

Commissioner John O'Grady • **Commissioner** Marilyn Brown • **Commissioner** Kevin L. Boyce
President

Economic Development & Planning Department
James Schimmer, Director

Franklin County Planning Commission

Judicial Services Building (Hall of Justice)

369 South High Street

1st Floor, Meeting Room #1

Columbus, OH 43215

Wednesday, December 13, 2017

1:30 pm

- 1. Call roll for board members**
- 2. Introduction of staff**
- 3. Swearing in of witnesses**
- 4. Approval of minutes from the November 8, 2017 meeting**
- 5. New Business:**

i. 672-PP-R – Matt Brown

Applicant/Owner:	Rockford Homes
Engineer:	EMH&T – Jeff Strung
Township:	Jefferson Township
Site:	5284 Taylor Rd. (PID #171-000007) & 3134 Waggoner Rd. (PID #171-000587)
Acreage:	72.92-acres
Utilities:	Public water and wastewater
Request:	Requesting a revision to the Morrison Farms East Preliminary Plan to adjust the boundaries between Sections 3 and 4.

ii. 680-FP-1 – Matt Brown

Applicant/Owner:	M/I Homes of Central Ohio
Engineer:	EHM&T – Matt Kirk
Township:	Jefferson Township
Site:	2860 Darling Rd. (PID #170-000767 & 170-003876) 0 Darling Rd. (PID #170-002307) 2865 Darling Rd. (PID #170-000010) 2583 Reynoldsburg-New Albany Rd. (PID #170-001851)
Acreage:	47.06-acres
Utilities:	Public water and wastewater
Request:	Requesting Final Plat approval of the Weldon Phase 1 subdivision to allow the creation of 39 single-family lot and 6 reserves.

iii. 687-V – Brad Fisher

Applicant/Owner:	Patricia Beebout
Agent:	Marie Potts
Township:	Jefferson Township
Site:	2120 Reynoldsburg-New Albany Rd. (PID #170-000135)
Acreage:	7.731-acres
Utilities:	Public water and wastewater
Request:	Requesting a Variance from Section 501.05 of the Franklin County Subdivision Regulations to allow a lot split that will result in a property that exceeds the maximum depth to width ratio and results in a side property line more than 5 degrees of perpendicular to the street centerline.

iv. PRAIR-17-06 – Matt Brown

Applicant:	Prairie Township Board of Trustees
Township:	Prairie Township
Request:	Requesting to amend Article 18 of the Prairie Township Zoning Resolution to create the West Broad Street Corridor Overlay District.

6. Adjournment of meeting to January 10, 2018



Commissioner John O'Grady • **Commissioner** Marilyn Brown • **Commissioner** Kevin L. Boyce
President

Economic Development & Planning Department
James Schimmer, Director

MINUTES OF THE FRANKLIN COUNTY PLANNING COMMISSION

Wednesday, November 8, 2017

The Franklin County Planning Commission convened in Meeting Room A, Franklin County Courthouse, 373 South High Street, Columbus, Ohio, 43215, on Wednesday, November 8, 2017.

Present were:

Nancy White, Chairperson
Tim Guyton, Vice Chairperson
Dan Blechschmidt
Roxyanne Burrus
Mark Dravillas
Ashley Hoyer
Annie Ryznar
Jason Sanson

Franklin County Economic Development and Planning Department:

Jenny Snapp, Assistant Director
Matt Brown, Planning Administrator
Brad Fisher, Planner
Phil Ashear, Planner

Chairperson White opened the hearing.

The first order of business being the roll call of members, the introduction of Staff, and the swearing in of witnesses. The next order of business being the approval of the minutes from the October 11, 2017, meeting. Mr. Guyton made a motion to approve the minutes from the October 11, 2017, meeting. It was seconded by Ms. Burrus. The motion was approved by a vote of six yeses with two abstentions.

OLD BUSINESS:

The next item of business being Case No. ZON-17-03. Mr. Guyton made a motion to remove Case No. ZON-17-03 from the table. It was seconded by Mr. Blechschmidt. The motion was approved by unanimous vote. Mr. Guyton made a motion to table Case No. ZON-17-03 until the January 10th, 2018, meeting. The motion was seconded by Mr. Sanson. The motion was approved by an eight-to-zero vote.

NEW BUSINESS:

The next item being Case No. ZON-17-08. Ms Burrus made a motion to table case No. ZON-17-08 until the January 10th, 2018, meeting at the applicant's request. It was seconded by Mr. Dravillas. The motion was approved by an eight-to-zero vote.

OLD BUSINESS:

The next item of business being Case No. ZON-17-06. Mr. Guyton made a motion to remove Case No. ZON-17-06 from the table. It was seconded by Ms. Burrus. The motion was approved by unanimous vote. The applicants are Casandra Mullins and Zachary Adams. The owners are Caroline Mullins and Linsey Mullins. The agent is Ryan Conklin. The township is Pleasant Township. The site is located at 6085 Grove City Road. It is 11.7 acres in size and is served by private water and wastewater. The applicant is requesting to rezone from the Rural District to the Select Commercial Planned District. Mr. Brad Fisher read and presented the case to the Franklin County Planning Commission. Mr. Guyton made a motion to approve Case No. ZON-17-06. The motion was seconded by Mr. Sanson. The motion failed by an eight-to-zero vote.

NEW BUSINESS:

The next item of business being Case No. PRAIR-17-04. The applicant is the Prairie Township Board of Trustees. The township is Prairie Township. The applicant is requesting an amendment to various sections of the Prairie Township Zoning Resolution. Mr. Brad Fisher read and presented the case to the Franklin County Planning Commission. Mr. Hoyer made a motion to approve Case No. PRAIR-17-04. The motion was seconded by Mr. Blechschmidt. The motion was approved by an eight-to-zero vote.

The next item of business being Case No. PRAIR-17-05. The applicant is the Prairie Township Board of Trustees. The township is Prairie Township. The applicant is requesting to zone properties along West Broad Street from Norton Road to Hilliard Rome Road to the General Business District. Mr. Matt Brown read and presented the case to the Franklin County Planning Commission. Mr. Hoyer made a motion to approve Case No. PRAIR-17-05. The motion was seconded by Mr. Sanson. The motion was approved by an eight-to-zero vote.

The next item of business being Case No. PERRY 17-07. The applicant is the Perry Township Board of Trustees. The township is Perry Township. The applicant is requesting an amendment to Sections 531.031, 531.083(1), and Section 110 of the Perry Township Zoning Resolution to establish standards for the keeping of chickens, ducks, and rabbits. Mr. Matt Brown read and presented the case to the Franklin County Planning Commission. Mr. Blechschmidt made a motion to approve Case No. PERRY-17-07 with staff's recommended condition. The motion was seconded by Ms. Burrus. The motion was approved by an eight-to-zero vote.

There being no further business coming before the Franklin County Planning Commission, Mr. Guyton made a motion to adjourn. It was seconded by Mr. Sanson and was approved by unanimous vote.

Signature

Minutes of the November 8, 2017, Franklin County Planning Commission hearing were approved this 13th day of December, 2017.

Commissioner John O'Grady • **Commissioner** Marilyn Brown • **Commissioner** Kevin L. Boyce
President

Economic Development & Planning Department
James Schimmer, Director

STAFF REPORT

Planning Commission
December 13, 2017

Case 672-PP-R

Prepared by: Matt Brown

Applicant/Owner:	Rockford Homes
Engineer:	EMH&T – Jeff Strung
Township:	Jefferson Township
Site:	5284 Taylor Rd. (PID #171-000007) & 3134 Waggoner Rd. (PID #171-000587)
Acreage:	72.92-acres
Utilities:	Public water and wastewater
Request:	Requesting a revision to the Morrison Farms East Preliminary Plan to adjust the boundaries between Phases 3 and 4.

Background Information:

- October 10, 2012 - Preliminary Plan approved for a 229 lot single-family subdivision in six phases
- August 13, 2014 - Final Plat for Phase 1 approved which included 37 lots
- October 10, 2014 – Preliminary Plan expired
- April 8, 2015 – New Preliminary Plan approval for Phases 2-6
- July 13, 2016 - Final Plat for Phase 2 approved which included 39 lots
- February 8, 2017 - Preliminary Plan extension approved

The applicant is now seeking to revise the approved Preliminary Plan for Phases 3-6 to adjust the Phase boundary between Phases 3 and 4. The revised Preliminary Plan has also included updated lot numbering and reserve statistics based on the approved Final Plats for Phases 1 and 2.

Overview and Analysis:

The proposed Preliminary Plan revision does not change the site layout, number of lots or amount of open space within the development. The change in the phase boundary will allow a stream crossing originally planned for Phase 3 to be installed in Phase 4. This stream crossing is not required to serve or provide access to any lots in Phase 3.

Technical Review Agencies expressed no concerns with the proposed Preliminary Plan revision.

Staff Recommendation:

Staff recommends **conditional approval** of the revised Preliminary Plan for Morrison Farms East Phases 3-6.

The conditions of approval are as follows:

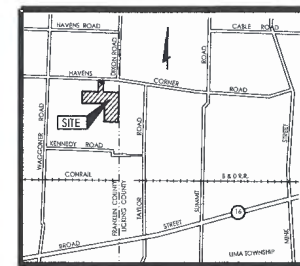
1. The stream buffer zone label along Rameys Run Creek must be revised on the final plat to be a stream buffer zone/drainage easement.

