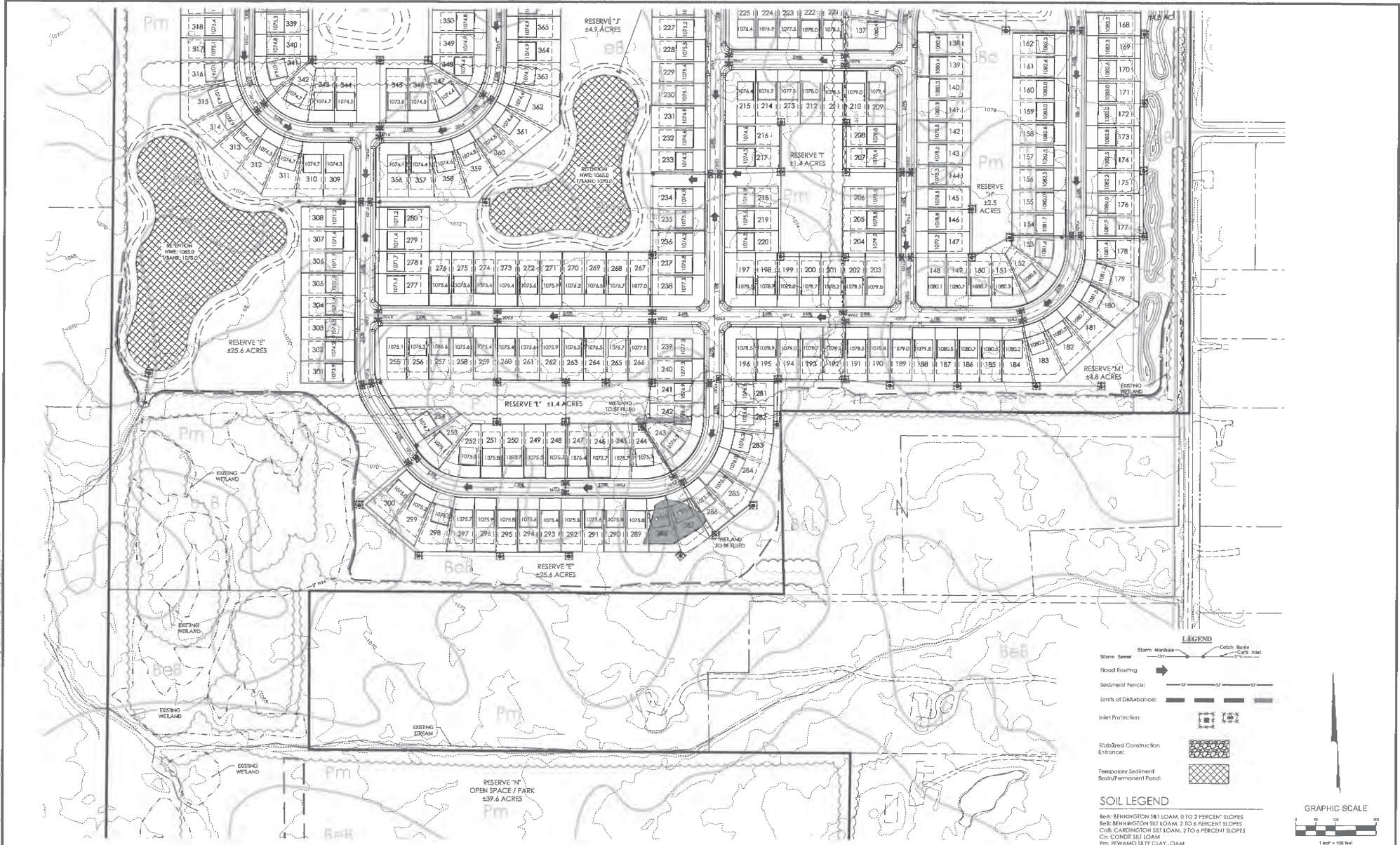
JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
 PRELIMINARY PLAN
 FOR
THE FARMS AT JEFFERSON
 GRADING PLAN & EROSION AND SEDIMENT CONTROL PLAN

LOCATED IN:
 STATE OF OHIO, COUNTY OF FRANKLIN, TOWNSHIP OF JEFFERSON
 QUARTER TOWNSHIP 1, TOWNSHIP 1, RANGE 16
 UNITED STATES MILITARY LANDS

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PRELIMINARY PLAN FOR THE FARMS AT JEFFERSON

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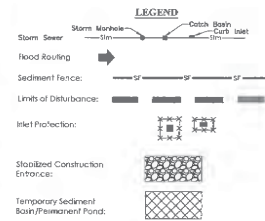
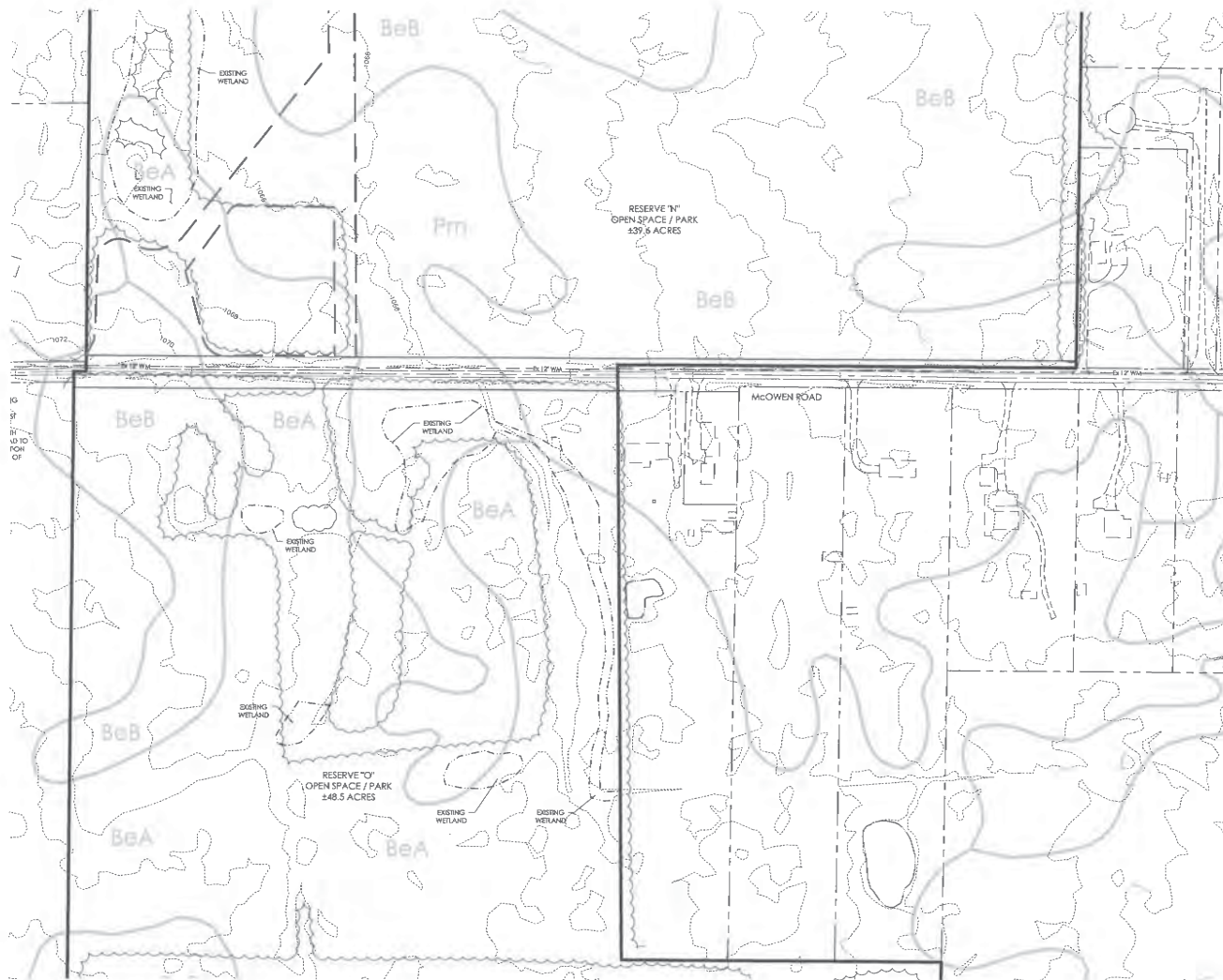
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 QUARTER TOWNSHIP 1, TOWNSHIP 1, RANGE 16
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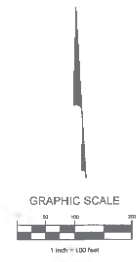
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PRELIMINARY PLAN FOR THE FARMS AT JEFFERSON

