



Commissioner John O'Grady • Commissioner Marilyn Brown • Commissioner Kevin L. Boyce  
President

Economic Development & Planning Department  
James Schimmer, Director

# Technical Review Committee Agenda

Franklin County Engineer's Office  
970 Dublin Road  
Columbus, OH 43215

September 26, 2017  
1:30 p.m.

## 1. New Business

### A. Planning Commission

#### i. 667-FP – Matt Brown

<b>Owner/Applicant:</b>	Pulte Homes of Ohio, LLC
<b>Agent:</b>	EMH&T – Matthew Kirk
<b>Township:</b>	Jefferson Township
<b>Site:</b>	Jefferson Run (PID #171-000029)
<b>Acreage:</b>	4.836-acres
<b>Utilities:</b>	Public water and wastewater
<b>Request:</b>	Requesting Final Plat approval of the Villages at Jefferson Run Phase 4 subdivision to allow the creation of 24 single-family lots.

#### ii. 686-V – Brad Fisher

<b>Owner/Applicant:</b>	Thomas & Jessie Crook
<b>Agent:</b>	Jackson B. Reynolds III, c/o Smith & Hale LLC.
<b>Township:</b>	Brown Township
<b>Site:</b>	1525 Cole Rd. (PID #120-000221 & 120-001006)
<b>Acreage:</b>	11.113-acres
<b>Utilities:</b>	Private water and wastewater
<b>Request:</b>	Requesting a variance from Section 501.05 of the Franklin County Subdivision Regulations to allow a lot line adjustment that will result in a property that exceeds the maximum depth to width ratio.

**iii. 667-V – Matt Brown**

<b>Owner/Applicant:</b>	Pulte Homes of Ohio, LLC
<b>Engineer:</b>	EMH&T – Jeff Strung
<b>Township:</b>	Jefferson Township
<b>Site:</b>	Jefferson Run (PID #171-000966)
<b>Acreage:</b>	3.980-acres
<b>Utilities:</b>	Public water and wastewater
<b>Request:</b>	Requesting a variance from Section 502.15 of the Franklin County Subdivision Regulations to allow the construction of a subdivision with a street that fails to meet the minimum centerline radius requirement.

**iv. 667-PP-R – Matt Brown**

<b>Owner/Applicant:</b>	Pulte Homes of Ohio, LLC
<b>Engineer:</b>	EMH&T – Jeff Strung
<b>Township:</b>	Jefferson Township
<b>Site:</b>	Jefferson Run (PID #171-000966 & 171000029))
<b>Acreage:</b>	18.000-acres
<b>Utilities:</b>	Public water and wastewater
<b>Request:</b>	Requesting approval of a revised preliminary plan for the Villages at Jefferson Run Phases 1, 5 and 6.

**v. ZON-17-07 – Brad Fisher**

<b>Owner/Applicant:</b>	Carl & Stacy Woodford
<b>Township:</b>	Franklin Township
<b>Site:</b>	4150 Shoppers Ln. (PID #140-007202)
<b>Acreage:</b>	0.945-acres
<b>Utilities:</b>	Public water and wastewater
<b>Request:</b>	Requesting to rezone from the General Industrial district to the Community Service district.

**B. Board of Zoning Appeals**

**i. VA-3889 – Brad Fisher**

<b>Owner/Applicant:</b>	Kenneth & Rebecca Storey
<b>Township:</b>	Truro Township
<b>Site:</b>	1614 Truro Ave. (PID #263-000092)
<b>Acreage:</b>	0.470-acres
<b>Utilities:</b>	Public water and Private wastewater
<b>Request:</b>	Requesting a variance from Section 512.02 of the Franklin County Zoning Resolution to allow a property to exceed the maximum number of accessory buildings in an area zoned Rural.

ii. **VA-3890 – Brad Fisher**

<b>Owner/Applicant:</b>	Peter & Julia Ferguson
<b>Agent:</b>	Robert DiCuccio
<b>Township:</b>	Norwich Township
<b>Site:</b>	4384 Dublin Rd. (PID #200-000233)
<b>Acreage:</b>	3.953-acres
<b>Utilities:</b>	Private water and wastewater
<b>Request:</b>	Requesting a variance from Section 302.041(a) and 302.42 of the Franklin County Zoning Resolution to allow the creation of lots that would not meet the minimum lot size and lot width in an area zoned Rural.

**2. Adjournment of Meeting to October 24, 2017.**

SEP 12 2017

# **SUBDIVISION FINAL PLAT APPLICATION**

Franklin County Development Department – Franklin County Planning Commission  
150 S. Front Street, FSL Suite 10 Columbus, OH 43215 Phone: (614) 525-3094

Date Submitted: 9/12/17

Received By: Math Brown

Date Accepted / Rejected \_\_\_\_/\_\_\_\_/\_\_\_\_

By: \_\_\_\_\_

Application No.: 8667-FP(d) Fee: \$3,150

FCPC Date: \_\_\_\_/\_\_\_\_/\_\_\_\_

**Property Owner/Subdivider**

Signature: John P. [unclear]

Date: 9 / 6 / 17

Name: STEVE PECK

Address: 4900 TUTTLE CROSSING BLVD

City, State, Zip: DUBLIN, OHIO 43016 Phone No.: (614) 376-1082

Phone No.: (614) 376-1082

**Engineer/Surveyor**

Signature: Matthew A. Rish

Date: 9/6/17

Name: MATTHEW A. KIRK

Address: 5500 NEW ALBANY ROAD

City, State, Zip: COLUMBUS, OHIO, 43054 Phone No.: (614) 775-4131



# VILLAGES AT JEFFERSON RUN

## PHASE 4

1  
3

Situated in the State of Ohio, County of Franklin, Township of Jefferson, and in Quarter Township 4, Township 1, Range 16, United States Military Lands, containing 4.836 acres of land, more or less, said 4.836 acres being part of that tract of land conveyed to **PULTE HOMES OF OHIO LLC** by deed of record in Instrument Number 20140912012132, Recorder's Office, Franklin County, Ohio.

The undersigned, **PULTE HOMES OF OHIO LLC**, a Michigan limited liability company, by **MATTHEW J. CALLAHAN**, Division Vice President of Land Acquisition, owner of the land platted herein, duly authorized in the premises, does hereby certify that this plat correctly represents its "VILLAGES AT JEFFERSON RUN PHASE 4", a subdivision containing Lots numbered 106 to 129, both inclusive, does hereby accept this plat of same and dedicates to public use, as such, all of the Drive and Streets shown hereon and not heretofore dedicated.

In consideration of approval of this plat, the undersigned understands and agrees to fulfill their obligations and responsibilities reflected in the subdivision's agreement and the subdivision regulations of Franklin County, Ohio. Zoning, building and health permits may be withheld in this subdivision until the subdivider has complied with the subdivider's agreement.

Easements are hereby reserved in, over and under areas designated on this plat as "Easement" or "Drainage Easement". Each of the aforementioned designated easements permit the construction, operation and maintenance of all public and quasi-public utilities above, beneath and on the surface of the ground and, where necessary, are for the construction, operation and maintenance of service connections to all adjacent lots and lands and for storm water drainage. Within those areas designated "Drainage Easement" on this plat, an additional easement is hereby reserved for the purpose of constructing, operating and maintaining major storm water drainage swales and/or other above ground storm water drainage facilities. No above grade structures, dams or other obstructions to the flow of storm water runoff are permitted within Drainage Easement areas as delineated on this plat unless approved by the Franklin County Engineer. Easement areas shown hereon outside of the platted area are within lands owned by the undersigned and easements are hereby reserved thereon for the uses and purposes as expressed herein.

Iron pins shall be set at all lot corners prior to the transfer and acceptance of any street for public purpose.

In Witness Whereof, **MATTHEW J. CALLAHAN**, Division Vice President of Land Acquisition of **PULTE HOMES OF OHIO LLC**, has hereunto set his hand this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Signed and Acknowledged  
In the presence of:

**PULTE HOMES OF OHIO LLC**

By

**MATTHEW J. CALLAHAN**,  
Division Vice President of  
Land Acquisition

STATE OF OHIO  
COUNTY OF FRANKLIN ss:

Before me, a Notary Public in and for said State, personally appeared **MATTHEW J. CALLAHAN**, Division Vice President of Land Acquisition of **PULTE HOMES OF OHIO LLC**, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed and the voluntary act and deed of said **PULTE HOMES OF OHIO LLC**, for the uses and purposes expressed herein.

In Witness Whereof, I have hereunto set my hand and affixed my official seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

My commission expires \_\_\_\_\_

Notary Public, State of Ohio

The undersigned hereby certifies that this subdivision plat conforms to applicable zoning regulation(s).

Approved this \_\_\_\_\_ Day of \_\_\_\_\_  
20\_\_\_\_ Jefferson Township Zoning Inspector

The undersigned hereby certifies adequate and legal water and sanitary sewer plant capacities exist to serve this subdivision.

Approved this \_\_\_\_\_ Day of \_\_\_\_\_  
20\_\_\_\_ Director,  
Jefferson Water and Sewer District

The undersigned hereby certifies that this subdivision plat conforms to applicable subdivision regulations.

Approved this \_\_\_\_\_ Day of \_\_\_\_\_  
20\_\_\_\_ Franklin County Planning Commission

Approved this \_\_\_\_\_ Day of \_\_\_\_\_  
20\_\_\_\_ Franklin County Engineer

Approved this \_\_\_\_\_ Day of \_\_\_\_\_  
20\_\_\_\_ Franklin County Drainage Engineer

This \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, rights-of-way for the Drive and Streets herein dedicated to public use are hereby approved and accepted as such for the County of Franklin, State of Ohio

Franklin County Commissioners

This plat shall not be transferred or recorded until all required signatures are secured.

Transferred this \_\_\_\_\_ day of \_\_\_\_\_,  
20\_\_\_\_ Auditor, Franklin County, Ohio

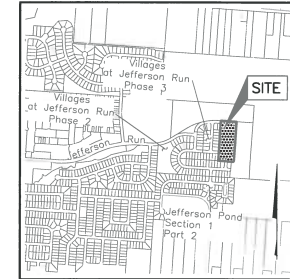
Deputy Auditor, Franklin County, Ohio

Filed for record this \_\_\_\_\_ day of \_\_\_\_\_,  
20\_\_\_\_ at \_\_\_\_\_ M. Fee \$\_\_\_\_ Recorder, Franklin County, Ohio

File No. \_\_\_\_\_

Recorded this \_\_\_\_\_ day of \_\_\_\_\_,  
20\_\_\_\_ Deputy Recorder, Franklin County, Ohio

Plat Book \_\_\_\_\_, Pages \_\_\_\_\_



LOCATION MAP AND BACKGROUND DRAWING

NOT TO SCALE

### SURVEY DATA:

**BASIS OF BEARINGS:** The bearings shown hereon are based the bearing of North 03° 44' 12" West for the easterly line of "Wagoner Chase North", a subdivision of record in Plat Book 102, Page 35.

**SOURCE OF DATA:** The sources of recorded survey data referenced in the plan and text of this plat are the records of the Recorder's Office, Franklin County, Ohio.

**IRON PINS:** Iron pins, where indicated hereon, unless otherwise noted, are to be set and are iron pins, thirteen sixteenths inch inside diameter, thirty inches long with a plastic plug placed in the top end bearing the initials EMHT INC.

**PERMANENT MARKERS:** Permanent markers, where indicated hereon in the public street centerline, are to be one-inch diameter, thirty-inch long, solid iron pins, are to be set to monument the points indicated, are to be set after the construction/installation of the street pavement and are to be set with the top end one-fourth inch below the top of the pavement. Once installed, the top of the pin shall be marked (punched) to record the actual location of the point. Permanent markers, where indicated hereon in positions other than in the public street centerline, are to be one-inch diameter, thirty-inch long, solid iron pins, are to be set to monument the points indicated and are to be set with the top end flush with the surface of the ground and then capped with an aluminum cap stamped EMHT INC. Once installed, the top of the cap shall be marked (punched) to record the actual location of the point.

SURVEYED & PLATTED  
BY



We do hereby certify that we have surveyed the above premises, prepared the attached plat, and that said plat is correct. All dimensions are in feet and decimal parts thereof.

○ = Iron Pin (See Survey Data)  
● = MAG Nail to be set  
⊗ = Permanent Marker (See Survey Data)

RECEIVED

SEP 12 2017

Franklin County Planning Department  
Franklin County, OH

6607-FA(4)

By \_\_\_\_\_ Professional Surveyor No. 7885 Date \_\_\_\_\_

# VILLAGES AT JEFFERSON RUN

## PHASE 4

2  
3

NOTE "A": At the time of platting, all of the land hereby being platted as Villages at Jefferson Run Phase 4 is in Zone X (Areas determined to be outside of the 0.2% annual chance floodplain), as designated and delineated on the FEMA Flood Insurance Map for Franklin County, Ohio, and Incorporated Areas, map number 39049C0219K, with an effective date of June 17, 2008.