2. The applicant must complete a Traffic Impact Study for the proposed development.
 3. The applicant must pay for any necessary off-site improvements deemed necessary by the Franklin County Engineer's office based on the Traffic Impact Study.
 4. The Belhaven Drive stub street needs to be removed from construction plans and the final plat for Phase V or be properly terminated in accordance with Section 502. 13 of the Subdivision Regulations.
 5. The final plat must include a street connection to Marcrest Drive in Phase VI.
 6. Sidewalks must be 5 feet in width.
 7. The open space/reserves must be delineated in accordance with the township's zoning approval which requires a minimum of 2-split rails.
- The Preliminary Plan for the Morrison Farms East Subdivision will expire on **December 13, 2019.**



NOTES

- NOTE "A":** All of Morrison Farms East is in the Flood Hazard Zone X as shown on the Federal Emergency Management Agency Flood Insurance Rate Map, Map Number 39040C0214, effective date June 17, 2008.
- NOTE "B":** Reserves "A" through "N" shall be owned by Jefferson Township and maintained by the Morrison Farms East Homeowner's Association as Private Park / Open Space and Defensible Retention. Reserve "I" shall be owned by and maintained by Lot 199 for possible vehicular access.
- Reserves "B", "E-1", "E-2", "G" and "H" will be maintained in their natural state subject any necessary stormwater facilities. A grass strip five feet in width will be maintained within the reserves along the rear of the lots.
- NOTE "C":** All contours shown herein are set in two foot intervals.
- NOTE "D":** Lots 49 through 64 are located in Goshawa School District. Lots 1 through 48 and lots 65 through 228 are located in the Licking Heights School District.
- NOTE "E":** Pavement widths as shown herein are from edge of pavement to edge of pavement. It does not include the curb & gutter.
- NOTE "F":** Sub streets are intended to be extended in the future for access to adjacent properties. No extension of the sub street will be allowed without plat or deed. A "No Outer" sign shall be placed at the entrance to the sub street and a barricade placed at the end of the sub street. A temporary turnaround will be provided in accordance with the regulations of the office of the County Engineer.
- NOTE "G":** Prior to construction of the footing/foundation for the residential building to be constructed on each of the lots (10-13, 19, 20, 24-26, 28-35, 92-97, 173-180, 182-186 and 216-218) the builder of such building shall confer with the Franklin County Development Department for the purpose of determining if special foundation and/or basement construction techniques and/or materials are to be employed on such lot.
- As a part of the basement construction for the homes within the above mentioned lots, the developer will install inside and outside foundation drain tiles as well as a back up sump pump.
- NOTE "H":** The developer shall obtain all required environmental permits.
- NOTE "I":** STREAM BUFFER ZONE: The "Stream Buffer Zone" shall forever be restricted from development with buildings, structures, and uses and the natural state of said zone shall remain undisturbed. It is also the intent and purpose of the Stream Buffer Zone to restrict and forbid any activity or use which would as a natural consequence of such, impede or make more difficult the accomplishment of the purpose of which the said zone was created.
- Additional restrictions include:
1. No dumping or burning of refuse.
 2. No hunting or trapping.
 3. Natural resources of the zones shall remain undisturbed and no topsoil, sand, gravel, or rock shall be excavated, removed or graded.
 4. Nothing shall be permitted to occur on the premises which would contribute to the erosion of the kno and no trees shall be cut or removed, except for the removal of such dead, diseased, noxious, or decayed trees or vegetation which may be required for conservation or scenic purposes, or for reasons of public safety.
 5. No private encroachment shall be permitted, such as, but not limited to, planting of flowers, shrubs, garden material, etc., dumping of trash or debris, or the installation of any type of recreation or other facility or convenience.
- All Stream Buffer Zones and wetland setbacks shall be completely within the open spaces and not a part of the lots.
- NOTE "J":** All roadway improvements along Havens Corners Road, associated with this development shall be performed at the time the connection is made.
- NOTE "K":** The subject site for Morrison Farms East is owned by Rockford Homes Inc. Parcel Number 171-000387-00 and William A. McCoy Jr., parcel number 171-000007-00.
- NOTE "L":** Four foot sidewalks will be constructed within the road right-of-way through the development on both sides of the street.
- NOTE "M":** Morrison Farms East is located within the Pollution Potential Index Range from 100 to 119 in the following Hydrogeological Settings: 7039 143, 1068 103 and 7418 116 as shown in the CORN Division of Soil & Water Resources Franklin County, Ohio.
- NOTE "N":** All existing underground drain files within the development shall be connected to the proposed storm sewer system.
- NOTE "O":** All stormwater facilities BMP's shall be a part of the Franklin County Ohio Maintenance Program and will be maintained by the Franklin County Engineers Office. Appropriate flood routing and drainage easements will be provided on the final plat.



SITE MAP

Not to scale

SITE STATISTICS

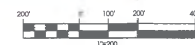
Total Acreage:	93.3 A/Res
Number of Lots:	228
Gross Density:	2.44 Lot/Acre
Zoning Classification:	Planned Suburban Residential
Open Space:	32.94% Acres
Reserve "A":	0.248% Acres
Reserve "B":	4.011% Acres
Reserve "C":	1.426% Acres
Reserve "D":	0.257% Acres
Reserve "E-1":	0.879% Acres
Reserve "E-2":	0.019% Acres
Reserve "F":	3.859% Acres
Reserve "G":	2.8% Acres
Reserve "H":	0.01% Acres
Reserve "I":	7.1% Acres
Reserve "J":	6.4% Acres
Reserve "K":	0.3% Acres
Reserve "L":	1.5% Acres
Reserve "M":	1.2% Acres
Reserve "N":	0.1% Acres
Reserve "O":	2.4% Acres

DESIGN STANDARDS

BUILDING LINE:	25'
SIDE SETBACK:	5' min. (10' lots)
REAR SETBACK:	20% of Lot Depth
MINIMUM LOT AREA:	7200 SQ. FT.

TABLE OF CONTENTS

INDEX & NOTES	1
PRELIMINARY PLAN	23
COMPOSITE UTILITY PLAN	4-5
EROSION & SEDIMENT CONTROL PLAN	6-7
EROSION & SEDIMENT DETAILS	8



DATE	DESCRIPTION
11/28/2017	1. PRELIMINARY PLAN

PREPARED BY:

EMHT

Erma, Michael, Hargens & Thomas, Inc.
11111 S. Main St., Suite 100
Jefferson Township, Ohio 43084
Phone: 614-775-6800 Fax: 614-775-6801
www.emht.com

PREPARED FOR:

Rockford Homes

Quality Control for Better Living

JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO

PRELIMINARY PLAN

FOR

MORRISON FARMS EAST

INDEX

LOCATED IN:

QUARTER TOWNSHIPS 1 & 4, TOWNSHIP 1, RANGE 16

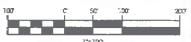
UNITED STATES MILITARY LANDS

TOWNSHIP OF JEFFERSON, FRANKLIN COUNTY, OHIO

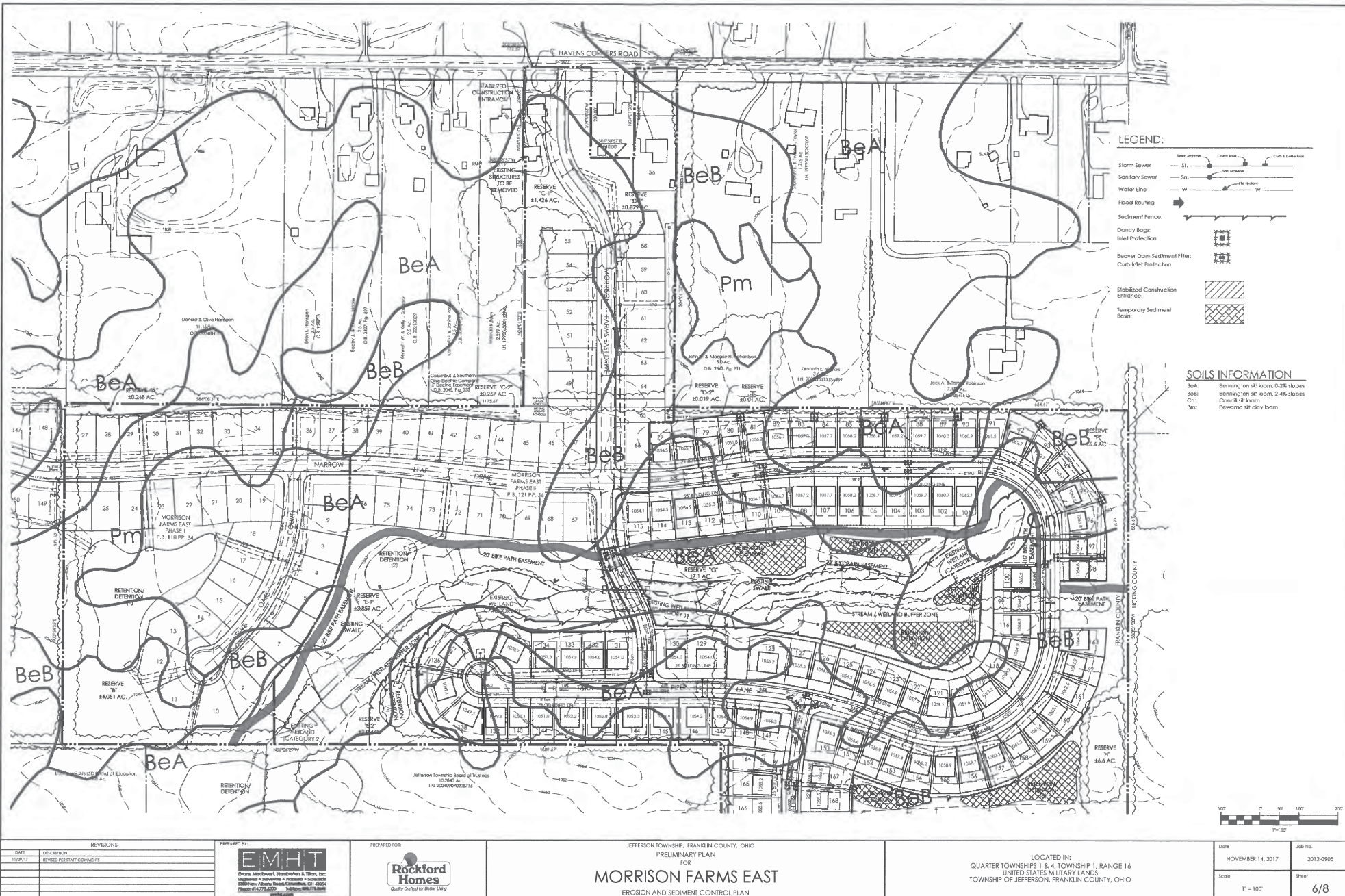
Date	NOVEMBER 14, 2017	Job No.	2017-0902
Scale	1" = 200'	Sheet	1/8