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SOIL LEGEND
 BeA: BENNINGTON SILT LOAM, 0 TO 2 PERCENT SLOPES
 BeB: BENNINGTON SILT LOAM, 2 TO 6 PERCENT SLOPES
 Csb: CARDINGTON SILT LOAM, 2 TO 6 PERCENT SLOPES
 Cst: CHONDIF SILT LOAM
 Pm: PEWAMO SILTY CLAY LOAM



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DATE	DESCRIPTION

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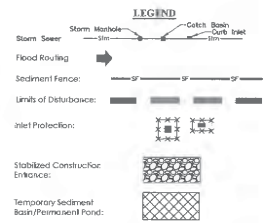
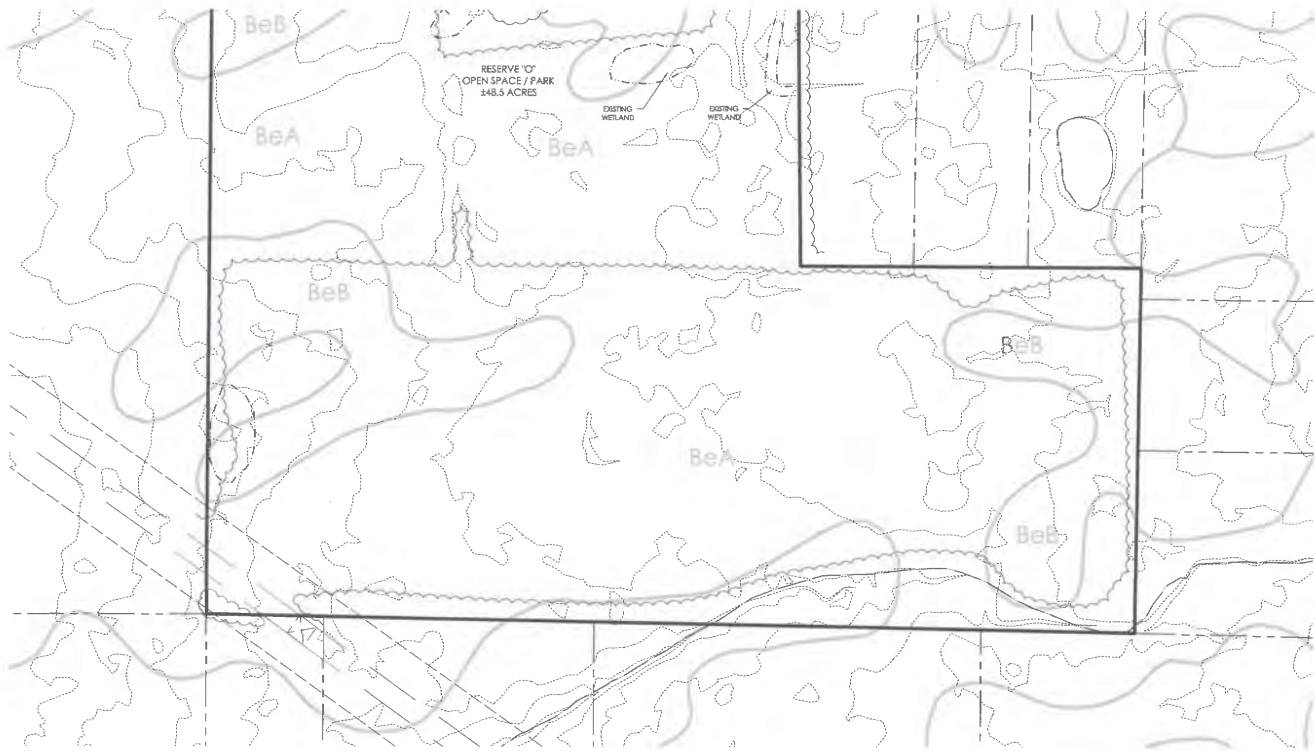
JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
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Scale	Sheet
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PRELIMINARY PLAN FOR THE FARMS AT JEFFERSON

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SOIL LEGEND

BeA: BENNINGTON S&T LOAM, 0 TO 2 PERCENT SLOPES
BeB: BENNINGTON S&T LOAM, 2 TO 6 PERCENT SLOPES
Cc: CARDINGTON S&T LOAM, 2 TO 6 PERCENT SLOPES
Cc: CONDIE S&T LOAM
Ft: FERWAMS SILTY CLAY LOAM



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222 New Albany Road Columbus, OH 43204
Phone: 614.772.4826 Fax: 614.772.2448
emht.com

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JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
PRELIMINARY PLAN
FOR
THE FARMS AT JEFFERSON
GRADING PLAN & EROSION AND SEDIMENT CONTROL PLAN

LOCATED IN:
STATE OF OHIO, COUNTY OF FRANKLIN, TOWNSHIP OF JEFFERSON
QUARTER TOWNSHIP 1, TOWNSHIP 1, RANGE 16
UNITED STATES MILITARY LANDS

Date	MAY 15, 2018	Job No.	20171516
Scale	1"=100'	Sheet	14/15

SITE DATA

OWNER/DEVELOPER: W/I Homes of Central Ohio, LLC
 3450 Easton Oval, Suite 840
 Columbus, Ohio 43219
 Phone: 614-418-8000
 Fax: 614-418-8000

PLAN DESIGNER: EMHT, Inc.
 3500 New Albany Road
 Columbus, Ohio 43054
 Phone: 614-775-4500
 Fax: 614-775-4800

DEVELOPMENT TYPE: Single Family

PROJECT DESCRIPTION: The site consists of approximately 3,274.1 acres of open and existing single family homes. Activities will include the construction of single-family units, street, storm sewer, sanitary sewer and water lines.