NOTE "B": The purpose of this plat is to show certain property, rights of way, and easement boundaries as of the time of platting. At the request of zoning and planning authorities at the time of platting, this plat shows some of the limitations and requirements of the zoning code in effect on the date of filing this plat for reference only. The limitations and requirements may change from time to time and should be reviewed to determine the then current applicable use and development limitations of the zoning code as adopted by the government authority having jurisdiction. The then applicable zoning code shall have control over conflicting limitations and requirements that may be shown on this plat. This note should not be construed as creating plat or subdivision restrictions, private use restrictions, covenants running with the land or title encumbrances of any nature, except to the extent specifically identified as such.

NOTE "C": At the time of platting, all of Villages at Jefferson Run Phase 4 is in the Licking Heights Local School District.

### NOTE "D" - ACREAGE BREAKDOWN:

Total acreage: 4.836 Ac.  
Acreage in right-of-way: 1.258 Ac.  
Acreage in remaining lots: 3.578 Ac.

NOTE "E" - ACREAGE BREAKDOWN: Villages at Jefferson Run Phase 4 is out of the following Franklin County Parcel Number:

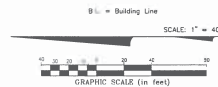
Parcel Number 171-000029 4.836 Ac.

NOTE "F": Sub streets are intended to be extended in the future for access to adjacent properties. No extension of the sub street will be allowed without plat or deed.

NOTE "G" - LOTS IN VILLAGES AT JEFFERSON RUN PHASE 4: Prior to the construction of the footing/foundation for the building to be constructed on each of lots 106 and 107, 109 through 112, 118 through 126, and 129, all inclusive, the builder of such building shall confer with the Franklin County Economic Development and Planning Department for the purpose of determining if special foundation and/or basement construction techniques and/or materials are to be employed on such lot.

NOTE "H": At the time of platting, electric, cable, and telephone service providers have not issued information required so that easement areas, in addition to those shown on this plat as deemed necessary by these providers for the installation and maintenance of all of their main line facilities, could conveniently be shown on this plat. Existing recorded easement information about Villages at Jefferson Run Phase 4 or any part thereof can be acquired by a competent examination of the then current public records, including those in the Franklin County Recorder's Office.

JEFFERSON RUN SECTION 2  
P.B. 102, P. 33  
RESERVE "C"



CURVE TABLE				
CURVE NO.	DELTA	RADIUS	CHORD BEARING	CHORD DISTANCE
C1	90°00'00"	25.00'	39.27' N 48°30'08" E	35.36'
C2	90°00'00"	25.00'	39.27' S 41°23'52" E	35.36'
C3	90°00'00"	25.00'	39.27' S 48°30'08" W	35.36'
C4	90°00'00"	25.00'	39.27' S 41°23'52" E	35.36'
C5	81°11'08"	950.00'	102.58' N 89°29'28" W	102.51'



1. The shaded area (designated the Storm Water Maintenance Easement) has been granted to the Franklin County Commissioners so that the Franklin County Drainage Engineer can maintain the Storm Sewers, Subsurface Drains, Structures and Culverts.

- This sheet is for information purposes only and is not intended to create plat restrictions. More information required regarding the Ditch Maintenance Plan can be acquired by a competent examination of the then current public records, including those in the Recorder's Office, Franklin County, Ohio

Hatching for ditch maintenance areas are shown here at constant widths. However actual widths of allowable maintenance areas vary based on size of pipe and easement. Ditch maintenance allows ingress egress to all areas requiring maintenance and will require funding sufficient to maintain adequate drainage.

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SEP 07 2017

Franklin County Planning Department  
Franklin County, OH

**VARIANCE or APPEAL APPLICATION**  
for unincorporated Franklin County

Franklin County Development Department – Franklin County Planning Commission  
150 S. Front Street, FSL Suite 10 Columbus, OH 43215 Phone: (614) 525-3094

to be completed by FCPC Staff

Date Submitted: 9/7/17

Received By: BMF

Application No.: 686-V Fee: \$350

FCPC Date: 10/11/17

**Property Owner/Subdivider/or Agent**

Attorney for Jessie Bailey Crook

Signature: Jackson B. Reynolds, III

Date: 9/7/17

Name: Jessie Bailey Crook - attorney - Jackson B. Reynolds, III

Address: 37 West Broad Street, Suite 460

City, State, Zip: Columbus, OH 43215

Phone No: (614) 221-4255

Section numbers(s) of the county subdivision regulations and a brief description of variance(s) or appeal(s) requested:

Section 501.05 - Lot Geometry: to expand an existing non-conforming lot to increase size of existing home and outbuildings to allow sell of agricultural ground to abutting property owner. The existing lot is approximately 5.015 acres and the proposed lot size of 16.171 acres. The lot depth ratio would go from 22.3:1 to 28.5:1 or an increase of 6.2 of depth to lot width.

Use a separate sheet to present additional description or information explaining why you feel the FCPC should grant the requested variance(s) or appeal(s).

Variance Statement  
 Jessie Bailey Crook  
 1525 Cole Road

Section 701.01

- A. It shall be detrimental to the public health or safety or be injurious to other property;

*The proposed new lot configuration will not be detrimental to the public health or safety nor will it be injurious to any abutting properties.*

- B. Circumstances of the request are unique to the property and not generally applicable to others;

*The circumstances are unique because the applicant/owner created the existing 5± acres a number of years ago without including other elements of the homestead because she owned the abutting property on which the pond, orchard and outbuildings are located. Now the applicant/owner wants to sell the farmable acreage to the abutting owner and wishes to maintain the pond, orchard and outbuildings on the same lot with the existing house, so the situation is unique.*

- C. Due to physical surroundings, shape or characteristics of the property, a hardship would result, as distinguished from an inconvenience, if the strict letter of these regulations were enforced.

*The shape of the proposed lot is necessary in order to include all the homestead features on the lot with the existing house. The existing lot is being extended south and west to pick up important features of the homestead thereby creating the need for the variance. The existing lot is non-conforming for the width to depth ratio so the requested variance only increases the non-conformity from 22.3 to 1 to 28.3 to 1 or an increase of 6.2 of depth to lot width. A hardship would be created for the applicant/owner if the variance is not granted as many valuable features would be excluded from the homestead parcel.*

Section 701.07

- A. The particular physical surroundings, environmental constraints, shape, topographical or other exceptional condition of the specific property involved would cause extraordinary hardship or exceptional practical difficulty to the applicant, as distinguished from a mere inconvenience, if the provisions of these Subdivision Regulations were strictly enforced; and

*The applicant/owner would suffer a hardship if the variance is not granted because the original 5 acre lot split did not include valuable portions of the family*

*homestead including a pond, outbuildings and an orchard. The proposed lot will include those items with the new configuration. The abutting owner is purchasing the farming area to the north of the house and has no interest in the pond, outbuildings nor orchard. The inclusion of these significant items is not a mere inconvenience but a matter of keeping the family homestead together.*

- B. The conditions upon which the request for a variance is based are unusual to the property for which the variation is sought and are not applicable generally to other property; and

*The conditions are unusual in this instance because the 5 acre tract was already non-conforming for the lot depth to width ratio so the requested variance is simply a slight increase in the non-conformity of the existing lot. There are a number of flag shaped lots found in the county but rarely does one find an example where the flag portion is enlarged to add key elements of the homestead to the existing house lot.*

- C. The purpose of the variance is not based exclusively upon a desire to obtain additional income from the property; and

*The request is made to insure that the pond, outbuilding and orchard that have been a part of the family farm stay with the homestead rather than separated as they are now (but under the same ownership) so the request is not being made to obtain additional income but maintain family assets.*

- D. The granting of the variance will not be detrimental to the public health, safety or general welfare or injurious to other property or improvements in the neighborhood in which the property is located; and

*No, the proposed lot (through the requested variance) will not have any detrimental impacts on neighboring properties. There will be no new structures, roads, leach beds, etc.... The request is to simply keep family items on the same lot as the existing home.*

- E. The special circumstances or conditions are created by the provisions or requirements of these regulations and have not resulted from any act of the applicant or applicant's predecessor in interest; and

*The applicant/owner wants to preserve the family homestead which includes the pond, outbuilding and orchard with the house, and therefore the variance request. The house lot was legally split out a number of years ago and now the applicant/owner wants to preserve the items with the home lot therefore the increased site lot (from 5± acres to 16± acres) and therefore the variance request to slightly increase the non-conforming status of the existing 5± acre lot.*



- F. The variance requested is the minimum adjustment necessary for the reasonable use of the land.

*The requested lot was devised to make the new lot conform with the subdivision as close as possible and the resulting variance request was the minimum outcome of devising the new lot. The new lot is a reasonable use of the land as it includes the home, outbuildings, pond and the existing orchard.*

crook-variance.ste (nct)  
9/7/17 S:Docs

RECEIVED

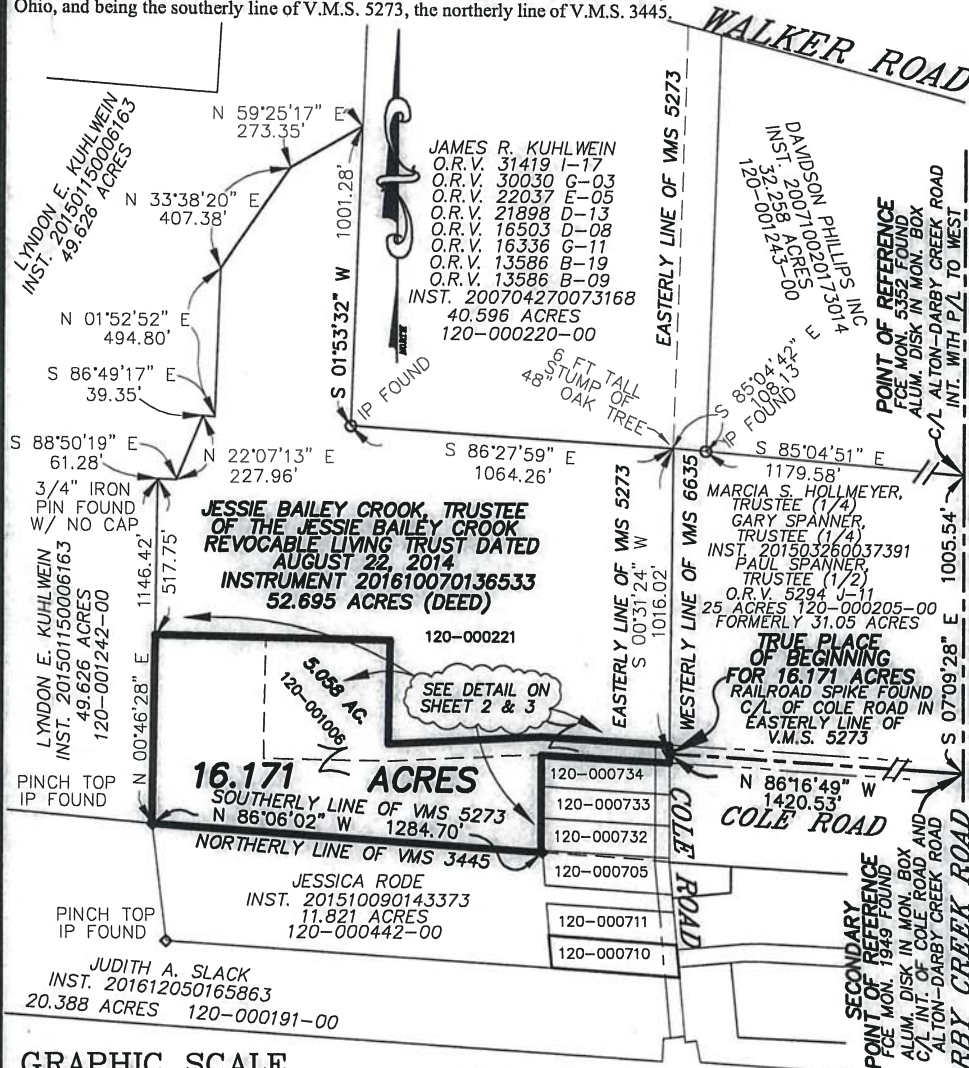
SEP 07 2017

Franklin County Planning Department  
Franklin County, OH

686-V

**PLAT OF 16.171 ACRES**  
**VIRGINIA MILITARY SURVEY 5273**  
**TOWNSHIP OF BROWN, COUNTY OF FRANKLIN, STATE OF OHIO**

For the purpose of this description, a bearing of North 86°06'02" West, was used on the southerly line of that 52.695 acre tract of land owned by Jessie Bailey Crook, Trustee of The Jessie Bailey Crook Revocable Living Trust dated August 22, 2014, of record in Instrument 201610070136533, on file in the Office of the Recorder, Franklin County, Ohio, and being the southerly line of V.M.S. 5273, the northerly line of V.M.S. 3445.