PRELIMINARY PLAN FOR MORRISON FARMS EAST

2013-0905



Date NOVEMBER 14, 2017	Job No. 2012-0905
Scale 1" = 100'	Sheet 3/8



REVISIONS	
DATE	DESCRIPTION

PREPARED BY:

EMHT

Ernst, Macdonald, Henshaw & Tuck, Inc.
Engineers • Surveyors • Planners • Architects
2800 New Albany Road Columbus, OH 43204
Phone: 614-778-0000 Fax: 614-778-0001
www.emht.com

PREPARED FOR:

Rockford Homes

Quality Crafted for Better Living

JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
PRELIMINARY PLAN
FOR
MORRISON FARMS EAST
EROSION AND SEDIMENT CONTROL PLAN

LOCATED IN:
QUARTER TOWNSHIPS 1 & 4, TOWNSHIP 1, RANGE 16
UNITED STATES MILITARY LANDS
TOWNSHIP OF JEFFERSON, FRANKLIN COUNTY, OHIO

Date	NOVEMBER 14, 2017	Job No.	2012-0905
Scale	1" = 100'	Sheet	6/8

© 2017 EMHT. All rights reserved. Morrison Farms East is a registered trademark of Rockford Homes. This plan is for informational purposes only and does not constitute a contract. The plan is subject to change without notice. The plan is not to be used for any other purpose without the written consent of EMHT.

C:\Users\jmorris\OneDrive\Documents\2017\Jefferson Farms East\2017\Jefferson Farms East.dwg, Last Saved: 11/20/2017 2:27 PM, Last Printed By: jmorris



REVISIONS	
DATE	DESCRIPTION

PREPARED BY:
EMHT
Erosion Management & Hydrology, Inc.
10000 N. Highway 100, Suite 100
Columbus, OH 43240
614.291.1000
emht.com

PREPARED FOR:
Rockford Homes
Quality Center for Better Living

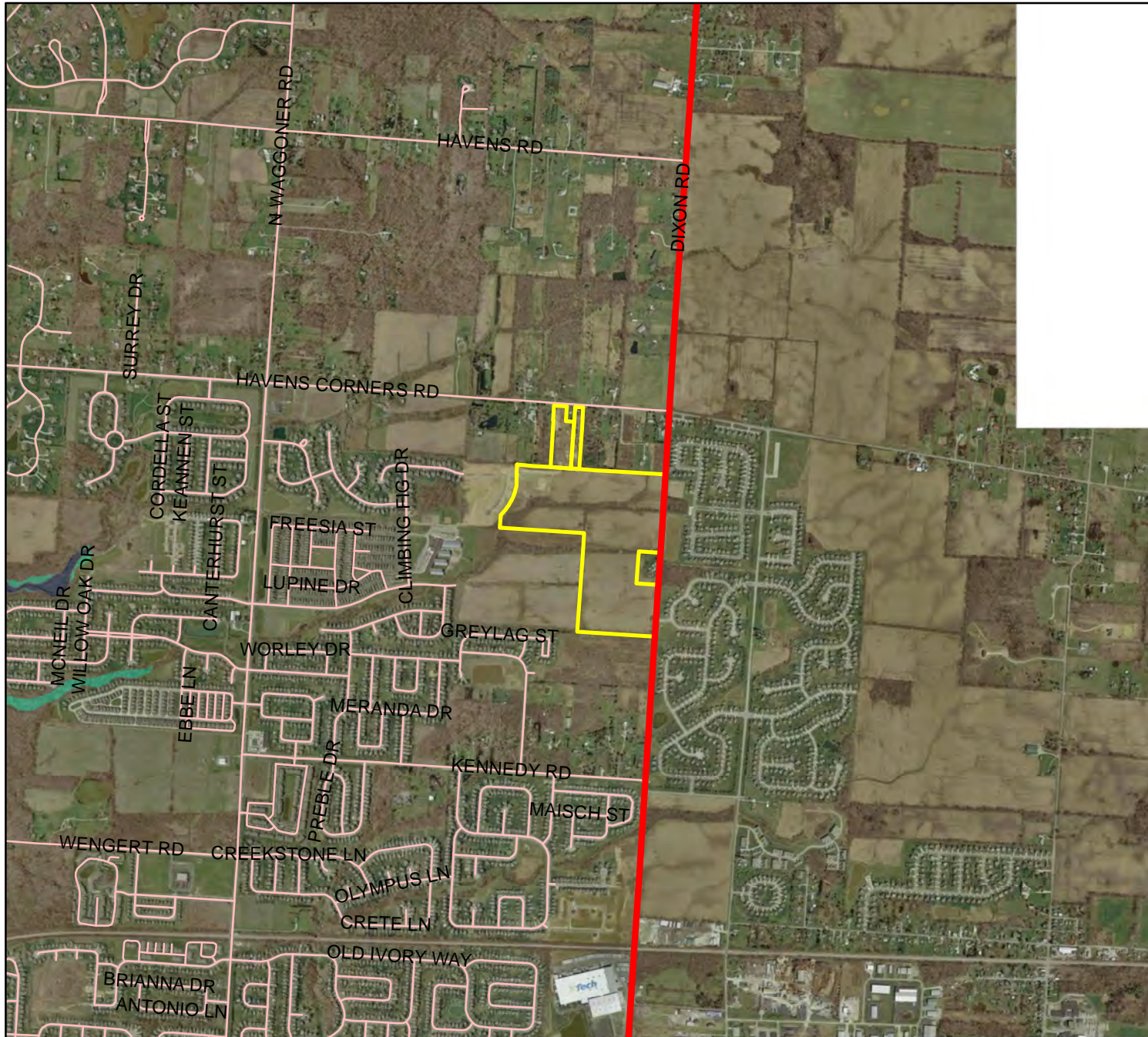
JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
PRELIMINARY PLAN
FOR
MORRISON FARMS EAST
EROSION AND SEDIMENT CONTROL PLAN

LOCATED IN:
QUARTER TOWNSHIPS 1 & 4, TOWNSHIP 1, RANGE 16
UNITED STATES MILITARY LANDS
TOWNSHIP OF JEFFERSON, FRANKLIN COUNTY, OHIO

Date	NOVEMBER 14, 2017	Job No.	2012-0905
Scale	1" = 100'	Sheet	7/8

PRELIMINARY PLAN FOR MORRISON FARMS EAST

2012-0905

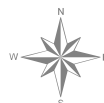
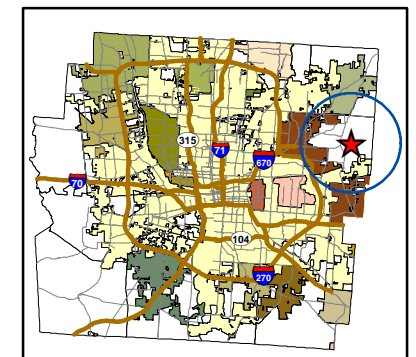