EXISTING SITE CONDITIONS: The site area drains east to an unnamed tributary and towards Blacklick Creek.

RECEIVING STREAM: Blacklick Creek

ADJACENT AREAS: The development is bordered by Dixon Road to the east and single family residential development on all other sides.

SOILS: The soil on the site consists of:
 B&A: Benington Silt Loam, 0 to 2 Percent Slopes
 B&B: Benington Silt Loam, 2 to 6 Percent Slopes
 C&B: Condor Silt Loam, 2 to 6 Percent Slopes
 C: Cond Silt Loam
 P: Pecosno Silty Clay Loam

EROSION & SEDIMENT CONTROL NOTES

MAINTENANCE:
 It is the Contractor's responsibility to maintain the sedimentation and erosion control features on this project. Any sediment or debris which has reduced the efficiency of a control shall be removed immediately. Should a structure or feature become damaged, the contractor shall repair or replace it to an additional cost to the owner.

INSPECTIONS:
 The NPOES permit holder shall provide qualified personnel to conduct site inspections ensuring proper functionality of the erosion and sedimentation controls. All erosion and sedimentation controls are to be inspected once per every seven calendar days or with 24 hours of a "5" storm event or greater. Records of the site inspections shall be kept and made available to jurisdictional agencies if requested.

CONTRACTOR'S RESPONSIBILITIES:
 Details have been provided on the plans in an effort to help the Contractor provide erosion and sedimentation control. The details shown on the plan shall be considered a minimum. Additional or alternate details may be found in the D.D.W.R. Manual "Rainwater and Land Development". The Contractor shall be solely responsible for providing necessary and adequate measures for proper control of erosion and sediment runoff from the site along with proper maintenance and inspection in compliance with the NPOES General Permit for Storm Discharges Associated with Construction Activity.

The Contractor shall provide a schedule of operations to the owner. The schedule should include a sequence of the placement of the sedimentation and erosion control measures that provides for continual protection of the site throughout the earth moving activities.

Prior to Construction Operations in a particular area, all sedimentation and erosion control features shall be in place. Field adjustments with respect to locations and dimensions may be made by the Engineer and the Ohio EPA.

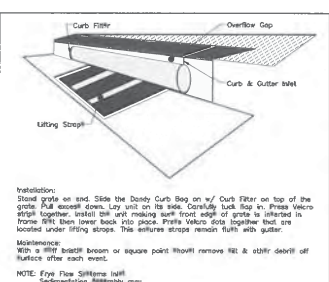
The Contractor shall place inlet protection for the sedimentation control immediately after construction of the catch basins or inlets which are not tributary to a sediment basin or dam.

It may become necessary to remove portions of sedimentation controls during construction to facilitate the grading operations in certain areas. However, the controls shall be replaced upon grading or during dry inclement weather.

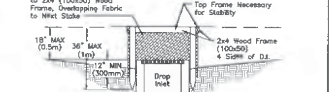
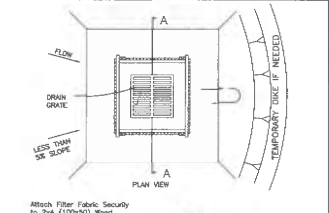
The Contractor shall be responsible to have the current Storm Water Pollution Prevention Plan immediately available or posted on site.

The Contractor shall be responsible to ensure that off-site tracking of sediments by vehicles and equipment is minimized. All such off-site sediment shall be cleaned up daily.

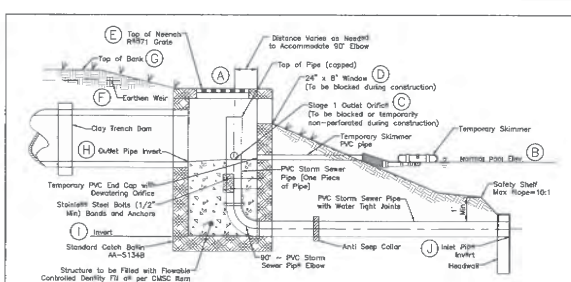
The Contractor shall be responsible to ensure that no solid or liquid waste is discharged into storm water runoff. Untreated sediment-laden runoff shall not flow off of site without being directed through a control practice. Concrete trucks will not be allowed to wash out or discharge surplus concrete into or along-side rivers, streams, or creeks or into natural or man-made channels or swales leading thereat. Concrete wash water and surplus concrete shall be confined to approved areas; after solidifying, these waste materials shall be removed from the site.



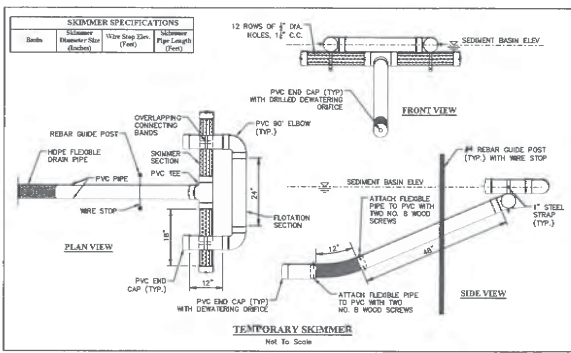
DANDY CURB BAG
 Not to Scale



FILTER FABRIC INLET PROTECTION
 Not to Scale



OUTLET STRUCTURE DETAIL
 Not to Scale



TEMPORARY SKIMMER
 Not to Scale

GRADING REQUIREMENTS

The site will be stripped of unsuitable material and will require fill over the site to bring grade up to sub-base. Most of the site will be graded to drain back onto the site. All offsite areas will be conducted through the site and storm system with excess above existing storm system with excess above ponding volume being discharged through emergency overflow.

EROSION AND SEDIMENT MEASURES

Erosion and sediment will be controlled by the use of inlet protection at proposed inlets, temporary sediment basins with control structures, and filter fabric fences will be constructed as per plans.

PERMANENT STABILIZATION

The site will be stabilized by the use of seeding or sodding in overland areas.