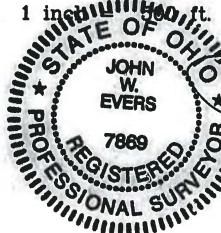
GRAPHIC SCALE



INTERSTATE ROUTE 70

( IN FEET )

1 inch = 100 ft.



PRECISION SURVEYING SERVICES, LLC  
CONSULTING SURVEYORS

*John W. Evers* 7-31-2017  
JOHN W. EVERS P.S. 7869

CLIENT			
JESSIE B. CROOK, TRUSTEE			
PRECISION SURVEYING SERVICES, LLC.			
9055 S.R. 56 S.E.			
MT. STERLING, OHIO 43143			
CELL ~ (614) 595-9412		OFFICE ~ (740) 845-1422	
DRAWN BY: JWE	CHECKED BY: JWE	ORDER No.	AREA No.
SCALE: 1"=500'	DATE: JUNE 01, 2016	FRA	SHEET 1 OF 3



SEP 07 2017

686-V

SHEET

RECEIVED

SEP 07 2017

Franklin County Planning Department  
Franklin County, OH

696-V

**PLAT OF 16.171 ACRES  
VIRGINIA MILITARY SURVEY 5273  
TOWNSHIP OF BROWN, COUNTY OF FRANKLIN, STATE OF OHIO**

For the purpose of this description, a bearing of North 86°06'02" West, was used on the southerly line of that 52.695 acre tract of land owned by Jessie Bailey Crook, Trustee of The Jessie Bailey Crook Revocable Living Trust dated August 22, 2014, of record in Instrument 201610070136533, on file in the Office of the Recorder, Franklin County, Ohio, and being the southerly line of V.M.S. 5273, the northerly line of V.M.S. 3445.

**JESSIE BAILEY CROOK, TRUSTEE  
OF THE JESSIE BAILEY CROOK  
REVOCABLE LIVING TRUST DATED  
AUGUST 22, 2014  
INSTRUMENT 201610070136533  
52.695 ACRES  
120-000221**

**TRUE PLACE OF BEGINNING  
FOR 16.171 ACRES  
RAILROAD SPIKE FOUND  
C/L OF COLE ROAD IN  
EASTERLY LINE OF  
V.M.S. 5273**

**INSTRUMENT 201610070136532  
5.058 ACRES  
120-001006**

**JESSIE BAILEY CROOK, TRUSTEE  
OF THE JESSIE BAILEY CROOK  
REVOCABLE LIVING TRUST DATED  
AUGUST 22, 2014**

**GRAPHIC SCALE**  
0 50 100 200  
( IN FEET )  
1 inch = 100 ft.

**ROBERT D. &  
ANNE M. GORDON  
ORV 20438 F-02  
120-000734-00  
1.028 ACRES**

**16.171  
ACRES**

120-000221

**LONNIE B. WELLS  
ORV 06551 E-15 (HALF INTEREST)  
ORV 25333 F20 (HALF INTEREST)  
1/2" SOLID BAR  
FOUND - NO CAP  
1.028 ACRES  
120-000733-00**

**JEFFREY W. LEWIS, AND  
KAREN ELLA KEEFER LEWIS  
INST 200705020076630  
1.028 ACRES  
120-000732-00**

**N 86°06'02" W  
1284.70'**

**SOUTHERLY LINE OF VMS 5273**

**NORTHERLY LINE OF VMS 3445**

**RONALD K. SNIDER AND CORAL L. SNIDER,  
CO-TRUSTEES OF THE RONALD K. SNIDER  
AND CORAL L. SNIDER JOINT REVOCABLE  
TRUST AGREEMENT  
INST. 201401240010079  
1.129 ACRE TOTAL  
120-000705-00**

**PARCEL 1  
0.087 AC.**

**PARCEL 2  
1.042 AC.**

**SARA A. HOFINGER  
INST. 199803270071944  
1.029 ACRES TR2  
120-000711-00**

**PRECISION SURVEYING SERVICES, LLC  
CONSULTING SURVEYORS**

◇ = PINCH TOP IP FOUND  
● = 30" IRON PIN SET WITH CAP



**JOHN W. EVERS P.S. 7869**

CLIENT <b>JESSIE B. CROOK, TRUSTEE</b>			
<b>PRECISION SURVEYING SERVICES, LLC.</b>			
9055 S.R. 56 S.E. MT. STERLING, OHIO 43143			
CELL ~ (614) 595-9412		OFFICE ~ (740) 845-1422	
DRAWN BY: <b>JWE</b>	CHECKED BY: <b>JWE</b>	ORDER No.	AREA No.
SCALE: 1"=100'	DATE: <b>JUNE 01, 2016</b>	FRA	SHEET <b>2 OF 3</b>

RECEIVED

SEP 19 2017

Franklin County Planning Department  
Franklin County, OH

**VARIANCE or APPEAL APPLICATION**

for unincorporated Franklin County

Franklin County Development Department – Franklin County Planning Commission  
150 S. Front Street, FSL Suite 10 Columbus, OH 43215 Phone: (614) 525-3094

to be completed by FCPC Staff

Date Submitted: 9/19/17

Received By: Matt Brown

Application No.: 667-V Fee: \$350.00

FCPC Date:    /   /   

**Property Owner/Subdivider/or Agent**

Signature: 

Date: 09/19/17

Name: EMH&T (Jeffrey A. Strung)

Address: 5500 New Albany Road

City, State, Zip: Columbus, Ohio 43054 Phone No: (614) 775-4700

Section numbers(s) of the county subdivision regulations and a brief description of variance(s) or appeal(s) requested:

See Attached

Use a separate sheet to present additional description or information explaining why you feel the FCPC should grant the requested variance(s) or appeal(s).

## Variance Application to Section 502.15 Streets Classification and Design

On behalf of our client, Pulte Homes, we are respectfully requesting a divergence from the Franklin County Subdivision Regulations Section 502.15 Streets Classification and Design to allow for a public street, Snipe View Loop, to have a minimum centerline radius of seventy-five feet instead of the required one-hundred and seventy-five feet and a minimum pavement width of nineteen feet instead of the required twenty-five feet for a local curbed and gutter street as shown on the preliminary plan. We are requesting the divergence within Village Area "A", as defined in the rezoning for Villages at Jefferson Run, in order to eliminate individual curb cuts along Jefferson Run at the entrance of the development as well as preserve the existing stream located within the development. We have designed the fourteen lots within phase one as a loop street with lots located on one side of the public street with the exception of lots 13 and 14.

This variance request is an amendment to the originally approved variance that allowed the loop street design however lots 13 and 14 faced Jefferson Run along with four other lots with a private street access from the rear of the lots. The developer is requesting to allow the two additional lots, 13 and 14, to take access from Snipe View Loop and to remove the other four lots and to convert them into additional open space. Due to market conditions, it was determined it would be difficult to sell the original six lots that faced Jefferson Run with a private road access from the rear of the lots.

Therefore, we are requesting to allow access for the fourteen lots from Snipe View Loop with the reduced seventy-five foot radiuses and the reduced pavement width to minimize potential traffic congestion on Jefferson Run at the entrance of the development which is created by the unique size, configuration of the parcel and existing conditions. The loop street design is not only more desirable for fire safety access in comparison to a double loaded cul-de-sac, but it also allows the houses to face Waggoner Road instead of backing to it. Based on our meeting and subsequent conversations with the Franklin County Engineer's Office they in support of the variance.



667-11  
Revised Request



SEP 19 2017

Franklin County Planning Department  
Franklin County, OH

## for unincorporated Franklin County

Franklin County Development Department – Franklin County Planning Commission  
150 S. Front Street, FSL Suite 10 Columbus, OH 43215 Phone: (614) 525-3094

Date Submitted: 9/19/17

Received By: Math Brown

Date Accepted / Rejected \_\_\_\_/\_\_\_\_/\_\_\_\_

By: \_\_\_\_\_

Application No.: 667-PP-R Fee: \$9,450.00

FCPC Date: \_\_\_\_ / \_\_\_\_ / \_\_\_\_

Subdivision Name: Villages at Jefferson Run Township: Jefferson

Location of Property: South side of Jefferson Run east of Waggoner Road

Name: Pulte Homes

Address: 4900 Tuttle Crossing Drive

Dublin, Ohio 43016

Phone No.: ( 614 ) 376 - 1092

Name: Pulte Homes

Address: 4900 Tuttle Crossing Drive

Dublin, Ohio 43016

Phone No.: (614) 376 - 1092

Name: EMH&T (Attention Jeff Strung)

Address: 5500 New Albany Road

Columbus, Ohio 43054

Phone No.: ( 614 ) 775 - 4700

Total Number of Lots Proposed: 84

Total Area: 18.0 acres

Average Lot Dimension: 52 feet by 120 feet

Typical Lot Area: 0.14 acre(s)

Reserve Areas: 0.8 acres

Streets: 4.11 acres

Open Space: 0.8 acres

Current Zoning? SPRD

Number of Proposed Final Plat Phases: 3

Type of Water Supply Proposed: Southwest Licking County Water & Sewer District

Type of Wastewater Disposal Proposed: Southwest Licking County Water & Sewer District

Will the Subdivision Have Sidewalks? Yes Curb/gutter? Yes

**Is a Variance to the Franklin County Subdivision Regulations requested? YES/NO**  
**If YES, Variance application form must be attached with the Preliminary Plan application.**

Twenty (20) copies of the Preliminary Plan, including the E&S Plan, are submitted with this application.

The undersigned acknowledges this Preliminary Plan application does not constitute a Subdivision Plat application and understands the filing deadlines and meeting schedules associated with this request. Approval of a Preliminary Plan does not constitute acceptance of any public improvements shown. Such acceptance can only be made in conjunction with Final Plat requirements and procedures specified in the Franklin County Subdivision Regulations. The Subdivision Plat is not considered filed until a Final Plat application is submitted and accepted, in accordance with the Subdivision Regulations of Franklin County, Ohio.

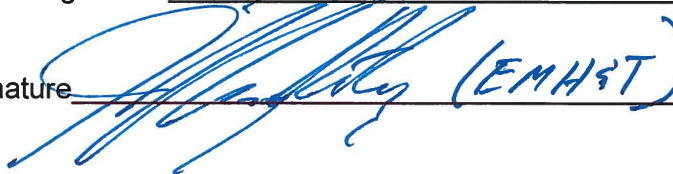
To the best of my knowledge and belief, information and materials submitted as a part of this Preliminary Plan application are correct, complete and accurate. The Franklin County Technical Review Group members are hereby granted permission to enter the property for inspection and review purposes.

Property Owner's Signature



Date: 9/19/2017

Engineer's Signature



Date: 9/19/17

## **EROSION AND SEDIMENT CONTROL POLICY**

### Franklin County Subdivision Regulations

#### **General:**

Per the Franklin County Subdivision Regulations, an Erosion and Sediment Control Plan shall be required for major subdivisions, may be required for other development and shall conform with the *Ohio Department of Natural Resources, Division of Soil and Water Conservation manual, "Rainwater and Land Development."* Implementation of approved erosion control measures should precede earth-disturbing activities. The Ohio Environmental Protection Agency (OPEA) may also have jurisdiction over earth-disturbing activities.

#### **Purpose:**

The erosion and sediment (E&S) control plan is required for the purpose of reducing pollution to public and/or private water by sediment from accelerated soil erosion associated with construction activity.

#### **E&S Control Plan Requirements:**

The E&S plan shall be a separate sheet, be a part of subdivision improvement plans, provide information regarding the entire site and shall include the following:

1. Vicinity Map – Map locating the site in relation to the surrounding area. Indicate the location of receiving waters.
2. Work Limits – Indicate the limits of earth-disturbing activity; include borrow, spoil and stockpile areas.
3. Existing Topography – The existing contours of the entire site and adjacent land should be shown on the plan. Changes to the existing contours should also be shown on the plan. A topographic map should contain an appropriate scale and contour interval to clearly depict the topography of the site.
4. Existing Vegetation – Show existing tree lines, unique vegetation and areas that may affect erosion and sediment controls. Existing vegetation shall remain along waterways: minimum width of buffer strip on each side of the stream shall be two and one-half times the stream width measured from the top of the streambank or 50 feet, whichever is greater.
5. Soils – Show boundaries of the different soil types. A table relating relevant information concerning their limitations for the proposed use may be necessary. Information pertaining to the limitations of soil type can be determined from the Franklin County Soil Survey and Soil Potential Index.

Topsoil shall be segregated and stockpiled during grading of the site and be reapplied before the establishment of permanent vegetation.