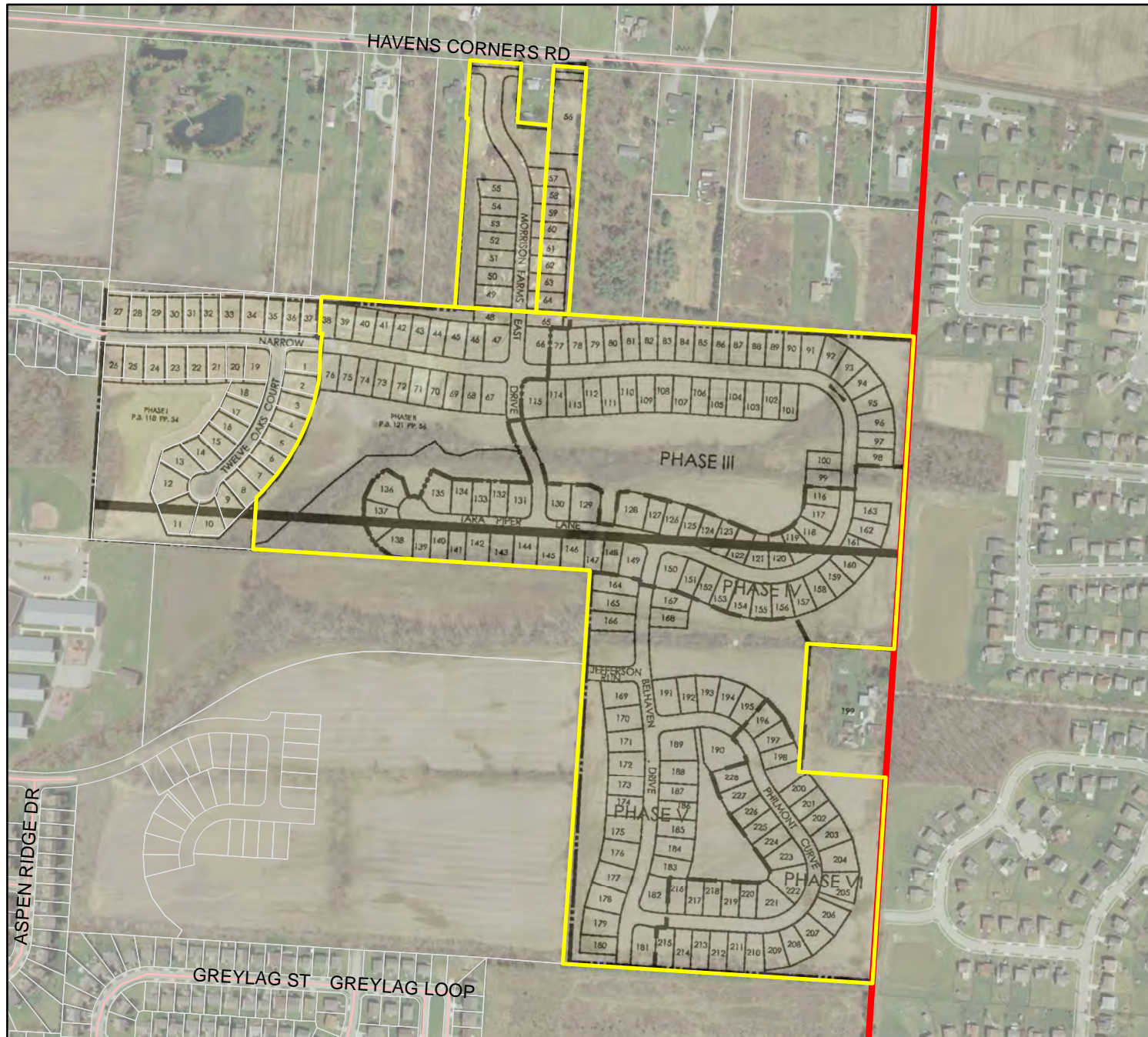
672-PP-R

Requesting a revision to the Morrison Farms East Preliminary Plan to adjust the boundaries between Sections 3 and 4.

80.09 acres
Jefferson Township

- Morrison Farms East
- Franklin County Boundary
- Parcels
- Streets



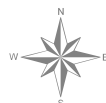
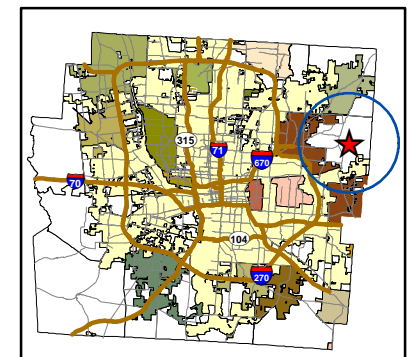


672-PP-R

Requesting a revision to the Morrison Farms East Preliminary Plan to adjust the boundaries between Sections 3 and 4.

80.09 acres
Jefferson Township

- Morrison Farms East
- Franklin County Boundary
- Parcels
- Streets



Commissioner John O'Grady • **Commissioner** Marilyn Brown • **Commissioner** Kevin L. Boyce
President

Economic Development & Planning Department
James Schimmer, Director

STAFF REPORT

Planning Commission
December 13, 2017

Case 680-FP-1

Prepared by: Matt Brown

Applicant/Owner:	M/I Homes of Central Ohio
Engineer:	EHM&T – Matt Kirk
Township:	Jefferson Township
Site:	2860 Darling Rd. (PID #170-000767 & 170-003876) 0 Darling Rd. (PID #170-002307) 2865 Darling Rd. (PID #170-000010) 2583 Reynoldsburg-New Albany Rd. (PID #170-001851)
Acreage:	47.06-acres
Utilities:	Public water and wastewater
Request:	Requesting Final Plat approval of the Weldon Phase 1 subdivision to allow the creation of 39 single-family lot and 6 reserves.

Background and Proposal:

The Preliminary Plan for the Weldon subdivision was approved January 11, 2017 to allow the creation of a 78 lot single-family subdivision in 2 Phases with 31.6 acres of open space.

The applicant is requesting Final Plat approval for Phase 1 with 39 lots and 6 reserves.

Overview and Analysis:

Technical Review Committee agencies expressed no concerns with the Final Plat and the Final Plat conforms to the approved Preliminary Plan.

Staff Recommendation:

Staff recommends **approval** of the Final Plat for the Weldon Phase 1 subdivision.

As per Section 205.25 of the Franklin County Subdivision Regulations, the final plat must be recorded within 6 months of the date of approval.

WELDON PHASE 1

1
4

Situated in the State of Ohio, County of Franklin, Township of Jefferson, and in Quarter Townships 1 and 2, Township 1, Range 16, United States Military Lands containing 47.060 acres of land, more or less, said 47.060 acres being comprised of all of those tracts of land conveyed to M/I HOMES OF CENTRAL OHIO, LLC by deeds of record in Instrument Numbers 201704190052734, 201705030038943 and 201705160065911, and part of those tracts of land conveyed to M/I HOMES OF CENTRAL OHIO, LLC by deeds of record in Instrument Numbers 201704190052735 and 201705160065912, Recorder's Office, Franklin County, Ohio.

The undersigned, M/I HOMES OF CENTRAL OHIO, LLC, an Ohio limited liability company, by TIMOTHY C. HALL, JR., Area President, owner of the land planned herein, duly authorized in the premises, does hereby certify that this plat correctly represents its "WELDON PHASE 1", a subdivision containing Lots numbered 1 to 39, both inclusive, and areas designated as Reserve "A", "B", "C", "D", "E" and "F", does hereby accept this plat of same and dedicates to public use, as such, all of Cleanton Park East, Darling Road, Rowilla Road and Woffi Creek Drive as shown hereon and not hereinbefore dedicated.

In consideration of approval of this plat, the undersigned understands and agrees to fulfill their obligations and responsibilities reflected in the subdivision's agreement and the subdivision regulations of Franklin County, Ohio Zoning, building and health permits may be withheld in this subdivision until the subdivider has complied with the subdivision's agreement.

Easements are hereby reserved in, over and under areas designated on this plat as "Easement" or "Drainage Easement". Each of the aforementioned designated easements permit the construction, operation and maintenance of all public and quasi-public utilities above, beneath and on the surface of the ground and, where necessary, use for the construction, operation and maintenance of service connections to all adjacent lots and lands and for storm water drainage. Within those areas designated "Drainage Easement" on this plat, an additional easement is hereby reserved for the purpose of constructing, operating and maintaining major storm water drainage ditches and/or other above ground storm water drainage facilities. No above grade stream, dam or other obstruction to the flow of storm water runoff are permitted within Drainage Easement areas as delineated on this plat unless approved by the Franklin County Engineer. Easement areas shown hereon outside of the plat area are within lands owned by the undersigned and easements are hereby reserved thereon for the uses and purposes expressed herein.

Iron pins shall be set at all lot corners prior to the transfer and acceptance of any street for public purpose.

In Witness Whereof, TIMOTHY C. HALL, JR., Area President of M/I HOMES OF CENTRAL OHIO, LLC, has hereunto set his hand this ____ day of ____, 20__.

Signed and Acknowledged
In the presence of:

M/I HOMES OF CENTRAL
OHIO, LLC

By

TIMOTHY C. HALL, JR.,
Area President

STATE OF OHIO
COUNTY OF FRANKLIN ss:

Before me, a Notary Public in and for said State, personally appeared TIMOTHY C. HALL, JR., Area President of said M/I HOMES OF CENTRAL OHIO, LLC, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed and the voluntary act and deed of said M/I HOMES OF CENTRAL OHIO, LLC, for the uses and purposes expressed herein.

In Witness Whereof, I have hereunto set my hand and affixed my official seal this ____ day of ____, 20__.

My commission expires

Notary Public,

State of Ohio

The undersigned hereby certifies that this subdivision plat conforms to applicable zoning regulations.

Approved this ____ Day of ____, 20__
Jefferson Township Zoning Inspector

The undersigned hereby certifies adequate and legal water and sanitary sewer plant capacities exist to serve this subdivision.

Approved this ____ Day of ____, 20__
Director,
Jefferson Water and Sewer District

The undersigned hereby certifies that this subdivision plat conforms to applicable subdivision regulations.

Approved this ____ Day of ____, 20__
Franklin County Planning Commission

Approved this ____ Day of ____, 20__
Franklin County Engineer

Approved this ____ Day of ____, 20__
Franklin County Drainage Engineer

This ____ day of ____, 20__, rights-of-way for the all of Cleanton Park East, Darling Road, Rowilla Road and Woffi Creek Drive herein dedicated to public use are hereby approved and accepted as such for the County of Franklin, State of Ohio.

Franklin County Commissioners

This plat shall not be transferred or recorded until all required signatures are secured.