MAINTENANCE

All erosion control devices are to be inspected by the construction superintendent daily and after significant rainfalls. Any damaged facilities are to be replaced/repared immediately as may be necessary.

SEQUENCE OF CONSTRUCTION

1. Install stabilized construction entrances & concrete washout area.
2. Install perimeter sediment fence.
3. Install proposed sediment basins complete with outlet & skimmer.
4. Begin proposed earthwork activities.
5. Install storm sewer inlet protection on all proposed inlets.
6. Disturbed areas that will remain idle for more than 14 days shall be temporarily stabilized throughout construction activities.
7. Upon permanent stabilization of the site, remove temporary erosion & sediment controls including skimmer & riser from basins.

TEMPORARY AND PERMANENT SEEDING

The limits of seeding and mulching are as shown within the plan as indicated by the limits of disturbance. All areas not designated to be seeded shall remain under natural ground cover. These areas disturbed outside the seeding limits shall be seeded and mulched at the Contractor's expense.

TEMPORARY SEEDING

Any area which will be left dormant (undisturbed) for more than 14 days shall be seeded within 7 days of terminated work. Disturbed areas within 50 feet of a stream, first order or larger, shall be stabilized within 2 days of inactivity. Temporary seeding consists of seedbed preparation and application of seed, fertilizer, and water. Soil test is recommended to determine proper application rate of fertilizer and if time is necessary:

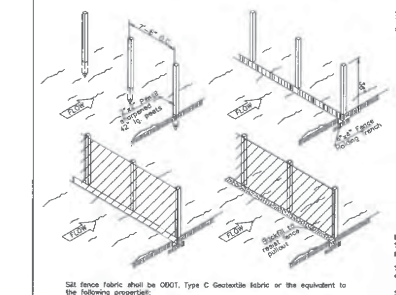
Fertilizer 12-12-12	25	lb/1000 sq. ft.
Straw Mulch	2	tons/acre
Water	300	G/1000 sq. ft.

SEEDING DATES	SPECIES	lb/1000 sq. ft.	Per acre
March 1 to August 15	Oats	3	4 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
August 16 to November 1	Perennial Ryegrass	1	40 lb.
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
November 1 to Spring Seeding	Rye	3	2 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
	Wheat	3	2 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
Use mulch only, sodding practices or dormant			

PERMANENT SEEDING

Any area that is of final grade shall be seeded within 7 days of terminated work. Permanent seeding consists of seedbed preparation and application of seed, fertilizer, and water. Soil test is recommended to determine proper application rate of fertilizer and if time is necessary. Ideal conditions for permanent seeding are from March 1-May 31 and August 1-October 15.

SEED MIX	SEEDING RATE	NOTES
GENERAL USE		
lb/1000 sq. ft.		
Creeping Red Fescue	1.8	
Kentucky Bluegrass	1.6	
Annual Ryegrass	0.8	



MATERIALS
 Minimum Inertia Strength
 Maximum Extension At 90 lbs.
 Minimum Tensile Strength
 Minimum Tear Strength
 Minimum Burst Strength
 Apparent Opening Size
 Minimum Permeability
 Ultraviolet Exposure Strength Retention

120 lbs	5.0
50 lbs	5.0
80 lbs	5.0
200 lbs	5.0
2.84 mm	1 in 10-2 fac=1
70%	

SILT FENCE DETAIL
 Not to Scale

MAINTENANCE:
 Silt fence and filter barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately.

Should the fabric on a silt fence or filter barrier become soiled or become ineffective prior to the end of the expected useful life and the barrier is not necessary, the fabric shall be replaced promptly.

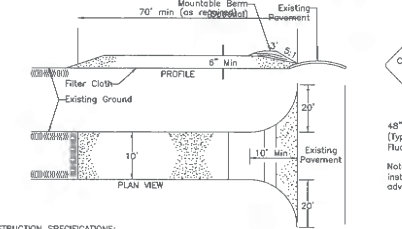
Sediment deposits shall be removed after each storm event. They must be removed when deposits reach approximately one-half the height of the barrier.

Any sediment deposits remaining in place after the silt fence or filter barrier is no longer required shall be defined to conform with the existing grade, prepared and maintained.

Silt fence shall be installed by the Owner or Contractor.

The use of straw waste has proven to be versatile and effective Erosion and Sediment Control BMP, especially in residential settings. Straw waste may be substituted for silt fence in rural applications.

The use of compost filter fabric and compost biodegradable geotextiles have proven to be versatile and effective Erosion and Sediment Control BMP, especially in residential settings.



STABILIZED CONSTRUCTION ENTRANCE
 Not to Scale

CONSTRUCTION SPECIFICATIONS:

1. Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
2. Length - 70' minimum
3. Thickness - At least 6 inches (6) inches.
4. Width - Fifteen (15) foot minimum, but not less than the full width at points where ingress or egress occurs.
5. Filter Cloth - will be placed over the entire area prior to placing of stone.
6. Surface Water - All surface water flowing or directed toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public right-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measure used to trap all sediment spilled, dropped, washed or tracked onto public rights of way must be removed immediately.
8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public right-of-ways. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. Periodic inspection and needed maintenance shall be provided after each rain.



JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
 PRELIMINARY PLAN
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 GRADING PLAN & EROSION AND SEDIMENT CONTROL PLAN

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f. 614.775.4800

info@emht.com

Job Number: 2017-1516

THE FARMS AT JEFFERSON

Post Construction Operation & Maintenance Plan (O&M)

Prepared For: M/I Homes of Central Ohio, LLC

May 14, 2018

RECEIVED

MAY 15 2018

Franklin County Planning Department
Franklin County, OH

692-PP

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TABLE OF CONTENTS

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1.1	WET BASIN OUTLET STRUCTURE	1
2.0	MAINTENANCE & INSPECTION PROCEDURES.....	2

APPENDICES

- APPENDIX A: Inspection & Maintenance Agreement
- APPENDIX B: Inspection & Maintenance Report

EXHIBITS

- EXHIBIT A: Details
- EXHIBIT B: Post-developed Stormwater Tributary Map

1.0 BEST MANAGEMENT PRACTICE OVERVIEW

The following report provides inspection and maintenance procedures associated with the post-construction water quality controls associated with The Farms at Jefferson project located in Jefferson Township, Franklin County, Ohio. The post-construction water controls and associated inspection and maintenance procedures are required per the Ohio EPA general stormwater permit no. OHC000005 and are intended to comply with Section IV of the Franklin County Engineer's Office Stormwater Drainage Manual to assure long-term adequacy of the stormwater drainage systems.

Water quality treatment for The Farms at Jefferson site will be addressed by managing stormwater runoff from the site by using a series of wet basins. Wet basins are designed to provide a minimum water quality volume drawdown time of 24 hours.