6. Existing Drainage Patterns – Drainage patterns should be evident on the plan. Include off-site areas susceptible to sediment deposits or to erosion caused by accelerated runoff, as well as off-site areas affecting potential accelerated runoff and erosion. Indicate size of drainage area contributing to the site. Include any known

existing agriculture field tiles that may be present on the site. Any subsurface drainage tiles encountered during development shall be rerouted or connected into the subdivision's drainage system to ensure that these systems will continue drain upland properties.

7. Special Notes for Critical Areas – Give details and specifications for practices protecting streams, steep slopes, designated trees or stands of trees, etc.
8. Site Development – Show all planned locations of buildings, parking facilities, roads, utilities, easements, etc. Existing structures and facilities should also be shown.
9. Location of Practices – Show the location of all erosion and sediment control and stormwater management practices to be used on-site. Include measures that are to be utilized temporarily or permanently.

Temporary sediment basins and/or traps are to be utilized as the primary means of trapping sediment on site. They should be situated within the lowest points of elevation along the perimeter of the property and also adjacent to waterways whose headwaters originate upslope of the property. Enough land must be reserved to accommodate sediment basins and/or traps sized at 67 cubic yards of storage volume per acre of drainage area. (Note: this is not the same as per acre disturbed acre or per acre of the site). If permanent stormwater management ponds are proposed for the site, they must be retrofit to serve as sediment basins during active construction periods. Basins and traps shall be installed prior to any grading of the site.

Sediment barriers shall be installed to intercept sheet runoff from disturbed areas that do not drain into sediment basins or traps.

Vegetative practices shall be utilized on all disturbed areas within seven days if they are to remain dormant (undisturbed) for more than 45 days. Disturbed areas within 50 feet of any stream shall be stabilized within seven days.

10. Surface Water Locations - Show locations of springs, wetlands, streams, lakes, etc., on or within 200 feet of the site.
11. Detailed Drawings – Any structural practices used should be explained and illustrated with detailed drawings. Detailed drawings should be included for only those practices used on-site.
12. Specifications for Stabilization – Specifications for temporary and permanent seeding, mulching, construction entrances, etc., should be given. Include seeding mixtures and rates, lime and fertilizer application rates, and type and quantity of mulching for both temporary and permanent stabilization.
13. Construction Sequence – Provide a schedule relating the implementation of erosion and sediment control practices and stormwater management practices to major construction operations. By properly scheduling the construction, both the extent of exposed ground and the duration of exposure can be minimized.



#### Example of Construction Sequence:

1. Clearing and grubbing for those areas necessary for installation of sediment basins and traps and perimeter controls.
  2. Installation of sediment basin/traps and perimeter control.
  3. Continuation of clearing and grubbing within the areas designated to be disturbed.
  4. Road grading.
  5. Sewer and utility installation.
  6. Final grading.
  7. Application of permanent vegetative cover.
14. Maintenance and Inspection – Provide notes and information regarding maintenance for each practice to ensure continued performance.
15. Plan Reference Data – Title, scale, direction, legend and date shall be provided on all plans. The plan should also include name, address and telephone number of person(s) preparing the plan, as well as the owner of the property.

#### Plan Review and Enforcement:

1. Plan Review and Site Inspection – During and at the end of the construction of the subdivision street(s), utilities, etc., the erosion and sedimentation (E&S) control practices will be monitored by the Franklin Soil and Water Conservation District (FSWCD) personnel. The FSWCD personnel, based on a cooperative agreement with the Franklin County Commissioners and Franklin County Engineer, are responsible for plan review and approval will make periodic site inspections to ensure compliance. During inspections it may be determined that other erosion control practices, not already specified on this plan, may be necessary due to unforeseen environmental conditions and/or changes in drainage patterns caused by earth-moving activity.
2. Enforcement – Several milestones are reached at the end of the development process, which will be utilized to ensure proper placement of required conservation practices per the above.
  - A. Release of Surety – No surety, all or in part, will be released until the Franklin County Engineer's office is notified by FSWCD staff that the E&S practices, as previously approved, are in place and are properly functioning.
  - B. "Progress Letter" – The "progress letter" from the Franklin County Engineer to the Franklin County Development Department (providing assurance that street construction has been sufficiently and properly completed such that commencement of house construction is appropriate) will be forwarded only after assurance is received indicating all approved E&S practices are in place and are properly functioning.
  - C. Street Completion – The transfer and acceptance of any street for public purpose will occur only after assurance is received that all approved E&S practices are in place and are properly functioning.

- D. Building Permits and Inspections – The Franklin County Development Department, in cooperation with the FSWCD, reserves the right to withhold the issuance of building permits and inspections at any time during the homebuilding phase of the project until assurance is received that all approved erosion and sediment control practices are in place and are properly functioning.
- E. The Franklin County Planning Commission, in cooperation with the Franklin County Prosecuting Attorney's office and the FSWCD, reserve the right to pursue necessary legal actions at any time during the construction phases of the project to ensure compliance with the approved E&S control plan.

### STATEMENT OF UNDERSTANDING

I understand and accept the responsibility to plan for and complete the required erosion and sediment control practices and hereby recognize them as an integral part of the subdivision named Villages at Jefferson Run.

I will notify the FSWCD a minimum of three (3) work days prior to any land disturbance and will attend a preconstruction meeting with personnel from the FSWCD to review the implementation of the erosion control plan.

  
Signature of Subdivider/Developer

9/19/17  
Date

4900 TUTTLE CROSSING BLVD.  
Address of Subdivider/Developer

DUBLIN, OH 43016

\_\_\_\_\_

614-376-1000  
Telephone Number

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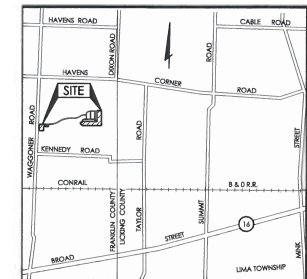
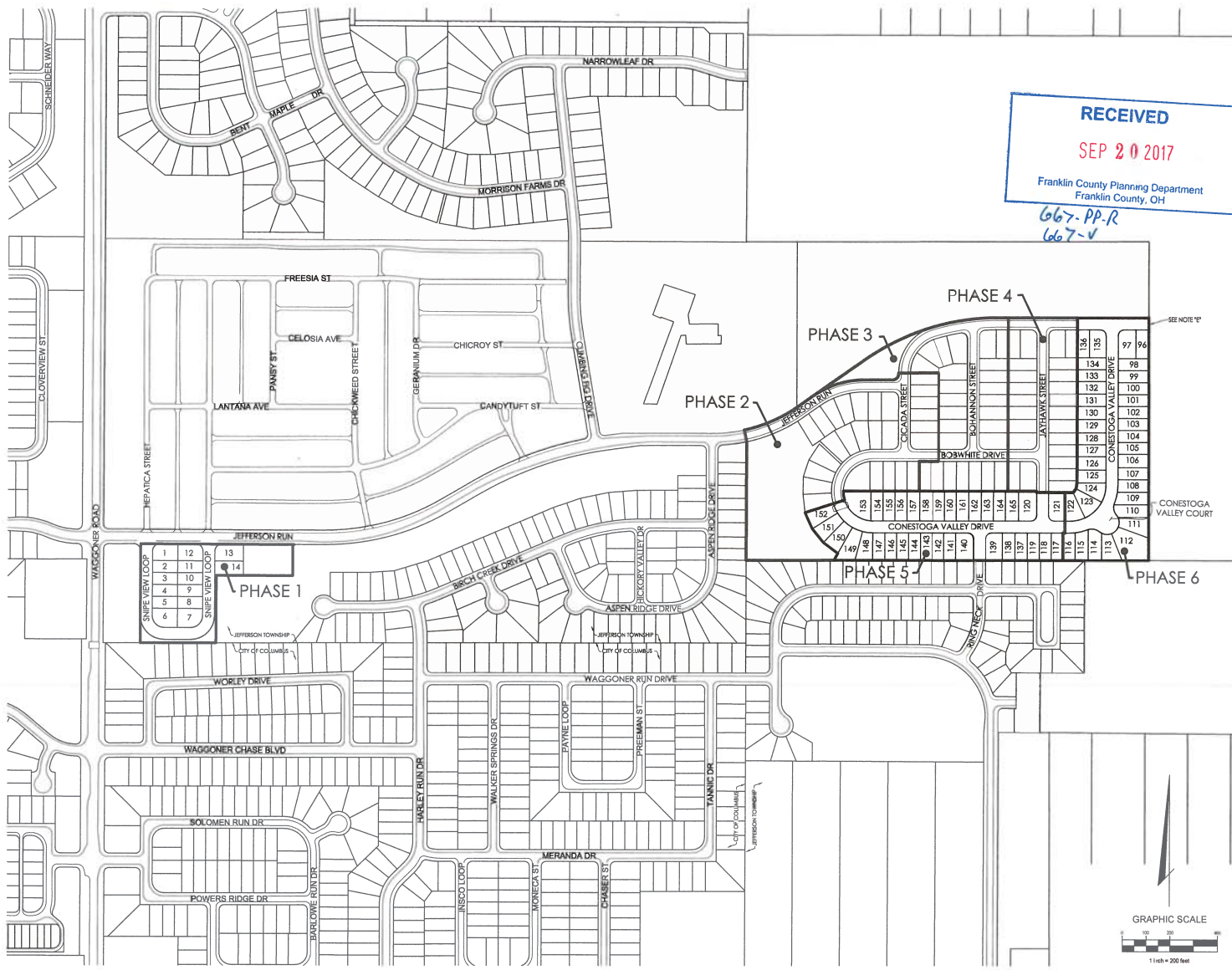


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EROSION & SEDIMENT	
CONTROL PLAN	6-7
EROSION & SEDIMENT DETAILS	8

SITE STATISTICS

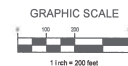
Total Acreage:	±18.0 Acres
Number of Lots:	84
Gross Density:	±4.7 Lot/Acre
Zoning Classification:	Suburban Periphery Residential
Open Space:	±0.8 Acres
Reserve "A":	±0.2 Acres
Reserve "D":	±0.6 Acres
School District:	Licking Heights Local School District

DESIGN STANDARDS

BUILDING LINE:	25'
SIDE SETBACK:	5' min. (10' total)
REAR SETBACK:	25'

NOTES

- NOTE "A": All of Villages at Jefferson Run is in the Flood Hazard Zone X as shown on the Federal Emergency Management Agency Flood Insurance Rate Map, Map Numbers 39049C0218K effective date June 17, 2008 and 39089C0269H effective date May 2, 2007.
- NOTE "B": Reserves "D" shall be owned and maintained by the Jefferson Run Homeowner's Association as Passive Park / Open Space and Detention/Retention. The existing east west of Snipe View Loop and east of Wagoner Road will be used as a stormwater facility for Phase One of this development and it will be owned and maintained by the Jefferson Run Restoration Association.
- NOTE "C": All contours shown hereon are set in two foot intervals.
- NOTE "D": Pavement widths as shown hereon are from edge of pavement to edge of pavement. It does not include the curb & gutter.
- NOTE "E": No Vehicular Access to be in effect until such time as the public right-of-way is extended by plat or deed.
- NOTE "F": The developer shall obtain all required environmental permits.
- NOTE "G": Villages at Jefferson Run is located within the Licking Heights Local School District.
- NOTE "H": Cross-buck fencing shall be installed at the rear of all lots that abut open space with intermediate gaps for access. The fencing will be located two feet within the open space(s) and the gaps in the fence will be ten feet in width approximately every 80-100 feet. The location and design will be reviewed and approved by the Jefferson Township Zoning Administrator.
- NOTE "I": The existing multi-purpose path adjacent to Reserve "D" shall be relocated as shown on Sheet 2 of B.
- NOTE "J": The subject site, Villages at Jefferson Run, is owned by Pulte Homes. Parcel Numbers 171-000966-00 and 171-000029-00.
- NOTE "K": Five foot sidewalks will be constructed within the road right-of-ways throughout the development on both sides of street including in front of the open spaces.
- NOTE "L": All existing underground drain files within the development shall be connected to the proposed storm sewer system.
- NOTE "M": All stormwater facilities / BMP's shall be a part of the Franklin County Ditch Maintenance Program and will be maintained by the Franklin County Drainage Engineer's Office. Appropriate flood routing and drainage easements will be provided on the final plat.
- NOTE "N": Prior to construction of the footing/foundation for the residential building to be constructed on each of the lots 103-114, 116-125, 135, 136, 140-147, 152, 153, 157-159, 164 and 165 the builder of such building shall confer with the Franklin County Economic Development Department for the purpose of determining if special foundation and/or basement construction techniques and/or materials are to be employed on such lot.
- NOTE "O": Villages at Jefferson Run is located within Pollution Potential Index Range from 100-119 in the following Hydrogeological Settings: 7D40 103 and 7D43 76 as shown in the ODNR Division of Soil & Water Resources Franklin County, Ohio.