Transferred this ____ day of ____, 20__
Auditor, Franklin County, Ohio

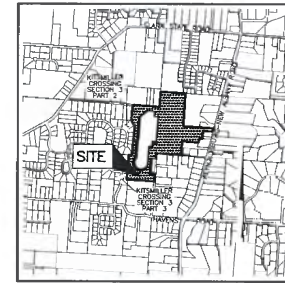
Deputy Auditor, Franklin County, Ohio

Filed for record this ____ day of ____, 20__ at ____ M. Fee \$ ____
Recorder, Franklin County, Ohio

File No. ____

Recorded this ____ day of ____, 20__
Deputy Recorder, Franklin County, Ohio

Plat Book ____ Pages ____



LOCATION MAP AND BACKGROUND DRAWING

NOT TO SCALE

SURVEY DATA:

BASIS OF BEARINGS: The bearings shown hereon are based on the Ohio State Plane Coordinate System, South Zone, NAD 83 (1983). Said bearings originated from a field traverse which was tied (referenced) to said coordinate system by GPS observations of Franklin County Engineering Department monuments 1133, 1134, 1140, 1161, 1163, 4425, 5612, 6640 and 9964. The portion of the centerline of Darling Road having a bearing of South 03° 55' 20" West is designated the "basis of bearing" for this plat.

SOURCE OF DATA: The sources of recorded survey data referenced in the plan and text of this plat are the records of the Recorder's Office, Franklin County, Ohio.

IRON PINS: Iron pins, where indicated hereon, unless otherwise noted, are to be set and are iron pins, thirteen sixteenths inch inside diameter, thirty inches long with a plastic plug placed in the top end bearing the initials EMHT INC.

PERMANENT MARKERS: Permanent markers, where indicated hereon in the public street centerline, are to be one-inch diameter, thirty-inch long, solid iron pins, are to be set to monument the points indicated, are to be set after the construction/installation of the street pavement and are to be set with the top and one-fourth inch below the top of the pavement. Once installed, the top of the pin shall be marked (punchmarked) to record the actual location of the point.

SURVEYED & PLATTED
BY



We do hereby certify that we have surveyed the above premises, prepared the attached plat, and that said plat is correct. All dimensions are in feet and decimal parts thereof.

- = Iron Pin (See Survey Data)
- = MAG Nail to be set
- ⊙ = Permanent Marker (See Survey Data)

By _____ Professional Surveyor No. 7865 Date _____

RECEIVED

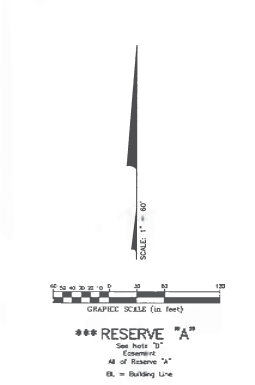
NOV 22 2017

Franklin County Planning Department
Franklin County, OH

680-FP-1

WELDON PHASE 1

CURVE TABLE				
CURVE NO.	DELTA	RADIUS	LENGTH	CHORD BEARING
C1	39°08'42"	200.00'	136.54'	S 74°35'16" W 134.00'
C2	39°08'42"	250.00'	170.80'	N 74°35'16" E 187.50'
C3	89°45'43"	175.00'	274.16'	N 49°02'29" E 246.97'
C4	90°14'17"	175.00'	275.62'	N 40°57'31" E 246.97'
C5	14°48'07"	175.00'	45.21'	N 86°45'34" E 45.08'
C6	24°20'36"	175.00'	74.35'	N 87°11'13" E 73.79'
C7	10°00'23"	275.00'	48.03'	N 80°01'07" E 47.87'
C8	14°15'40"	275.00'	68.48'	N 72°09'08" E 68.27'
C9	14°15'09"	275.00'	68.41'	N 82°24'33" E 68.23'
C10	0°37'30"	275.00'	3.00'	S 89°08'08" E 3.00'
C11	90°00'00"	20.00'	31.42'	N 49°09'37" E 28.28'
C12	4°36'29"	200.00'	17.25'	N 69°37'52" E 17.24'
C13	18°59'03"	200.00'	66.27'	N 18°35'38" E 65.96'
C14	18°59'03"	200.00'	66.27'	N 37°34'41" E 65.96'
C15	18°59'03"	200.00'	66.27'	N 56°33'43" E 65.96'
C16	18°59'03"	200.00'	66.27'	N 73°32'48" E 65.96'
C17	8°53'03"	200.00'	31.01'	N 89°28'49" E 30.98'
C18	90°00'00"	20.00'	31.42'	N 48°55'20" E 28.28'
C19	89°48'11"	20.00'	31.30'	N 40°56'48" W 28.24'
C20	90°00'00"	20.00'	31.42'	N 41°04'40" W 28.28'
C21	90°00'00"	20.00'	31.42'	N 48°55'20" E 28.28'
C22	3°52'14"	150.00'	88.67'	S 69°08'33" E 87.30'
C23	58°22'03"	150.00'	147.57'	S 24°01'24" E 141.69'
C24	12°16'59"	150.00'	32.16'	N 10°18'07" W 32.10'
C25	48°31'25"	150.00'	127.03'	S 40°42'19" W 123.27'
C26	28°51'18"	150.00'	76.96'	N 79°24'41" W 76.00'
C27	90°00'00"	20.00'	31.42'	N 41°04'40" W 28.28'
C28	9°02'32"	200.00'	31.56'	N 81°33'24" W 31.52'
C29	19°07'57"	200.00'	66.78'	N 67°26'10" W 66.47'
C30	19°07'57"	200.00'	66.78'	N 48°20'13" W 66.47'
C31	19°07'57"	200.00'	66.78'	N 29°12'17" W 66.47'
C32	19°03'40"	200.00'	66.54'	N 19°08'29" W 66.23'
C33	4°44'18"	200.00'	18.54'	N 01°47'29" E 18.53'
C34	90°00'00"	20.00'	31.42'	N 49°50'23" W 28.28'
C35	0°39'21"	225.00'	2.57'	N 86°10'03" W 2.57'
C36	38°59'22"	225.00'	151.15'	N 74°15'36" W 146.32'
C37	38°08'42"	225.00'	153.72'	N 74°35'16" W 150.75'
C38	89°45'48"	20.00'	31.33'	N 40°57'08" E 28.22'



COUNTY OF FRANKLIN
PARCEL NO. 23-WD
D.B. 3685, P. 818

RONALD J. BROFFORD AND
KAREN D. BROFFORD
I.N. 200602080025143

JOHN KELLY, JR. AND
DAWNA LEA KELLY
O.R. 5698C06

BARRY W. SMITH
I.N. 200410130238423

M/I HOMES OF
CENTRAL OHIO, LLC
I.N. 201704190052735

MARK A. DEEDS
I.N. 200308220267096

ELSIE L. LINES, TRUSTEE
PARCEL III
O.R. 30621A12

DONALD R. HUGHES
AND KAYE E. HUGHES,
TRUSTEES
I.N. 200508220170603

NOTE "A": At the time of platting, all of the land hereby being platted as Weldon Phase 1 is in Zone X (Areas determined to be outside of the 0.2% annual chance floodplain), as designated and delineated on the FEMA Flood Insurance Map for Franklin County, Ohio, and Incorporated Areas, map numbers 39049C0212K and 39049C0216K, both with an effective date of June 17, 2008.

NOTE "B": The purpose of this plat is to show certain property, rights of way, and easement boundaries as of the time of platting. At the request of zoning and planning authorities at the time of platting, this plat shows some of the limitations and requirements of the zoning code in effect on the date of filing this plat for reference only. The limitations and requirements may change from time to time and should be reviewed to determine the then current applicable use and development limitations of the zoning code as adopted by the government authority having jurisdiction. The then applicable zoning code shall have control over conflicting limitations and requirements that may be shown on this plat. This note should not be construed as creating plat or subdivision restrictions, private use restrictions, covenants running with the land or title encumbrances of any nature, except to the extent specifically identified as such.

NOTE "C": At the time of platting, all of Weldon Phase 1 is in the Gahanna Jefferson City School District.

NOTE "D" - RESERVES: All Reserves, as designated and delineated hereon, shall be owned by Jefferson Township and maintained by an association comprised of the owners of the fee simple title to the lots in the Weldon subdivisions as open space and stormwater detention/retention.

NOTE "E" - ACREAGE BREAKDOWN:

Total acreage:	47,060 Ac.
Acreage in right-of-way:	5,572 Ac.
Acreage in Reserves:	29,968 Ac.
Acreage in remaining lots:	11,520 Ac.

NOTE "F" - ACREAGE BREAKDOWN: Weldon Phase 1 is out of the following Franklin County Parcel Numbers:

170-000010	15,617 Ac.
170-000767	22,704 Ac.
170-002307	0,377 Ac.
170-003876	3,009 Ac.
170-001851	5,362 Ac.

NOTE "G" - LOTS IN WELDON PHASE 1: Prior to the construction of the footing/foundation for the residential building to be constructed on lots 28-30, both inclusive, the builder of such building shall confer with the Franklin County Economic Development and Planning Department for the purpose of determining if special foundation and/or basement construction techniques and/or materials are to be employed on such lot.

As part of the basement construction for the homes within the above mentioned lots, the developer will install inside and outside foundation drain tiles as well as a back up sump pump.

NOTE "H" - ACCESS EASEMENT: The access easement shown hereon shall be reserved for the owner of the parcel currently owned by Barry W. Smith, his successors and/or assigns, for the purpose of vehicular access to and from Weller Creek Drive. It is the responsibility of the current/owner(s) of said Smith property to maintain and repair the driveway located within said access easement. The access easement location and use has been approved by the Franklin County Engineer's Office.