Stormwater basins treat incoming stormwater runoff by physical, biological, and chemical processes. The primary removal mechanism is the gravitational settling of particulates, organic matter, metals, bacteria and organics as stormwater runoff resides in the permanent pool. Other contaminants such as hydrocarbons, are broken down and eliminated by volatilization and chemical activity. Stormwater basins are utilized to remove 80% of the total suspended solids load in typical urban post-development runoff when designed and maintained properly. Stormwater basins naturally collect sediment, including gravel, sand and mud, as well as other debris like litter. To maintain its capacity and function, a basin should be kept free of excessive debris, litter, and sediment.

1.1 WET BASIN OUTLET STRUCTURE

The proposed outlet structure for Basins 01, 02, & 03 are shown on Exhibit B. The outlet configurations are described below.

Basins 01- Outlet Structure XX

- Normal Pool- xxx.xx feet
- Top of Bank- xxx.xx feet
- 1st stage outlet- orifice cut into riser pipe, invert at xxx.xx feet
- 2nd stage outlet- window, invert at xxx.xx feet
- 3rd stage outlet – Neenah R-4871 grate, top of casting at xxx.xx ft.
- Tailwater Control- outlet pipe, invert at xxx.xx feet

Basins 02- Outlet Structure XX

- Normal Pool- xxx.xx feet
- Top of Bank- xxx.xx feet
- 1st stage outlet- orifice cut into riser pipe, invert at xxx.xx feet
- 2nd stage outlet- window, invert at xxx.xx feet
- 3rd stage outlet – Neenah R-4871 grate, top of casting at xxx.xx ft.
- Tailwater Control- outlet pipe, invert at xxx.xx feet

Basins 03- Outlet Structure XX

- Normal Pool- xxx.xx feet
- Top of Bank- xxx.xx feet
- 1st stage outlet- orifice cut into riser pipe, invert at xxx.xx feet
- 2nd stage outlet- window, invert at xxx.xx feet
- 3rd stage outlet – Neenah R-4871 grate, top of casting at xxx.xx ft.
- Tailwater Control- outlet pipe, invert at xxx.xx feet

2.0 MAINTENANCE & INSPECTION PROCEDURES

All maintenance of the existing and proposed detention basin and public storm sewer infrastructure will remain the responsibility of the Developer or Home Owners Association (Developer/HOA) until such time as the Franklin County Drainage Engineer's Office assumes maintenance responsibilities. The Developer/HOA is responsible for all inspections and reporting outlined within this Manual and as per the Stormwater Drainage Manual, Section 4.1.2 until the transfer takes place and will be responsible for all trash and debris removal, weed control and mowing of the basin area above the normal pool elevation.

Prior to the Maintenance of the storm system infrastructure being transferred to the Franklin County Engineer's Office, the build out of the subdivision shall be completed and the Developer/HOA must complete the following items:

1. Removal of the Temporary skimmer within the Stormwater Detention Basin.
2. An "As-Built" survey of the Storm Sewer System must be submitted for review to the Franklin County Drainage Engineer to verify the system has been constructed per plan. The entire system includes the Basin, the Basin Outlet Control Structure and outlet pipe as well as all pipe, manholes, catch basins and headwalls associated with the storm system routing to and through the Detention Basin.
3. The basin shall be cleaned of all accumulated sediment and restored to design elevations. The storm sewer infrastructure shall be cleaned thoroughly and any required repairs must be made.
4. The basin and storm sewer system infrastructure shall be inspected by the Franklin County Drainage Engineer.
5. The property owner shall provide an Easement to the Franklin County Drainage Engineer for access and maintenance to the Detention Basin and it shall be at a minimum 20' wide in accordance with the Stormwater Drainage Manual, Section 4.1.1. The Access route shall be provided at a maximum slope of 10' (Horiz) to 1' (Vert.) from the road right-of-way to toward the basin.

The stormwater basins and associated outlet structures along with the storm sewer pipe and structures will be inspected and maintained to ensure the stormwater system is functioning properly. Inspections and maintenance will be coordinated by the Developer/HOA and submitted to the Franklin County Drainage Engineer's Office prior to the County assuming maintenance of

any storm system related infrastructure. The Developer/HOA shall ensure that inspections occur at the following instances: The basin shall be inspected within 48 hours of significant rain events (\geq 0.5 inches of rain over a 24 hour period) during construction and after the first year of use following the completion of construction activities. An annual inspection frequency can be determined based upon the results of the first year inspections, but should be no less than twice per year unless otherwise noted. Guidance on the frequency of the first year maintenance activities is included in this section. A copy of each inspection log shall be sent annually by December 31st of each year to the Franklin County Drainage Engineer.

Post-Construction Operator: **Franklin County Drainage Engineer**
Franklin County Engineer's Office
970 Dublin Road
Columbus, OH 43215

Email: jramsey@franklincountyengineer.org
Phone: (614) 525-7318

Inspection and Maintenance Procedures

A report shall be prepared that summarizes the observations made during the site inspection. The reports shall additionally indicate maintenance needs. The reports are to be kept on file and a signed and dated copy of the report should be sent to the Franklin County Engineer's Office (attn. **Jim Ramsey**) on an annual basis, prior to the end of each year. Inspection reports are provided within Appendix A.

Wet Basin Inspection and Maintenance Procedures

Inspection Item	Maintenance Procedures	Frequency of Inspection
<ul style="list-style-type: none"> • Pretreatment Swale • Vegetated Side Slopes • Filter Embankment 	<ul style="list-style-type: none"> • Repair undercut/eroded areas and stabilize – Place topsoil within eroded area as need and apply grass seed and mulch. Install temporary erosion protection during grass germination. • Mow the side slopes and embankment. • Do not fertilize vegetation surrounding the sand filter 	Quarterly
<ul style="list-style-type: none"> • Storm Sewer Pipes • Storm Sewer Inlets • Rock Rip Rap Outlet Protection 	<ul style="list-style-type: none"> • Remove debris from the sewer system to ensure positive flow through the system. • Remove debris from the storm sewer inlets. • Remove accumulated sediment/debris from the rock riprap outlet protection. 	Quarterly
<ul style="list-style-type: none"> • Sand Filter Media • Underdrain Pipe 	<ul style="list-style-type: none"> • Monitor sediment accumulation in the facility. Remove sediment/debris as needed. Rake/and or remove sediment from surface of filter bed. Inspect the filters tributary area to determine the source of sediment and stabilize the disturbed areas with grass or stone cover. • Examine the ensure underdrain is free of debris and operational. Open the inspection ports/clean-out riders and inspect. If standing water is noted within the underdrain inspect the underdrain outlet to see if runoff is flowing out of the pipe. If no flow is noted, clean underdrain with a vacuum truck. • Inspect for invasive vegetation and remove as necessary. • Inspect the surface of the filter for standing water. If retained runoff is noted after a 24-hour period, inspect underdrain system to see if a clog is present. If underdrain system is not clogged, replace the sand filter media and stone cover. 	Quarterly