REVISIONS	
DATE	DESCRIPTION

**EMHT**  
Ernst, Hachert, Hensel & Hensel, Inc.  
2000 New Albany Road, Columbus, OH 43260  
Phone: (614) 774-4500 Fax: (614) 774-4501  
emht.com

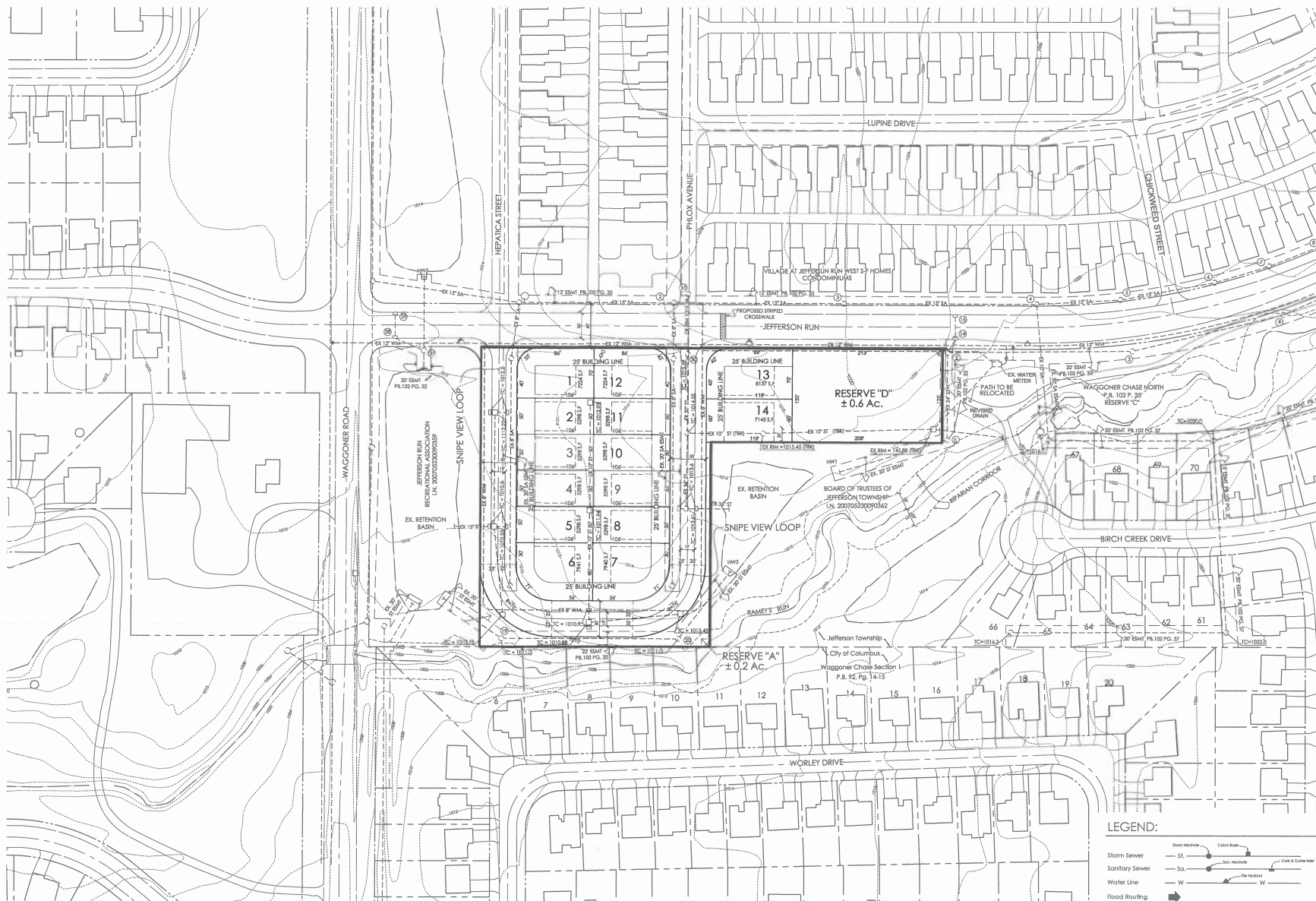
**Pulte Homes**  
4900 TUTTLE CROSSING DRIVE  
DUBLIN, OHIO 43016  
PH: (614) 376-1092

JEFFERSON TOWNSHIP - FRANKLIN COUNTY - OHIO  
PRELIMINARY PLAN  
FOR  
**VILLAGES AT JEFFERSON RUN (AMENDED)**  
INDEX MAP

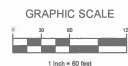
LOCATED IN:  
QUARTER TOWNSHIP 4, TOWNSHIP 1, RANGE 16  
UNITED STATES MILITARY LANDS  
TOWNSHIP OF JEFFERSON, COUNTY OF FRANKLIN, STATE OF OHIO

Date	September 19, 2017	Job No.	20140876
Scale	1"=200'	Sheet	1/8

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LEGEND:



REVISIONS	
DATE	DESCRIPTION

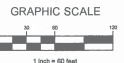


JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO  
PRELIMINARY PLAN  
FOR  
**VILLAGES AT JEFFERSON RUN (AMENDED)**  
PRELIMINARY PLAN

LOCATED IN:  
QUARTER TOWNSHIP 4, TOWNSHIP 16  
UNITED STATES MILITARY LANDS  
TOWNSHIP OF JEFFERSON, COUNTY OF FRANKLIN, STATE OF OHIO

Date	Job No.
SEPTEMBER 19, 2017	20140876
Scale	Sheet
1"=40'	2/8



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LOCATED IN:  
QUARTER TOWNSHIP 4, TOWNSHIP 1, RANGE 16  
UNITED STATES MILITARY LANDS  
TOWNSHIP OF JEFFERSON, COUNTY OF FRANKLIN, STATE OF OHIO

Date SEPTEMBER 19, 2017	Job No. 20160876
Scale 1"=60'	Sheet 3/8

PRELIMINARY PLAT FOR VILLAGE AT JEFFERSON RUN

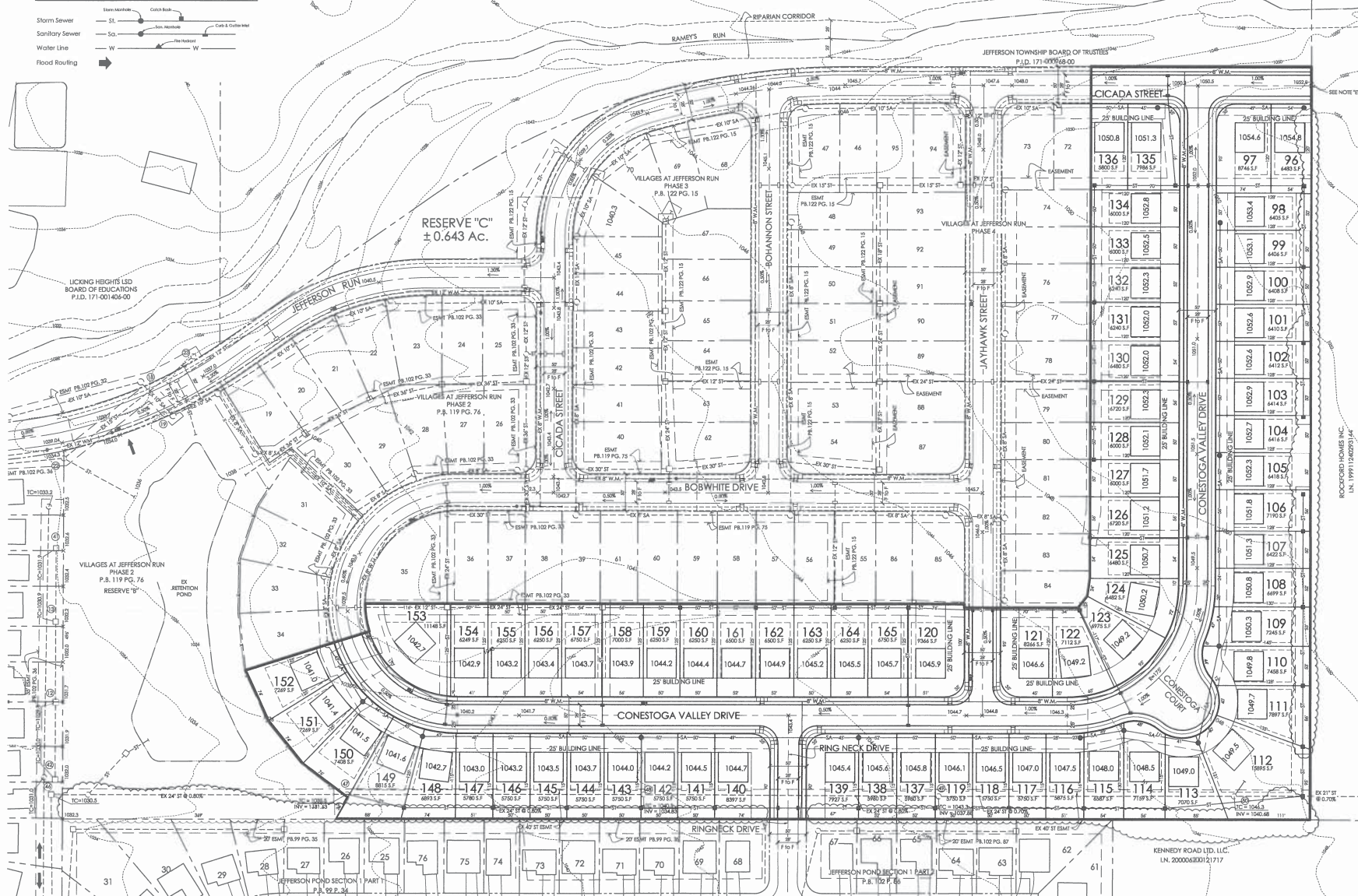




Storm Sewer  
Sanitary Sewer  
Water Line  
Flood Routing

St.  
Ss.  
W

Sump, Abutment  
Curb & Gutter Inlet  
Fire Hydrant

[illegible]

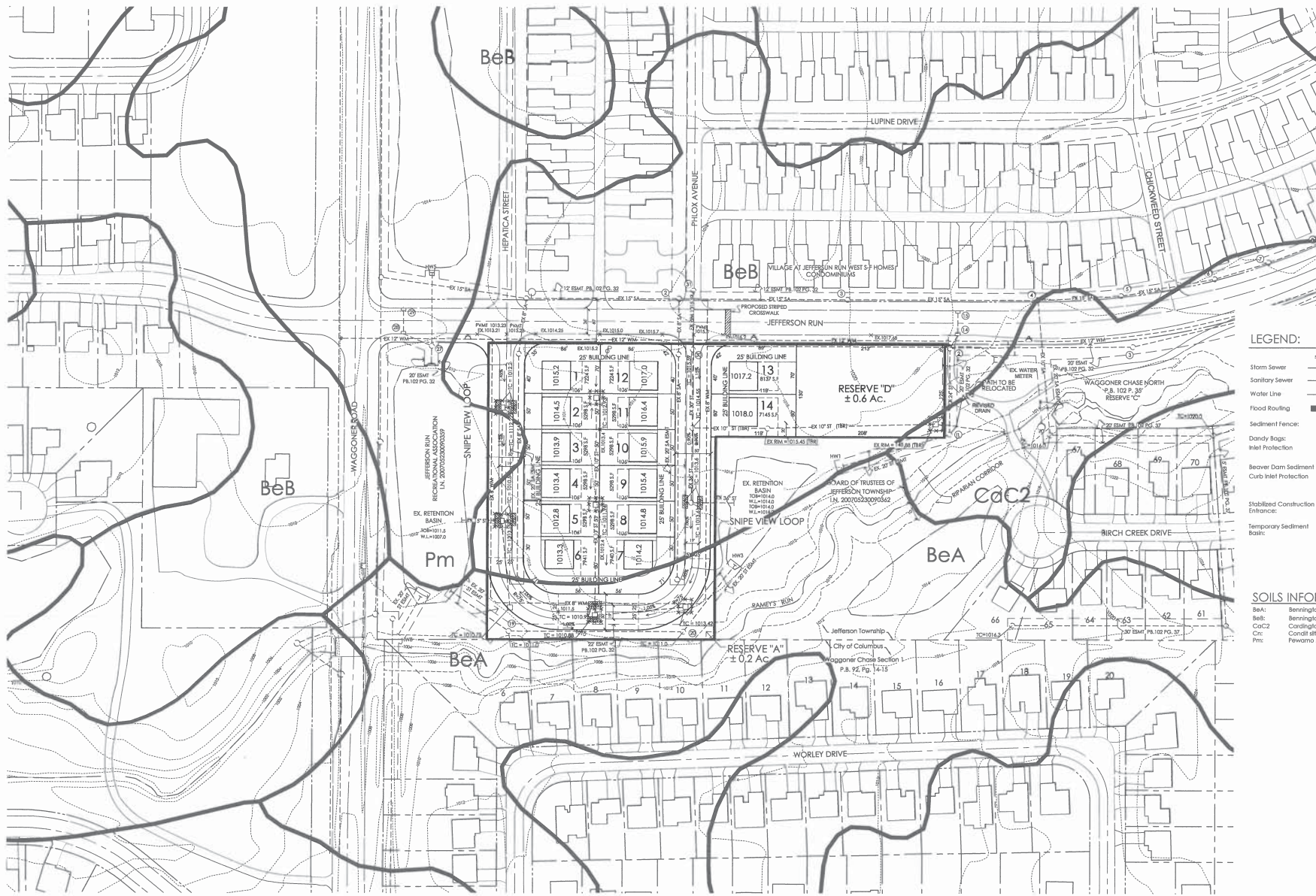
**EMH&T**  
Evans, Mechwart, Hambleton & Tilton, Inc.  
Engineers • Surveyors • Planners • Scientists  
5500 New Albany Road, Columbus, OH 43054  
Phone: 614.775.4500 Toll Free: 800.775.3448  
[emht.com](http://emht.com)