NOTE "I": At the time of platting, electric, cable, and telephone service providers have not issued information required so that easement areas, in addition to those shown on this plat as deemed necessary by these providers for the installation and maintenance of all of their main line facilities, could conveniently be shown on this plat. Existing recorded easement information about Weldon Phase 1 or any part thereof can be acquired by a competent examination of the then current public records, including those in the Franklin County Recorder's Office.

WELDON PHASE 1

(C) PAUL D. GIBBS
AND CLARA J. GIBBS
O.R. 23022E18

(D) PAUL DOUGLAS GIBBS
AND CLARA J. GIBBS
I.N. 201106280080107

(E) JOHN AND
LORENA POPELKA
I.N. 201610120138536

(F) RONALD G. AND
BARBARA J. TAFT
O.R. 33540J16

(G) WILLIAM J. MORRIS
I.N. 201506250085454

(H) ROBERT N. WEIDNER, JR.,
TRUSTEE
TRACT ONE
I.N. 201603170031609

(I) CHRISTOPHER J. KEALY AND
JENNIFER A. PORTEUS
I.N. 201703080031713

(J) SCOTT A. MORRISON AND
DEBRA S. MORRISON
I.N. 201701300014808

(K) DONALD R. HUGHES AND
KAYE E. HUGHES, TRUSTEES
I.N. 200508220170603

(L) ELSIE L. LINES, TRUSTEE
PARCEL III
O.R. 30621A12

- ① $\Delta=90^{\circ}00'00''$ $R=20.00'$
 $Area=31.42'$
 $Chb=144^{\circ}40'40''$
 $Ch=28.28'$
- ② $\Delta=88^{\circ}04'40''$
 $85.00'$
- ③ $\Delta=88^{\circ}04'40''$
 $85.00'$
- ④ $\Delta=87^{\circ}00'00''$ $R=20.00'$
 $Area=31.42'$
 $Chb=144^{\circ}55'20''$
 $Ch=28.28'$

LINE	BLK	DELTA	RADIUS	LENGTH	CHORD	CHORD BEARING
1	1	11.17	11.17	11.17	11.17	11.17
2	2	11.17	11.17	11.17	11.17	11.17
3	3	11.17	11.17	11.17	11.17	11.17
4	4	11.17	11.17	11.17	11.17	11.17
5	5	11.17	11.17	11.17	11.17	11.17
6	6	11.17	11.17	11.17	11.17	11.17
7	7	11.17	11.17	11.17	11.17	11.17
8	8	11.17	11.17	11.17	11.17	11.17
9	9	11.17	11.17	11.17	11.17	11.17
10	10	11.17	11.17	11.17	11.17	11.17
11	11	11.17	11.17	11.17	11.17	11.17
12	12	11.17	11.17	11.17	11.17	11.17

LINE	DELTA	RADIUS	LENGTH	CHORD	CHORD BEARING
1	11.17	11.17	11.17	11.17	11.17
2	11.17	11.17	11.17	11.17	11.17
3	11.17	11.17	11.17	11.17	11.17
4	11.17	11.17	11.17	11.17	11.17
5	11.17	11.17	11.17	11.17	11.17
6	11.17	11.17	11.17	11.17	11.17
7	11.17	11.17	11.17	11.17	11.17
8	11.17	11.17	11.17	11.17	11.17
9	11.17	11.17	11.17	11.17	11.17
10	11.17	11.17	11.17	11.17	11.17
11	11.17	11.17	11.17	11.17	11.17
12	11.17	11.17	11.17	11.17	11.17

CURVE	DELTA	RADIUS	LENGTH	CHORD	CHORD BEARING	CHORD DISTANCE
C1	37'08"42"	200.00'	138.84'	5'74'35"16"	E	134.00'
C2	37'08"42"	200.00'	138.84'	5'74'35"16"	E	134.00'
C3	89'45'43"	175.00'	274.18'	5'40'02'28"	E	248.97'
C4	56'14'17"	175.00'	274.18'	5'40'02'28"	E	248.97'
C5	34'48'07"	175.00'	274.18'	5'40'02'28"	E	248.97'
C6	34'48'07"	175.00'	274.18'	5'40'02'28"	E	248.97'
C7	10'00'33"	275.00'	48.03'	5'40'02'28"	E	47.97'
C8	14'15'40"	275.00'	68.45'	5'40'02'28"	E	68.27'
C9	14'15'40"	275.00'	68.45'	5'40'02'28"	E	68.27'
C10	0'37'30"	275.00'	3.90'	5'40'02'28"	E	3.60'
C11	90'00'00"	20.00'	34.42'	5'40'02'28"	E	28.28'
C12	4'56'29"	200.00'	17.25'	5'40'02'28"	E	17.24'
C13	18'59'03"	200.00'	66.27'	5'40'02'28"	E	65.95'
C14	18'59'03"	200.00'	66.27'	5'40'02'28"	E	65.95'
C15	18'59'03"	200.00'	66.27'	5'40'02'28"	E	65.95'
C16	18'59'03"	200.00'	66.27'	5'40'02'28"	E	65.95'
C17	8'53'53"	200.00'	31.01'	5'40'02'28"	E	30.98'
C18	90'00'00"	20.00'	34.42'	5'40'02'28"	E	28.28'
C19	89'45'43"	175.00'	274.18'	5'40'02'28"	E	248.97'
C20	90'00'00"	20.00'	34.42'	5'40'02'28"	E	28.28'
C21	90'00'00"	20.00'	34.42'	5'40'02'28"	E	28.28'
C22	32'52'14"	150.00'	88.67'	5'40'02'28"	E	87.39'
C23	56'22'03"	150.00'	142.37'	5'40'02'28"	E	141.89'
C24	12'16'30"	150.00'	32.36'	5'40'02'28"	E	32.10'
C25	48'31'28"	150.00'	127.63'	5'40'02'28"	E	123.27'
C26	28'57'18"	150.00'	75.80'	5'40'02'28"	E	75.00'
C27	90'00'00"	20.00'	34.42'	5'40'02'28"	E	28.28'
C28	9'02'32"	200.00'	34.56'	5'40'02'28"	E	31.53'
C29	19'07'37"	200.00'	66.78'	5'40'02'28"	E	66.47'
C30	19'07'37"	200.00'	66.78'	5'40'02'28"	E	66.47'
C31	19'07'37"	200.00'	66.78'	5'40'02'28"	E	66.47'
C32	19'07'37"	200.00'	66.78'	5'40'02'28"	E	66.47'
C33	4'44'15"	200.00'	15.54'	5'40'02'28"	E	15.53'
C34	90'00'00"	20.00'	34.42'	5'40'02'28"	E	28.28'
C35	0'39'21"	225.00'	2.57'	5'40'02'28"	E	2.57'
C36	38'29'22"	225.00'	151.15'	5'40'02'28"	E	148.32'
C37	39'08'42"	225.00'	153.72'	5'40'02'28"	E	150.75'
C38	89'44'34"	20.00'	31.33'	5'40'02'28"	E	28.22'

15/11/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100/101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000/1001/1002/1003/1004/1005/1006/1007/1008/1009/1010/1011/1012/1013/1014/1015/1016/1017/1018/1019/1020/1021/1022/1023/1024/1025/1026/1027/1028/1029/1030/1031/1032/1033/1034/1035/1036/1037/1038/1039/1040/1041/1042/1043/1044/1045/1046/1047/1048/1049/1050/1051/1052/1053/1054/1055/1056/1057/1058/1059/1060/1061/1062/1063/1064/1065/1066/1067/1068/1069/1070/1071/1072/1073/1074/1075/1076/1077/1078/1079/1080/1081/1082/1083/1084/1085/1086/1087/1088/1089/1090/1091/1092/1093/1094/1095/1096/1097/1098/1099/1100/1101/1102/1103/1104/1105/1106/1107/1108/1109/1110/1111/1112/1113/1114/1115/1116/1117/1118/1119/1120/1121/1122/1123/1124/1125/1126/1127/1128/1129/1130/1131/1132/1133/1134/1135/1136/1137/1138/1139/1140/1141/1142/1143/1144/1145/1146/1147/1148/1149/1150/1151/1152/1153/1154/1155/1156/1157/1158/1159/1160/1161/1162/1163/1164/1165/1166/1167/1168/1169/1170/1171/1172/1173/1174/1175/1176/1177/1178/1179/1180/1181/1182/1183/1184/1185/1186/1187/1188/1189/1190/1191/1192/1193/1194/1195/1196/1197/1198/1199/1200/1201/1202/1203/1204/1205/1206/1207/1208/1209/1210/1211/1212/1213/1214/1215/1216/1217/1218/1219/1220/1221/1222/1223/1224/1225/1226/1227/1228/1229/1230/1231/1232/1233/1234/1235/1236/1237/1238/1239/1240/1241/1242/1243/1244/1245/1246/1247/1248/1249/1250/1251/1252/1253/1254/1255/1256/1257/1258/1259/1260/1261/1262/1263/1264/1265/1266/1267/1268/1269/1270/1271/1272/1273/1274/1275/1276/1277/1278/1279/1280/1281/1282/1283/1284/1285/1286/1287/1288/1289/1290/1291/1292/1293/1294/1295/1296/1297/1298/1299/1300/1301/1302/1303/1304/1305/1306/1307/1308/1309/1310/1311/1312/1313/1314/1315/1316/1317/1318/1319/1320/1321/1322/1323/1324/1325/1326/1327/1328/1329/1330/1331/1332/1333/1334/1335/1336/1337/1338/1339/1340/1341/1342/1343/1344/1345/1346/1347/1348/1349/1350/1351/1352/1353/1354/1355/1356/1357/1358/1359/1360/1361/1362/1363/1364/1365/1366/1367/1368/1369/1370/1371/1372/1373/1374/1375/1376/1377/1378/1379/1380/1381/1382/1383/1384/1385/1386/1387/1388/1389/1390/1391/1392/1393/1394/1395/1396/1397/1398/1399/1400/1401/1402/1403/1404/1405/1406/1407/1408/1409/1410/1411/1412/1413/1414/1415/1416/1417/1418/1419/1420/1421/1422/1423/1424/1425/1426/1427/1428/1429/1430/1431/1432/1433/1434/1435/1436/1437/1438/1439/1440/1441/1442/1443/1444/1445/1446/1447/1448/1449/1450/1451/1452/1453/1454/1455/1456/1457/1458/1459/1460/1461/1462/1463/1464/1465/1466/1467/1468/1469/1470/1471/1472/1473/1474/1475/1476/1477/1478/1479/1480/1481/1482/1483/1484/1485/1486/1487/1488/1489/1490/1491/1492/1493/1494/1495/1496/1497/1498/1499/1500/1501/1502/1503/1504/1505/1506/1507/1508/1509/1510/1511/1512/1513/1514/1515/1516/1517/1518/1519/1520/1521/15