APPENDIX A:

Inspection & Maintenance Agreement

APPENDIX B:

Inspection & Maintenance Report

Operation and Maintenance Inspection Report for Stormwater Basins and Wetlands ^(*)

Inspector Name _____ **Project Location (inc. SP coordinates):** _____
Inspection Date/Time _____ _____
Stormwater Pond: _____ **Watershed** _____
 Normal Pool _____ **Owner Name** _____
 Normal Dry _____

Inspection Items	Checked? Yes/No	Maintenance Needed? Yes/No	Inspection Frequency	Comments
Pond Components				
1. Embankment and Emergency Spillway				
a. Adequate vegetation and ground cover			A	
b. Embankment erosion			SA	
c. Animal burrows			A	
d. Unauthorized plantings			A	
e. Cracking, bulging, or sliding of dam				
i. Upstream face			A	
ii. Downstream face			A	
iii. At or beyond toe				
Upstream			A	
Downstream			A	
iv. Emergency spillway			A	
f. Pond, toe & chimney drains clear and functioning			A	
g. Leaks on downstream face			A	
h. Abutment protection or riprap failures			A	
i. Visual settlement or horizontal misalignment of top of dam				
j. Emergency spillway clear of debris			A	
k. Other (specify)			A	
2. Riser and principal spillway				
Type: Reinforced concrete _____				
Corrugated pipe _____				
Masonry _____				
a. Low flow orifice obstructed			A	
b. Low flow trash rack				
i. Debris removal necessary			A	
ii. Corrosion control			A	

Inspection Items	Checked? Yes/No	Maintenance Needed? Yes/No	Inspection Frequency	Comments
c. Weir trash rack			A	
i. Debris removal necessary			A	
ii. Corrosion control			A	
d. Excessive sediment accumulation inside riser			A	
e. Concrete/Masonry condition Riser and barrels				
i. Cracks or displacement			A	
ii. Minor spalling (<1")			A	
iii. Major spalling (rebars exposed)			A	
iv. Joint failures			A	
v. Water tightness			A	
f. Metal pipe condition			A	
g. Control valve				
i. Operational/exercised			A	
ii. Chained and locked			A	
h. Pond drain valve			A	
i. Operational/exercised			A	
ii. Chained and locked			A	
i. Outfall channels flowing			A	
j. Other (specify)			A	
3. Permanent pool (wet ponds)				
a. Undesirable vegetative growth			M	
b. Floating or floatable debris removal required			M	
c. Visible pollution			M	
d. High water marks			M	
e. Shoreline problems			M	
f. Sediment accumulation			M	
g. Other (specify)			M	
4. Sediment forebays				
a. Sedimentation noted			M	
b. Sediment removal when depth <20% design depth			M	
5. Dry pond areas				
a. Vegetation adequate			M	
b. Undesirable vegetative growth			M	
c. Undesirable woody vegetation			M	
d. Low flow channels clear of obstructions			M	
e. Standing water or wet spots			M, S	
f. Sediment and/or trash accumulation			M	
g. Other (specify)			M	

Inspection Items	Checked? Yes/No	Maintenance Needed? Yes/No	Inspection Frequency	Comments
6. Condition of outfalls into pond				
a. Riprap failures			A,S	
b. Slope erosion			A,S	
c. Storm drain pipes			A,S	
d. Endwalls/headwalls			A,S	
e. Other (specify)			A,S	
7. Other				
a. Encroachments on ponds or easement area			M	
b. Complaints from residents (describe on back)			M	
c. Aesthetics				
i. Grass height			M	
ii. Graffiti removal necessary			M	
iii. Other (specify)			M	
d. Any public hazards (specify)			M	
e. Maintenance access			M	
f. Monitor mosquito larvae presence (seasonal)			M	
8. Constructed wetland areas				
a. Vegetation healthy and growing (50% surface area coverage)			M	
b. Evidence of invasive species			M	
c. Excessive sedimentation in wetland area			M	

Inspection Frequency Key A = Annual, SA = Semi-annual, M = Monthly, S = After major storm

(*) Source: Georgia Stormwater Management Manual – Adapted from Watershed Management Institute, Inc. (1997)

Summary

1. Inspectors Remarks: _____

Overall condition of Facility (Check one)

- Acceptable
 Unacceptable

2. Dates any maintenance must be completed by: _____

CERTIFICATION STATEMENT

I CERTIFY UNDER PENALTY OF LAW THAT I HAVE PERSONALLY EXAMINED AND AM FAMILIAR WITH THE INFORMATION ON THIS FORM AND BELIEVE THE INFORMATION IS TRUE, ACCURATE AND COMPLETE.

Authorized Representative Signature

Title

Date

EXHIBIT A:

Details

MARK	DATE	DESCRIPTION

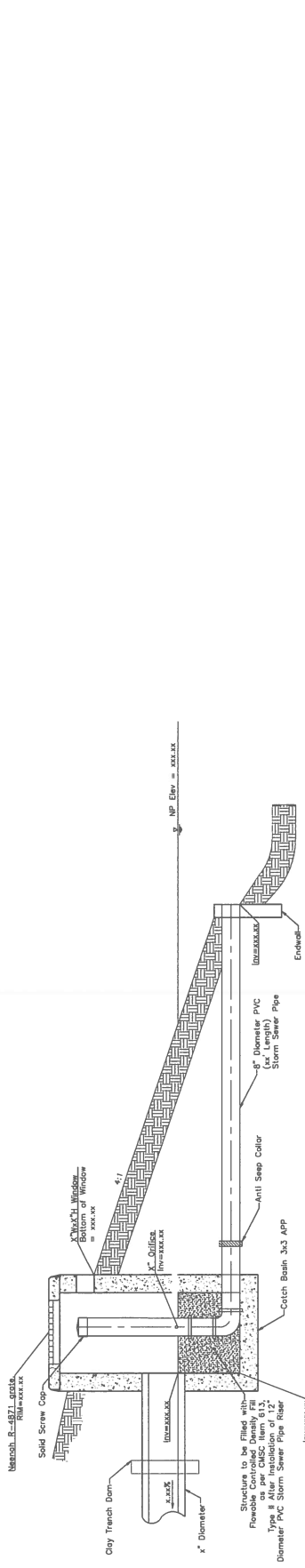


THE FARMS AT JEFFERSON
FOR
JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
POST CONSTRUCTION OPERATION & MAINTENANCE PLAN
DETAILS