**Pulte Homes**  
900 TUTTLE CROSSING DRIVE  
DUBLIN, OHIO 43016  
PH: (614) 374-1092

JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO  
PRELIMINARY PLAN  
FOR  
VILLAGES AT JEFFERSON RUN (AMENDED)  
COMPOSITE UTILITY PLAN

LOCATED IN:  
QUARTER TOWNSHIP 4, TOWNSHIP 1, RANGE 16  
UNITED STATES MILITARY LANDS  
TOWNSHIP OF JEFFERSON, COUNTY OF FRANKLIN, STATE OF OHIO

Date	Job No.
SEPTEMBER 19, 2017	20160876
Scale	Sheet
1"=60'	5/8



**LEGEND:**


- Storm Sewer: — ST —
- Sanitary Sewer: — SS —
- Water Line: — W —
- Flood Routing: — FR —
- Sediment Fence: [Symbol]
- Dandy Bags: [Symbol]
- Inlet Protection: [Symbol]
- Beaver Dam Sediment Filter: [Symbol]
- Curb Inlet Protection: [Symbol]
- Stabilized Construction Entrance: [Symbol]
- Temporary Sediment Basin: [Symbol]

**SOILS INFORMATION**


- BeA: Bennington silt loam, 0-2% slopes
- BeB: Bennington silt loam, 2-4% slopes
- Cac2: Cardington silt loam, 4-12% slopes, eroded
- Cnc: Condit silt loam
- Pnc: Pewama silt clay loam



REVISIONS		DATE		DESCRIPTION	



**EMHT**  
Erosion Management, Inc.  
2800 New Albany Road, Columbus, OH 43264  
Phone: (614) 773-6300 Fax: (614) 773-3448  
emht.com



**Pulte Homes**  
4900 TUTTLE CROSSING DRIVE  
DUBLIN, OHIO 43016  
PH: (614) 376-1092

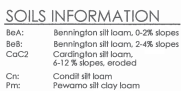
JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO  
PRELIMINARY PLAN  
FOR  
**VILLAGES AT JEFFERSON RUN (AMENDED)**  
EROSION AND SEDIMENT CONTROL PLAN



LOCATED IN:  
QUARTER TOWNSHIP 4, TOWNSHIP 1, RANGE 16  
UNITED STATES MILITARY LANDS  
TOWNSHIP OF JEFFERSON, COUNTY OF FRANKLIN, STATE OF OHIO

Date	September 19, 2017	Job No.	20160876
Scale	1"=40'	Sheet	6/8



The diagram illustrates various types of sediment fences and their symbols. It shows four horizontal lines representing different types of infrastructure: Storm Sewer (SL), Sanitary Sewer (Sa), Water Line (W), and Flood Routing. Above the Storm Sewer line, there are three symbols: a 'Spine barbed' fence, a 'Catch Basin' (a circle with a dot), and a 'Curb & Gutter Inlet' (a circle with a cross). Below the Sanitary Sewer line, there is a 'Silt, Sandstone' fence (a circle with a dot). Below the Water Line, there is a 'Flow Hydrant' (a circle with a cross). Below the Flood Routing line, there is a 'Flow Hydrant' (a circle with a cross). A large arrow points from the Flood Routing line to a 'Sediment Fence' symbol (a wavy line). Below the Sediment Fence symbol, there are four symbols for different types of sediment fences: 'Dandy Rags' (a circle with a cross), 'Inlet Protection' (a circle with a cross), 'Beaver Dam Sediment Filter' (a circle with a cross), and 'Curb Inlet Protection' (a circle with a cross). Below these symbols, there is a 'Temporary Sediment Basin' symbol (a rectangle with a cross-hatch pattern).



REVISIONS		 Drans, Mitchell & Associates, Inc. Engineers - Surveyors - Planners - Scientists 3800 New Albany Road, Columbus, OH 43264 Phone (614) 772-5500 Fax (614) 772-5549 emht.com	 4900 TUTTLE CROSSING DRIVE DUBLIN, OHIO 43016 PH: (614) 376-1092	JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO PRELIMINARY PLAN FOR <b>VILLAGES AT JEFFERSON RUN (AMENDED)</b> EROSION AND SEDIMENT CONTROL PLAN	LOCATED IN: QUARTER TOWNSHIP 4, TOWNSHIP 1, RANGE 16 UNITED STATES MILITARY LANDS TOWNSHIP OF JEFFERSON, COUNTY OF FRANKLIN, STATE OF OHIO	Date SEPTEMBER 19, 2017	Job No. 20140876
DATE	DESCRIPTION					Scale 1"=60'	Sheet 7/8

PRELIMINARY PLAT FOR VILLAGE AT JEFFERSON RUN





**Franklin County**  
**Application for Rezoning/Text Amendment**

Application Number: <u>ZON-17-07</u>	Date Filed: <u>9/18/17</u>	Received By: <u>BMF</u>	Total Fees: <u>\$1,000</u>	Receipt Number: <u>17-03185</u>
---	-------------------------------	----------------------------	-------------------------------	------------------------------------

**Subject Property Information**

1. Street Address: 4150 Shoppers LN
2. Parcel ID Number(s): 140 - 007202-00
3. Township(s): FRANKLIN

**Description of Subject Property**

4. Acres to be Rezoned: .945
5. Current Land Use: POST OFFICE (VACANT)
6. Surrounding Land Use:
  - North HOME IMPROVEMENT STORE (BARGAIN OUTLET)
  - South VACANT LOT - GROCERY STORE
  - East HUNTINGTON BANK
  - West US BANK
7. Water Supply Source: ☒ Public (Central) ☐ Private (Onsite)
8. Sanitary Sewer Source: ☒ Public (Central) ☐ Private (Onsite)

**Rezoning Request**

9. Current Zoning: G-1 INDUSTRIAL
- Proposed Zoning: COMMUNITY SERVICE
10. Proposed Land Use: DAYCARE
11. Purpose for Request: HAVE CLIENT WHO WISHES  
TO ESTABLISH A DAYCARE CENTER



**RECEIVED**

**SEP 18 2017**

Franklin County Planning Department  
Franklin County, OH

**Applicant/Owner/Agent Information**

TCF2346@GMAIL.COM

12. Applicant Information: ANTHONY WOODFORD  
Address: 294 CONGBRANCH DR  
Phone: 614-206-3842 Fax: ~~614-236-2615~~ 614-236-2615  
Interest in Property: Contractor  
Signature: 
13. Property Owner: STACY CARL WOODFORD  
Address: 1270 BROOKWOOD PL  
Phone: 614-271-8248 Fax: 614-236-2615  
Signature: 
14. Agent Information: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Signature: \_\_\_\_\_

**Applicant/Owner/Agent Information**

I/we (applicant) Anthony Woodford, Stacy Woodford, Carl Woodford swear that I/we am/are the owners/lessees/options of land requested for rezoning and that the statements, information and exhibits attached are true and correct to the best of my/our knowledge.

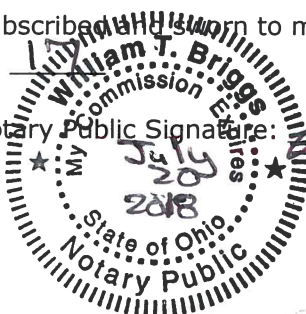
Applicant Signature:  
(required)

Date: 9/13/17

Property Owner Signature:  
(required)

Subscribed and sworn to me in my presence and before me on this 13 day of September 2017

Notary Public Signature:



## **Rezoning/Text Amendment Application General Application Requirements**

Any applicant who requests a zoning change is solely responsible for filing all materials required by the application in its entirety. Please consult with the Economic Development and Planning Department to obtain a copy of pertinent development standards prior to filing a rezoning request. An incomplete application will not be placed on an agenda until it is determined to be complete, having all relevant issues addressed in plan or text form.

---

### **Two (2) copies of each of the following items are required with each application:**

1. The completed application form.
2. The notarized affidavit with current property owner signature.
3. Legal description of the property. Current property survey to include acreage, all bearings and distances, and referencing an established beginning point.
4. Location/Area map. Engineering base maps to scale (example: 1"=100') are required. You can obtain this information from the County Engineers Office, 19th Floor, 373 South High Street, 614.462.3030
5. All information that pertains to sanitary services and water supply must be provided. If services are to be provided by a private or public entity, a letter must be provided verifying that the services exist and that the applicant will have access to such services. If an on-lot septic system and/or well are proposed, information from the Franklin County Board of Health (or appropriate agency) must be provided.
6. Any additional information or exhibits deemed necessary for proper consideration of the application.

### **Two (2) copies of the Development Plan are required with the following information:**

1. Names of the applicant, architect, engineer and contractor with the respective addresses and phone numbers.
2. Street address of the subject property, the exact distance and direction to the nearest street intersection, and any other landmarks that would assist in locating and identifying the property.
3. Present zoning, existing use and proposed use.
4. Zoning and use of each adjacent property.
5. North arrow on the site plan.
6. Scale of drawing. Please use a suitable standard scale.
7. Dimensions and locations of:
  - Property lines on all sides,
  - All setback lines,
  - Existing and proposed buildings with size and height,
  - Dumpster locations,
  - Proposed curb cuts and sidewalk locations (if any),
  - Existing sidewalks, curbs, alleys, streets, and service or frontage roads,
  - Any property proposed for dedication or easement,

- All easements, utility poles, fire hydrants, significant tree stands, and obstructions.
- 8. Parcel and building area in square feet.
- 9. Dimensions and location of existing and proposed parking and loading facilities, including but not limited to aisles, driveways, parking and loading stalls, entrances, exits, median strips, traffic islands, lighting, screening, fences, landscaping, greenbelts and signage.
- 10. Existing and proposed traffic circulation pattern.
- 11. Contour lines, soil types, and existing and proposed drainage facilities comprising the subject property.
- 12. Location and dimension of existing and proposed sanitary wastewater systems along with the location of existing and proposed water supply systems. A letter approving such systems is required from the appropriate health authority.

Note: When a planned district is requested, a development plan must be prepared by a registered architect, engineer, surveyor or landscape architect. Three (3) copies of said plan are required to be submitted. This plan is to demonstrate the engineering feasibility of the proposed project. Furthermore, a separate landscape plan is required and is to be completed and sealed by a professional landscape architect. The Rural Zoning Commission makes no exceptions to these requirements. All other issues in the performance standards must be addressed, even if they do not appear to pertain to your particular site.

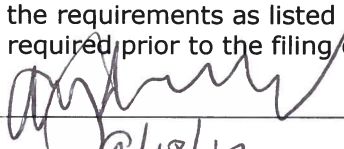
---

### Statement of Understanding

I/we have read and understand the requirements as listed above and I/we have met with the Technical Review Committee as required prior to the filing of this application.

Applicant Signature: \_\_\_\_\_

Date: \_\_\_\_\_

  
09/18/17



ZON-17-07



A number line illustrating the conversion of feet to meters. The top scale is in feet, ranging from 0 to 1,150 ft, with major tick marks at 0, 287.5, 575, and 1,150. The bottom scale is in meters, ranging from 0 to 350 m, with major tick marks at 0, 87.5, 175, and 350. The scales are aligned such that 287.5 feet corresponds to 87.5 meters, 575 feet corresponds to 175 meters, and 1,150 feet corresponds to 350 meters.