1. The shaded area (designated the Storm Water Maintenance Easement) has been granted to the Franklin County Commissioners so that the Franklin County Drainage Engineer can maintain the Storm Sewers, Subsurface Drains, Structures and Culverts.

1. The shaded area (designated the Storm Water Maintenance Easement) has been granted to the Franklin County Commissioners so that the Franklin County Drainage Engineer can maintain the Storm Sewers, Subsurface Drains, Structures and Culverts.

2. No structure or improvements of any kind, including sheds, fences, flower beds, rock gardens and trees (but excluding grass and approved bank protection), shall be erected or planted within the easement provided for the watercourse unless reviewed and approved by the Franklin County Drainage Engineer.

3. Every owner of property within the storm water maintenance easement shall maintain the portion of said storm water easement in their property and keep the same free of debris and obstruction of all kinds. Said maintenance shall be limited to mowing, removal of debris and turf maintenance. All other maintenance of the grassed waterways, drainage channels, subsurface drains and storm sewers shall be performed at the direction of the Franklin County Drainage Engineer.

4. The property owner will maintain the drainage structures, swales, underdrains and storm sewers along the side and back lot lines.

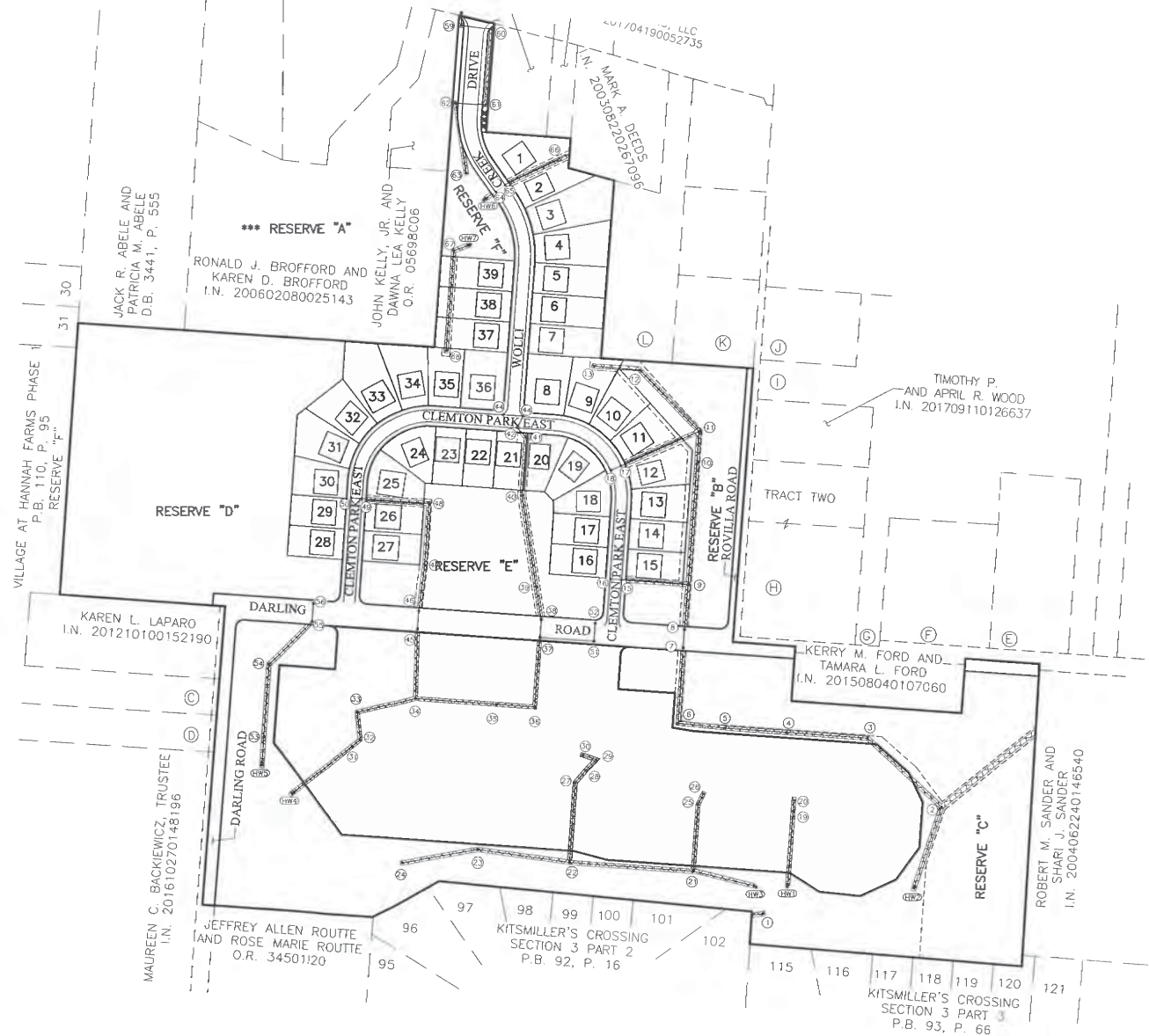
5. These restrictions and agreements shall run with the land and shall bind the owner, his successors and assigns unless and until a modification or change thereto is agreed to and approved by Franklin County.

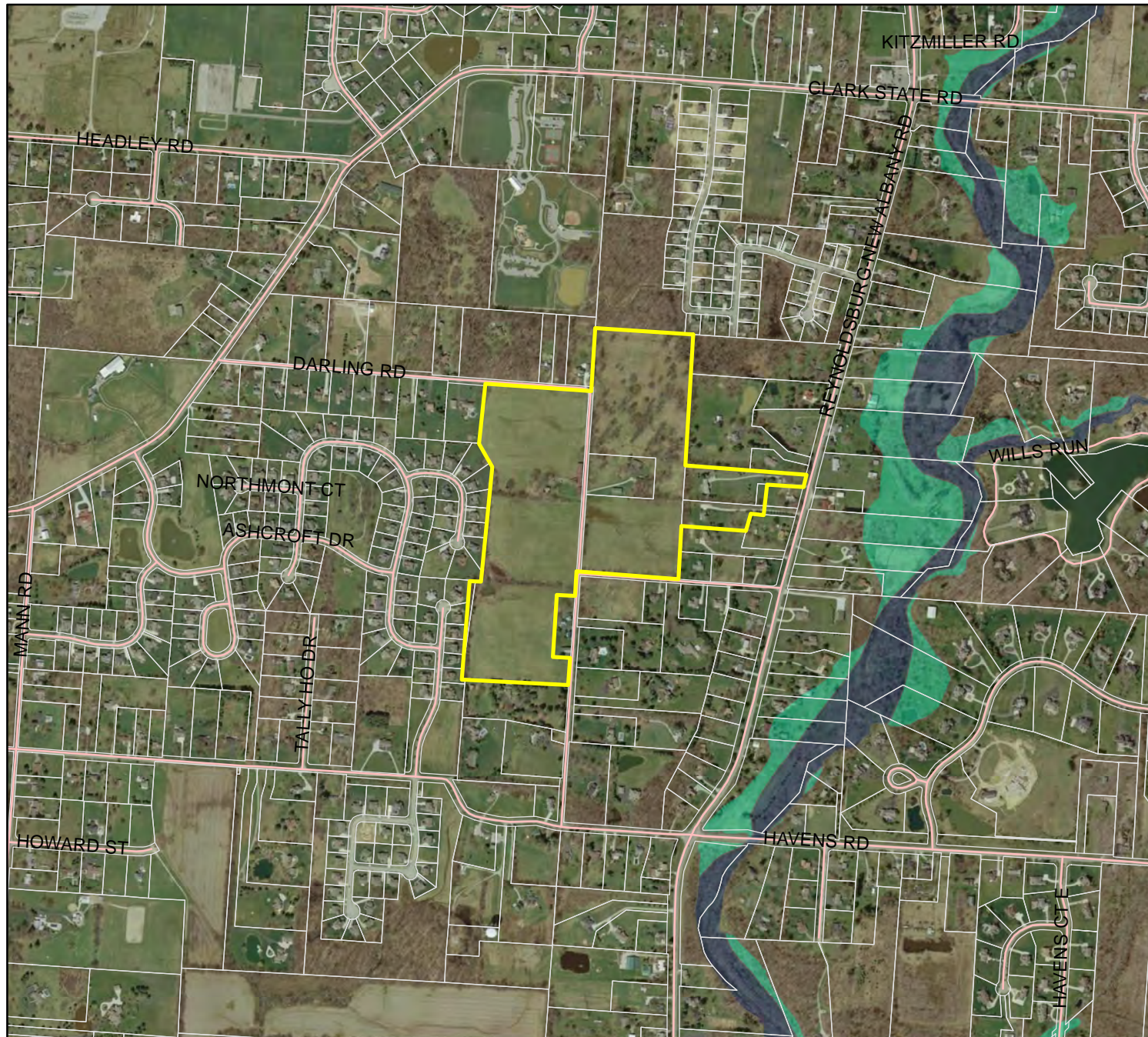
6. All areas disturbed during maintenance operations will be reestablished with grass; tree removal will not be replanted