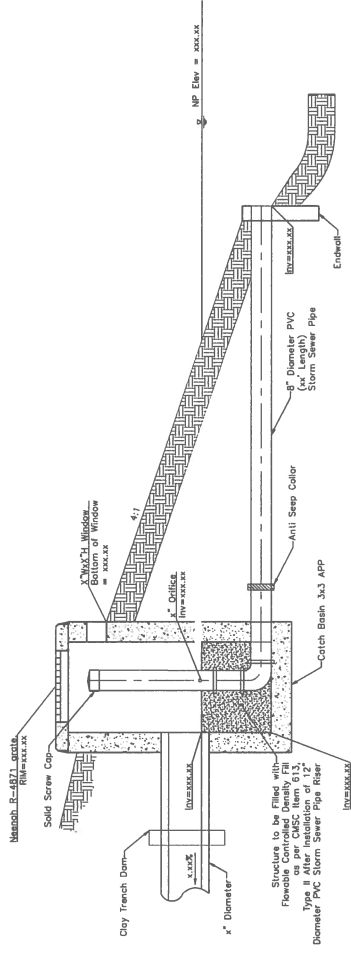
EMHT
Engineering, Maintenance & Technical
10000 Newburg Road, Columbus, OH 43240
614.291.1234
www.emht.com

DATE: May 2018

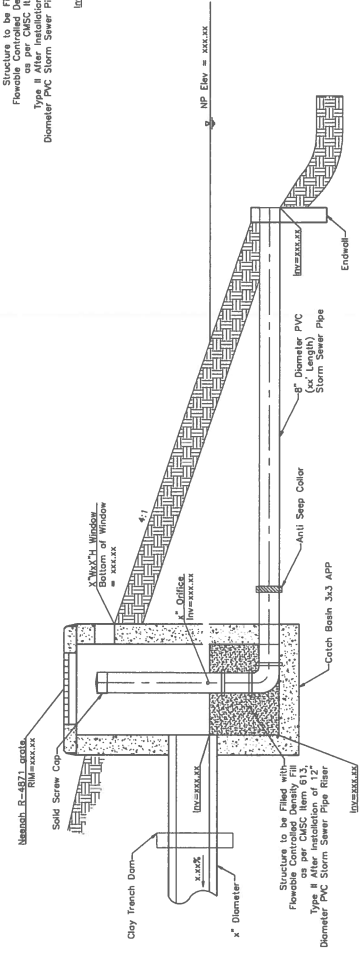
SCALE	None
SHEET NO	20171514
SUBJECT	Exhibit A



BASIN 01 PERMANENT OUTLET STRUCTURE
Not to Scale



BASIN 02 PERMANENT OUTLET STRUCTURE
Not to Scale



BASIN 03 PERMANENT OUTLET STRUCTURE
Not to Scale

EXHIBIT B:
Stormwater Tributary Map

MARK	DATE	DESCRIPTION

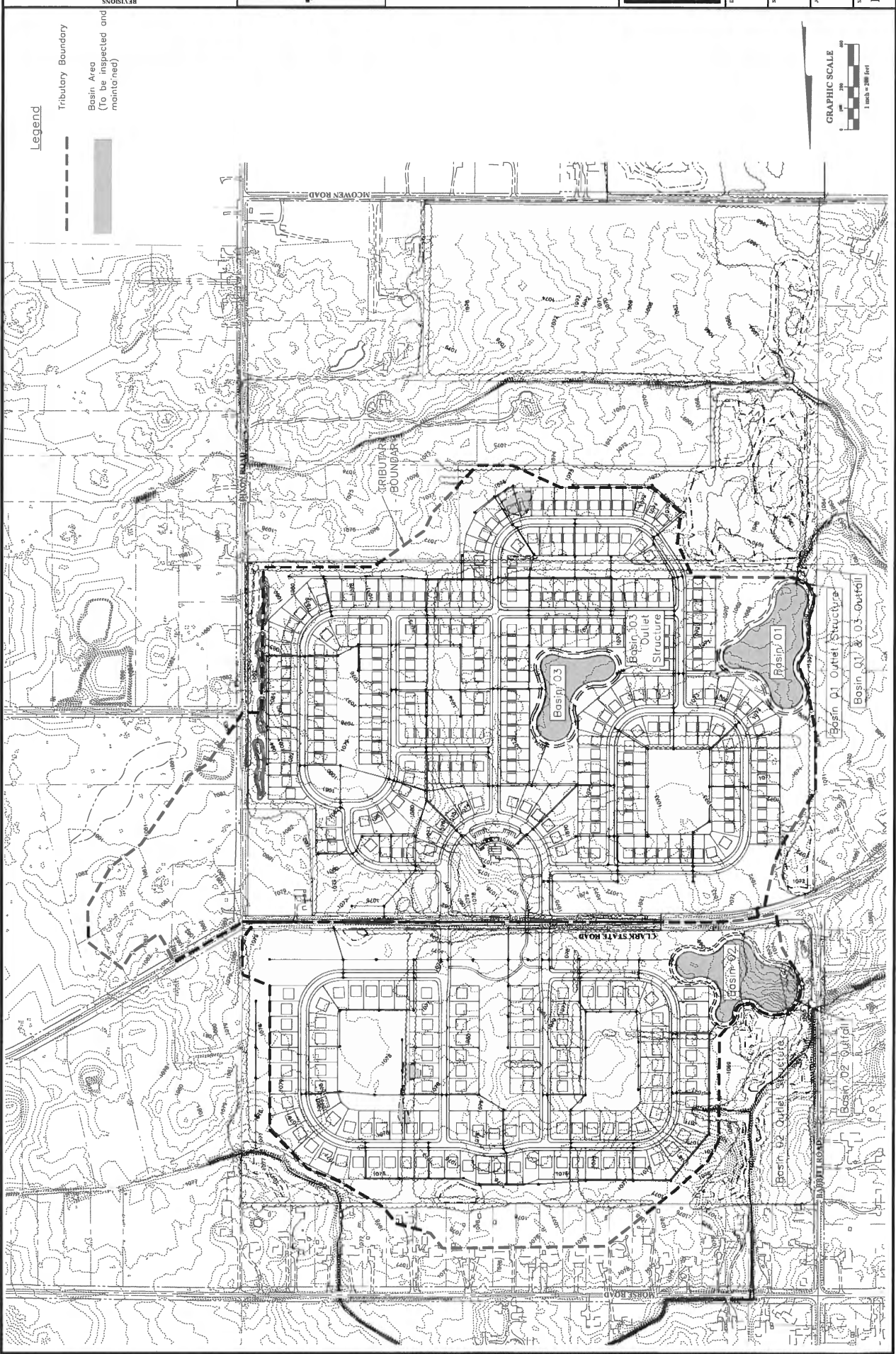
M/I HOMES
Move Up
mihomes.com

THE FARMS AT JEFFERSON
FOR
POST CONSTRUCTION OPERATION & MAINTENANCE PLAN
SITE MAP

EMHT
Environmental Management & Technology, Inc.
10000 North American Blvd., Suite 200
Dallas, Texas 75244
Phone: (972) 412-1234
Fax: (972) 412-1235
www.emht.com

DATE: Aug 2018
SCALE: 1" = 200'
JOB NO.: 20171516
SHEET:

Exhibit B



SUBDIVIDERS AGREEMENT – COUNTY OF FRANKLIN, OHIO

To be signed and submitted with the Construction Plan

Note: The county engineer must approve form and content of actual agreement.