Franklin County Auditors Office  
Copyright 2015



**Commissioners**

Marilyn Brown, President  
Paula Brooks  
John O'Grady

**Economic Development & Planning Department**

James Schimmer, Director

# Application for Zoning Variance

Revised January 1, 2009

**VA**

Property Information	
Site Address <u>1614 TRURO AVE</u>	
Parcel ID(s) <u>263-000092-00</u>	Zoning <u>Franklin</u>
Township <u>TRURO</u>	Acreage <u>.4724</u>
Water Supply <input type="checkbox"/> Public (Central) <input type="checkbox"/> Private (Onsite)	Wastewater Treatment <input type="checkbox"/> Public (Central) <input checked="" type="checkbox"/> Private (Onsite)

Applicant Information	
Name/Company Name <u>Kennith &amp; Rebecca Storey</u>	
Address <u>1614 TRURO AVE</u> <u>Reynoldsburg OH 43068</u>	
Phone # <u>614-907-2180</u>	Fax #
Email <u>rebecca.storey449@yahoo.com</u>	

Property Owner Information	
Name/Company Name <u>Kennith &amp; Rebecca Storey</u>	
Address <u>1614 TRURO AVE</u> <u>Reynoldsburg OH 43068</u>	
Phone # <u>614-907-2180</u>	Fax #
Email <u>rebecca.storey449@yahoo.com</u>	

Agent Information (If applicable)	
Name/Company Name	
Address	
Phone #	Fax #
Email	

Staff Use Only
Case # <u>VA-3889</u>
Date filed: <u>9/7/17</u>
Fee paid <u>\$350</u>
Receipt # <u>17-03037</u>
Received by: <u>BMF</u>
Hearing date: <u>10/16/17</u>
Zoning Compliance: <u>R2-17-237</u>

Document Submission
The following documents must accompany this application:
<input checked="" type="checkbox"/> Completed application
<input checked="" type="checkbox"/> Fee Payment (Checks only)
<input checked="" type="checkbox"/> Auditor's map (8 1/2" x 11")
<input checked="" type="checkbox"/> Site Map (max 11" x 17")
<input type="checkbox"/> Covenants and deed
<input checked="" type="checkbox"/> Notarized signatures
<input type="checkbox"/> Proof of water & waste water supply
Please see the Application Instructions for complete details

**RECEIVED****SEP 07 2017**

Franklin County Planning Department  
Franklin County, OH



Case #

VA-3889

**Variance(s) Requested**

Section

Description

Build a pole Barn 20' x 30'

Section

Description

Section

Description

**Describe the project**

Want to Build a 20' x 30' pole Barn and Take Down the  
Smaller Buildings (GREEN house, Shed x 2)

**NOTE: To receive a variance, you must meet all the variance requirements** in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.

NO

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

NO

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

NO

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

~~yes~~ NO

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

NO

6. Can there be any beneficial use of the property without the variance?

NO

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

2 buildings / WANT TO ADD THIRD FOR STORAGE

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

NO

9. How would the variance adversely affect the delivery of governmental services?  
(e.g., water, sewer, garbage, fire, police - Verification from local authorities - i.e. fire might be required)

NONE

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

NO

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

NO

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

yes

Case #

VA-3889

**Affidavit**

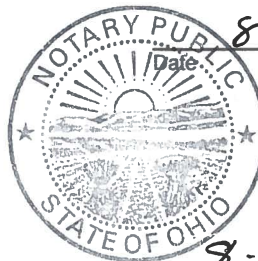
I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form.

Rebecca K Stacey  
Applicant

8-22-17  
Date

[Signature]  
Property Owner (Signature must be notarized)

ag  
8/22/17



8-22-17  
Date  
ANDREW EDELMAN  
Notary Public, State of Ohio  
My Commission Expires  
December 3, 2018

[Signature]  
Property Owner (Signature must be notarized)

ag  
8/22/17



8-22-17  
Date  
ANDREW EDELMAN  
Notary Public, State of Ohio  
My Commission Expires  
December 3, 2018

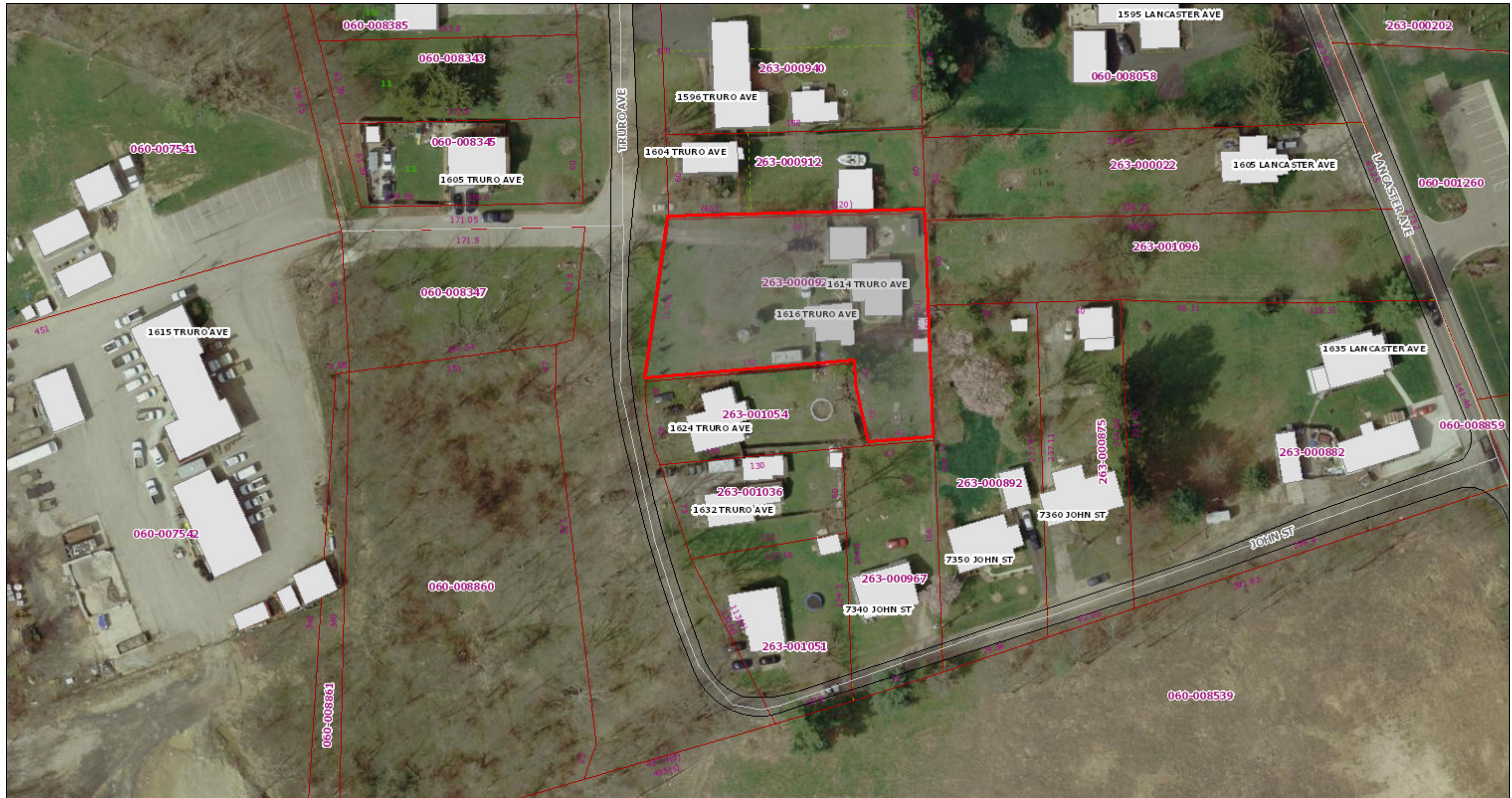
**\*Agent must provide documentation that they are legally representing the property owner.**

**\*\*Approval does not invalidate any restrictions and/or covenants that are on the property.**



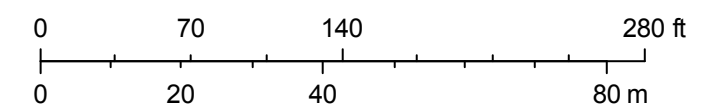


263O106E 03000



September 18, 2017

1:1,067



Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community



**Commissioners**

Marilyn Brown, President  
Paula Brooks  
John O'Grady

**Economic Development & Planning Department**  
James Schimmer, Director

Application for

# Zoning Variance

Revised January 1, 2009

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SEP 13 2017

Franklin County Planning Department  
Franklin County, OH

**VA**

Property Information	
Site Address	4384 Dublin Road
Parcel ID(s) 200-000233	Zoning Rural
Township Norwich	Acreage 3.953
Water Supply <input type="checkbox"/> Public (Central) <input checked="" type="checkbox"/> Private (Onsite)	Wastewater Treatment <input type="checkbox"/> Public (Central) <input checked="" type="checkbox"/> Private (Onsite)

Applicant Information	
Name/Company Name Peter J. Ferguson	
Address 4384 Dublin Road, Columbus, Ohio 43221	
Phone #	Fax #
Email	

Property Owner Information	
Name/Company Name Peter J. Ferguson and Julia A. Ferguson	
Address 4384 Dublin Road, Columbus, Ohio 43221	
Phone #	Fax #
Email	

Agent Information (if applicable)	
Name/Company Name Timothy G. Madison, Esq. & Robert K. DiCuccio, Esq. Madison & Rosan, LLP.	
Address 39 East Whittier Street, Columbus, Ohio 43206	
Phone # 614-228-6652	Fax # 614-228-5601
Email tmadison@madisonrosan.com; rdicuccio@madisonrosan.com	

Staff Use Only
Case #  VA-3890
Date filed: 9/13/17
Fee paid \$350
Receipt # 17-03183
Received by: BMF
Hearing date: 10/16/17
Zoning Compliance: Lotsplit: 0027-17-45

Document Submission
The following documents must accompany this application:
<input checked="" type="checkbox"/> Completed application
<input checked="" type="checkbox"/> Fee Payment (Checks only)
<input checked="" type="checkbox"/> Auditor's map (8 1/2" x 11")
<input checked="" type="checkbox"/> Site Map (max 11" x 17")
<input checked="" type="checkbox"/> Covenants and deed
<input checked="" type="checkbox"/> Notarized signatures
<input type="checkbox"/> Proof of water & waste water supply
Please see the Application Instructions for complete details



Case #

VA-3890

**Variance(s) Requested**

Section 302.042

Description Minimum 150ft of Road Frontage

Section 302.041

Description Minimum lot size for rural zoning district 2.5 acres

Section

Description

**Describe the project**

See attached Exhibit 1.

**NOTE: To receive a variance, you must meet all the variance requirements** in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.  
For Applicant's responses to questions 1-12, please see Exhibit 2, attached hereto.

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.
- 
- 
- 
5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?
- 
- 
- 
6. Can there be any beneficial use of the property without the variance?
- 
- 
- 
7. How substantial is the variance? (*i.e. 10 feet vs. 100 feet - Required frontage vs. proposed*)
- 
8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?
- 
9. How would the variance adversely affect the delivery of governmental services?  
(*e.g., water, sewer, garbage, fire, police - Verification from local authorities – i.e. fire might be required*)
- 
10. Did the applicant purchase the property with knowledge of the zoning restrictions?
- 
11. Could the applicant's predicament feasibly be obtained through some method other than a variance?
- 
12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?
- 
-

Case #

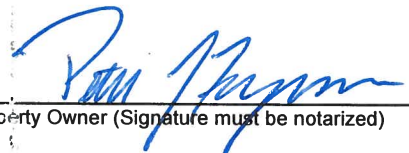
VA-3890

**Affidavit**

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form.

  
Applicant Attorney

9/13/17  
Date

  
Property Owner (Signature must be notarized)

9-13-17  
Date



Property Owner (Signature must be notarized)  
Robert Kaufman DiCuccio, Attorney At Law  
NOTARY PUBLIC - STATE OF OHIO  
My commission has no expiration date  
Sec. 147.03 R.C.  
Date

\*Agent must provide documentation that they are legally representing the property owner.

\*\*Approval does not invalidate any restrictions and/or covenants that are on the property.

## EXHIBIT 1

On December 22, 2008, Applicant purchased the land and buildings located upon the property commonly known as 4384 Dublin Road. This parcel consists of 3.95 acres, with a 4,671 square foot house built in 2010, and one stand-alone garage.

Applicant submits and avers that this parcel should be split into upper and lower lots, creating two distinct parcels. The grading of the parcel is such that it declines towards the river; logically, this parcel should be split into two different parcels. All neighboring parcels have been previously split in a similar manner. Two former parcels adjacent to 4384 Dublin Road have been split in a similar manner to what is being proposed in this application, thereby creating four parcels. Those parcels are 200-000724, 200-000725, 200-003697, and 200-003698.