This agreement between M/I Homes of Central Ohio, the subdivider, and the County of Franklin concerning the Farms at Jefferson subdivision plat, shall set out conditions, requirements and considerations relative to the construction of required improvements and the issuance of county zoning, building, and health permits for lots and reserves in the above named subdivision. This Agreement shall be binding on the subdivider(s) and his/her/their personal representatives, heirs and assigns, upon the submission and approval of the construction plan and shall be subject to the following:

- A. All improvement plans (street, drainage, storm water management, sanitary, water, erosion and sedimentation control, grading, etc.) shall be signed by the subdivider's engineer. Improvement plans approved by the county engineer, county drainage engineer, county sanitary engineer, or Franklin County Public Health shall be a part of this Agreement.
- B. Requirements and provisions of the subdivision plat and Subdivision Regulations of Franklin County, Ohio shall be part of this Agreement.
- C. No county zoning, building, or health permits shall be issued for development of lots or reserves in this subdivision until all required improvements have been properly completed to the satisfaction of the county engineer and the Franklin County Economic Development and Planning Department.
- D. The Subdivider further agrees that any violation of, or unsatisfactory compliance with, any provision, stipulation, or requirement of this Agreement, the subdivision plat, or the Subdivision Regulations of Franklin County, Ohio shall constitute a breach of contract and may subject the Subdivider and subdivision to enforcement measures such as, but not limited to: stop work orders, use of surety, forfeiture of deposited funds, moratoria on development permits, fines, revocation of approvals or permits, plat recall, etc.
- E. All work shall be performed within a _____ period from the approval date of the Final Plat. However, an extension of time may be granted if approved by the Board of Franklin County Commissioners.

Vicki Cole
First Witness

[Signature]
Subdivider
M/I Homes

5-15-18
Date

First Witness

Subdivider

Date

Franklin County Engineer

Date



692-PP



Commissioners
 Marilyn Brown, President
 Paula Brooks
 John O'Grady

Economic Development & Planning Department
 James Schimmer, Director

Application for
Zoning Variance

Revised January 1, 2009

RECEIVED
 MAY 10 2018
 Franklin County Planning Department
 Franklin County, OH

VA-3903

VA

Property Information	
Site Address 392 Rosslyn Avenue, Columbus OH	
Parcel ID(s) 254 15 165600	Zoning Rural (R)
Township Sharon	Acreage 0.19
Water Supply <input checked="" type="checkbox"/> Public (Central) <input type="checkbox"/> Private (Onsite)	Wastewater Treatment <input checked="" type="checkbox"/> Public (Central) <input type="checkbox"/> Private (Onsite)

Applicant Information	
Name/Company Name RONA HOMES LLC	
Address 30 W. BROAD ST PO BOX 1498 PATASKALA OHIO 43062	
Phone # 740 927 9921	Fax # 740 927 9433
Email ronjr@ronahomes.com	

Property Owner Information	
Name/Company Name James Rogers	
Address 370 W. Kanawha Ave Columbus OH 43214	
Phone # 614 397 7431	Fax #
Email	

Agent Information (if applicable)	
Name/Company Name De Fourny Realtors & company	
Address 4840 N. High St Columbus OHIO	
Phone # 614-267-7400	Fax #
Email John@d4ny.com John DeFourny	

Staff Use Only
Case # VA-3903
Date filed: 5/9/2018
Fee paid 350.00
Receipt #
Received by: PJA
Hearing date: 6-18-18
Zoning Compliance:

Document Submission
The following documents must accompany this application:
<input checked="" type="checkbox"/> Completed application
<input checked="" type="checkbox"/> Fee Payment (Checks only)
<input checked="" type="checkbox"/> Auditor's map (8 1/2" x 11")
<input checked="" type="checkbox"/> Site Map (max 11" x 17")
<input checked="" type="checkbox"/> Covenants and deed
<input checked="" type="checkbox"/> Notarized signatures
<input type="checkbox"/> Proof of water & waste water supply
Please see the Application Instructions for complete details

Variance(s) Requested

Section 302.041 Lot ~~and Area~~ ^{area + coverage}

Description Such lot shall not be covered more than twenty (20%)

Section 302.042 Minimum lot width: For a one-family dwelling, ^{by structure}

Description there shall be a lot width of one hundred and fifty (150) feet or more

Section Description: The lot width is 65 feet ^{at the front line of the dwelling}

Section: 302.043 Side Yard: For dwellings there shall be a

Description: total of twenty (20) feet or more

Describe the project with a minimum of eight (8) feet

or more on one (1) side.

→ The right side yard setback is 4.8 feet

→ Construct a 1500 sq ft residential dwelling (OBC STATE

CODE OFF FRAME MODULAR) with 22' x 22' attached

garage with appropriate steps, walkways, Concrete drive

with concrete apron

NOTE: To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.

NO - HOME BEING CONSTRUCTED SIMILAR TO OTHER PROPERTIES IN SAME ZONING DISTRICT

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

Yes

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

N/A

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

No

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

No

6. Can there be any beneficial use of the property without the variance?

No

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

Left 11.4' vs 12'

64.9' vs 150' min lot width

Right side yard
4.8' vs 8'

20% vs 25% lot area and coverage

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

NO

9. How would the variance adversely affect the delivery of governmental services?

(e.g., water, sewer, garbage, fire, police - Verification from local authorities - i.e. fire might be required)

NONE

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

Yes

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

No

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

Yes

Case #

Affidavit

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form.

[Signature] Applicant President Rona Homes LLC Date 5-5-18

[Signature] Property Owner (Signature must be notarized) Date 5-5-18
James A. Rogus personally appeared before me on 5/5/18.



MEGAN T. DeFOURNY
ATTORNEY AT LAW
Notary Public, State of Ohio
My Commission Has No Expiration Date
 Section 147.03 ORC

Property Owner (Signature must be notarized)

*Agent must provide documentation that they are legally representing the property owner.

**Approval does not invalidate any restrictions and/or covenants that are on the property.

RECEIVED
MAY 10 2018
Franklin County Planning Department
Franklin County, OH

VA-3903

254N079L 03400

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MAY 10 2018
Franklin County Planning Department
Franklin County, OH

VA-3903