Parcels 200-000724 and 200-000725 were split off from parcel 200-000431 on June 11, 1952. The conveyance which created parcel 200-000724 is recorded by the Franklin County Recorder, Volume No. 1684, Page No. 163. The conveyance which created parcel 200-000725 is recorded by the Franklin County Recorder, Volume No. 1684, Page No. 161. Each of these parcels is 1.090 acres in size. Also, parcel 200-000725 lacks the necessary frontage on a public road. Parcels 200-003697 and 200-003698 were split off from parcel 200-000873 on November 18, 2002. The conveyance which created parcel 200-003697 is recorded by the Franklin County Recorder, Instrument No. 200211180293933. The conveyance which created parcel 200-003698 is recorded by the Franklin County Recorder, Instrument No. 200211180293943. Each of these lot splits indicates that a precedent exists in the neighborhood in question, such that the proposed variance would be in conformity with the character and history of the area.

VA-3890

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Franklin County Planning Department  
Franklin County, OH

The lower site borders the river and would be 2.5 acres. The upper site would be approximately 1.5 acres. The majority of the lots in this 24 parcel “subdivision” are 1.5 acres and this split would align perfectly with the current layout of the neighborhood. The parcel at issue in this application, at 3.95 acres, is the second largest in the area. Further, there are only three other lots in the 24 parcel neighborhood that meet the 2.5 acre minimum for rural zoning.

In summary, a similar variance request was approved for adjacent lots in this neighborhood for the following parcels: PID 200-003698 and PID 200-003697; PID 200-000725 and PID 200-000724.

## EXHIBIT 2

- 1. Are there exceptional or extraordinary circumstances applying to the property involved that do not apply generally to other property or uses in the same zoning district.**

The lot configuration is odd and while contiguous, there are two logical parcels that do not support common use of the entire lot. Standing next to the house down the hill and on the river you can not even see the upper lot. While on the upper lot, you can not even see the house or lot below. All other lots in the neighborhood have been split between upper and lower lots.

- 2. That a literal interpretation of the provisions of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by the other properties in the same Zoning District under the terms of the Zoning Resolution.**

There are only 3 other lots of the 24 in the neighborhood that meet the minimum zoning requirements of 2.5 acres. Approximately 50% of the 24 lots are 1.5 acres or smaller. Additionally, a similar variance request was approved for adjacent lots in this neighborhood for the following parcels: PID 200-003698 and PID 200-003697; PID 200-000725 and PID 200-000724.

Also, it is important to note that Applicant has received 100 percent approval from the 15 property owners that are impacted (within 300 yards of proposed split) by this proposed lot split.

- 3. That the special conditions and circumstances, listed under question #1, do not result from the action of the applicant.**

The lots in this 'subdivision' were split over many years. It is unclear why this last split to separate the upper and lower lot on this parcel was not completed to better align with the other parcels in the neighborhood.

- 4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.**

As mentioned above, the majority of the lots in the neighborhood are 1.5 acres which would be the approximate size of the non-conforming lot that would be created with this split request. This would not be a special privilege, as the vast majority of other lots in the neighborhood (21 out of 24 lots) are non-conforming and less than 2.5 acres.

The lots directly adjacent to 4384 Dublin are split in a similar (upper and lower) lot configuration.

A similar variance request was approved a couple years ago for adjacent lots in this neighborhood for the following parcels: PID 200-003698 and PID 200-003697 (which, at 2.149 acres, is smaller than the minimum lot size). Further, back in 1952, parcels 200-000724 and 200-000725 were split from an adjacent lot, and are much smaller

VA-3890

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Franklin County, OH



(1.090 acres) than the minimum lot size for the area. These lot splits are highly precedential, and indicate that granting this application would not bestow upon Applicant any special privileges; rather, it would bring Applicant's land into conformity with the character of the neighborhood as it stands today.

**5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?**

Granting of the variance would absolutely **NOT** adversely affect the health or safety or be detrimental in any way to the public welfare.

**6. Can there be any beneficial use of the property without the variance?**

As it is currently configured, the vacant lot at the top of the hill is of no use to the property. It can not be seen or enjoyed from the home. It is only additional work and maintenance to upkeep it without the enjoyment of viewing or utilizing it from the primary house.

**7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)**

The variance would allow for two lots. One would conform to the 2.5 acre minimum requirement and the other would be ~1.45 acres. The smaller lot would conform and be equivalent to the vast majority of lots on the street. As described above in Exhibit 1, the splitting of parcel 200-000431 into parcels 200-000724 and 200-000725 created two parcels that are each 1.090 acres. These lots are much smaller than the minimum lot size of 2.5 acres. Such precedent highlights the fact that the neighborhood has changed, and that the requested variance would bring Applicant's property into conformity with the character of the area.

**8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?**

The essential character of the neighborhood would not be altered at all. As previously mentioned, approximately 50% of the lots in the neighborhood are 1.5 acres or less. There would be no harm whatsoever to adjoining properties, especially considering that adjoining properties have undergone similar lot splits in the past.

**9. How would the variance adversely affect the delivery of governmental services? (e.g., water, sewer, garbage, fire, police - Verification from local authorities – i.e. fire might be required)**

There would be no adverse effect to government services.

**10. Did the applicant purchase the property with knowledge of the zoning restrictions?**

Applicant had limited knowledge that a variance may be required by the homeowners association to split the lots; however, the realtor did not think it would be an issue considering that a similar split with a variance occurred a few years ago. Additionally, the realtor did not believe a lot split would be problematic because the average lot size in the neighborhood was 1.5 acres. Applicant has received 100 percent approval from

the 15 property owners that are impacted (within 300 yards of proposed split) regarding this proposed lot split.

**11. Could the applicant's predicament feasibly be obtained through some method other than a variance?**

Only through re-zoning could Applicant's predicament be relieved. However, the re-zoning process would be much more time consuming and costly.

**12. How would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?**

Given the size of all the lots in the neighborhood and the fact that in recent years similar variance requests were approved, the only fair and reasonable solution is to approve the variance request. It would be an injustice to reject the request based on a rural zoning requirement that was approved over 50 years ago and is no longer applicable to the current area. The precedent highlighted above suggests strongly that this application should be granted. Thank you for your consideration.

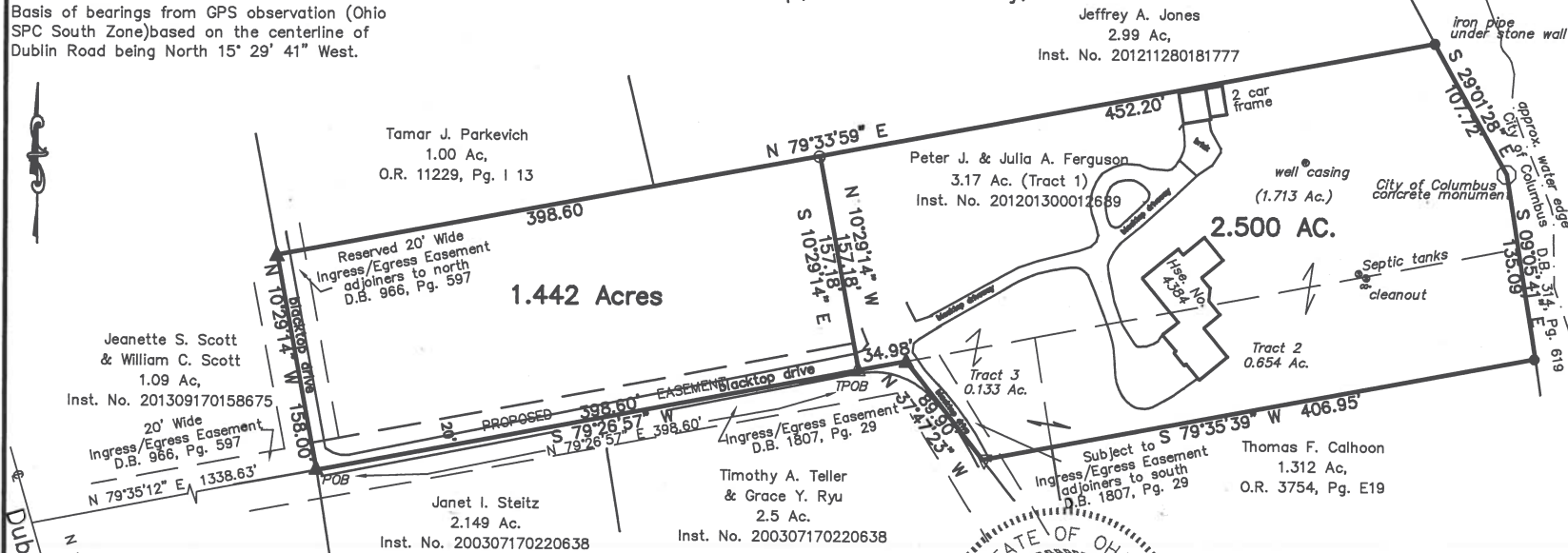


Scale 1" = 100'  
August, 2017

Basis of bearings from GPS observation (Ohio  
SPC South Zone) based on the centerline of  
Dublin Road being North 15° 29' 41" West.

## SURVEY PLAT

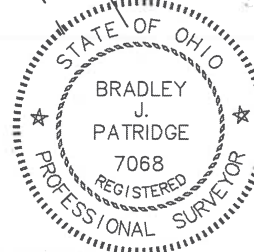
Being a 1.442 & 2.500 acre tracts  
part of 4th parcel, Plat of Estate of Michael Walton, Dec'd., P.B. 7, pg. 209  
located in V.M.S. No. 1405,  
Norwich Township, Franklin County, Ohio



### LEGEND

- found iron pin
- set iron pin (capped PATRIDGE SURVEYING)
- found COC concrete monument
- ▽ found PK Nail
- ▲ found railroad spike
- △ set PK Nail

PATRIDGE  
SURVEYING L.L.C.  
9484 DUBLIN ROAD  
POWELL, OHIO 43065  
TEL. (614)-799-0031  
FAX (614)-300-5076



I hereby certify that I have surveyed the property described in the foregoing title caption, and that said survey and plat are accurate and correct to the best of my knowledge. Easements, restrictions, utilities, and rights-of-way not located, unless noted.

Bradley J. Patridge  
Professional Surveyor No. 7068

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SEP 13 2017

Franklin County Planning Department  
Franklin County, OH

12446-17-S



Scale 1" = 100'  
August, 2017

Basis of bearings from GPS observation (Ohio SPC South Zone) based on the centerline of Dublin Road being North 15° 29' 41" West.

### EASEMENT PLAT

Proposed Ingress/Egress Easement  
part of Fourth Par., Plat of Estate of Michael Walton, Dec'd, (P.B. 7, Pg. 209)  
located in V.M.S. No. 1405,  
Norwich Township, Franklin County, Ohio

Jeffrey A. Jones  
2.99 Ac,  
Inst. No. 201211280181777

Tamar J. Parkevich  
1.00 Ac,  
O.R. 11229, Pg. I 13

Peter J. & Julia A. Ferguson  
3.17 Ac. (Tract 1)  
Inst. No. 201201300012689

(1.713 Ac.)

Reserved 20' Wide  
Ingress/Egress Easement  
adjoiners to north  
D.B. 966, Pg. 597

Jeanette S. Scott  
& William C. Scott  
1.09 Ac,  
Inst. No. 201309170158675

20' Wide  
Ingress/Egress Easement  
D.B. 966, Pg. 597

0.183 Acres

PROPOSED EASEMENT

Ingress/Egress Easement  
D.B. 1807, Pg. 29

Tract 3  
0.133 Ac.

Tract 2  
0.654 Ac.

Thomas F. Calhoun  
1.312 Ac,  
O.R. 3754, Pg. E19

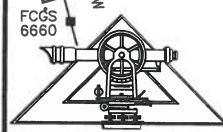
Janet I. Steitz  
2.149 Ac.  
Inst. No. 200307170220638

Timothy A. Teller  
& Grace Y. Ryu  
2.5 Ac.  
Inst. No. 200307170220638

Subject to  
Ingress/Egress Easement  
adjoiners to south  
D.B. 1807, Pg. 29



Dublin Rd  
N 15° 29' 41" W  
476.41'



PATRIDGE  
SURVEYING L.L.C.  
9464 DUBLIN ROAD  
POWELL, OHIO 43065  
TEL (614)-799-0031  
FAX (614)-300-5076

LINE	BEARING	DISTANCE
L1	N 10° 29' 14" W	20.00'
L2	N 79° 26' 57" W	398.67'
L3	S 10° 29' 14" E	20.00'
L4	S 79° 26' 57" W	398.67'



I hereby certify that I have surveyed the property described in the foregoing title caption, and that said survey and plat are accurate and correct to the best of my knowledge. Easements, restrictions, utilities, and rights-of-way not located, unless noted.

Bradley J. Patridge  
Professional Surveyor No. 7068

12446-17-S

9/6/2017 10:24:15

VA-3890