This sheet is for information purposes only and is not intended to create plat restrictions. More information required regarding the Ditch Maintenance Plan can be acquired by a competent examination of the then current public records, including those in the Recorder's Office, Franklin County, Ohio

Hatching for ditch maintenance areas are shown here at constant widths. However actual widths of allowable maintenance areas vary based on size of pipe and easement. Ditch maintenance allows ingress/egress to all areas requiring maintenance and will require funding sufficient to maintain adequate drainage.

- (C) PAUL D. GIBBS
AND CLARA J. GIBBS
O.R. 23022E18
- (D) PAUL DOUGLAS GIBBS
AND CLARA J. GIBBS
I.N. 201106280080107
- (E) JOHN AND
LORENA POPELKA
I.N. 201610120138536
- (F) RONALD G. AND
BARBARA J. TAFT
O.R. 33540J16
- (G) WILLIAM J. MORRIS
I.N. 201506250085454
- (H) ROBERT N. WEIDNER, JR.,
TRUSTEE
TRACT ONE
I.N. 201603170031609
- (I) CHRISTOPHER J. KEALY AND
JENNIFER A. PORTEUS
I.N. 201703080031713
- (J) SCOTT A. MORRISON AND
DEBRA S. MORRISON
I.N. 201701300014808
- (K) DONALD R. HUGHES AND
KAYE E. HUGHES, TRUSTEES
I.N. 200508220170603
- (L) ELSIE L. LINES, TRUSTEE
PARCEL III
O.R. 30621A12



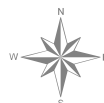
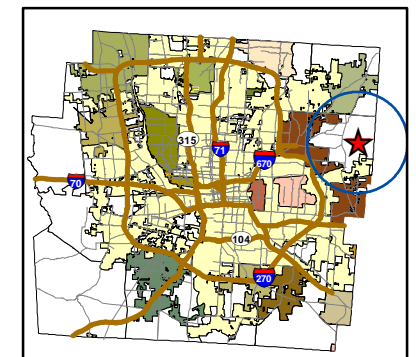


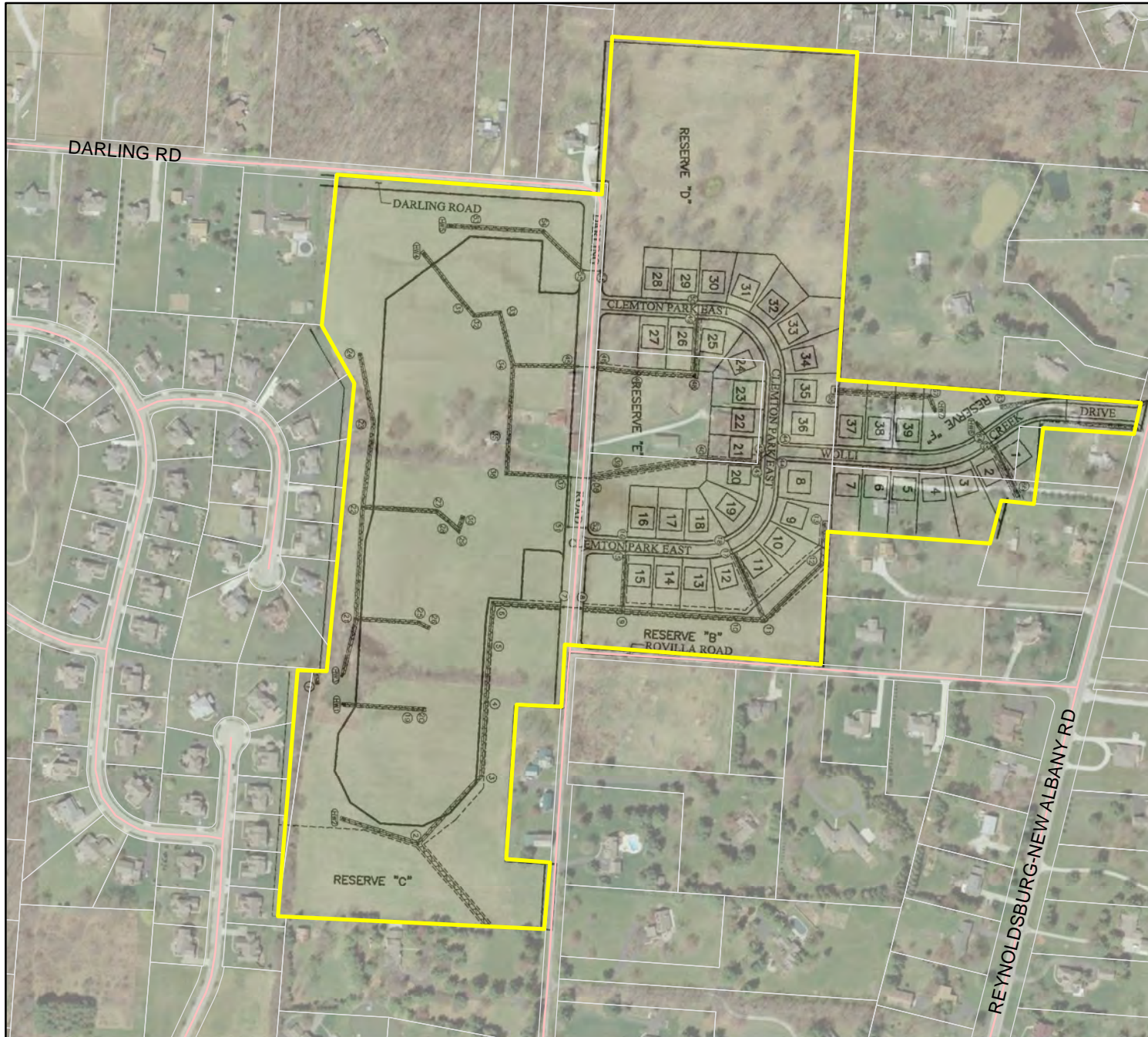
680-FP-1

Requesting Final Plat approval of the Weldon Phase 1 Subdivision to allow the creation of 39 single-family lots and 6 reserves.

62.1 acres
Jefferson Township

- Proposed Site
- Parcels
- Streets
- Floodway Fringe
- Floodway



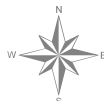
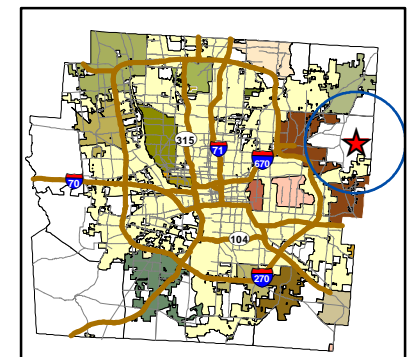


680-FP-1

Requesting Final Plat approval of the Weldon Phase 1 Subdivision to allow the creation of 39 single-family lots and 6 reserves.

62.1 acres
Jefferson Township

- Proposed Site
- Parcels
- Streets





Commissioner John O'Grady • Commissioner Marilyn Brown • Commissioner Kevin L. Boyce
President

Economic Development & Planning Department
James Schimmer, Director

STAFF REPORT

Planning Commission
December 13, 2017

Case: 687-V

Prepared by: Brad Fisher

Applicant/Owner:	Patricia Beebout
Agent:	Marie Potts
Township:	Jefferson Township
Site:	2120 Reynoldsburg New Albany Road (PID #170-000135)
Acreage:	7.731-Acres
Utilities:	Public water and wastewater
Request:	Requesting a Variance from Section 501.05 of the Franklin County Subdivision Regulations to allow a lot split that will result in a property that exceeds the maximum depth to width ratio and results in a side property line more than five (5) degrees of perpendicular to the street centerline.

Summary:

The applicant is requesting a Variance to allow a lot split that will result in a parcel that exceeds the maximum depth to width ratio and results in a side property line more than five (5) degrees of perpendicular to the street centerline. The application satisfies the criteria necessary to grant a variance. Staff recommends approval with conditions.

Request:

The site is located south of Havens Road, on the east side of Reynoldsburg-New Albany Road in Jefferson Township. The existing lot is developed with a single-family home, accessory building, and an in-ground swimming pool. Approximately five (5)-acres of the existing lot is wooded and backs up to Blacklick Creek.

The applicant is proposing to split 2.864-acres from behind the existing home. The depth to width ratio of the proposed parcel would be 14 to 1. The maximum permitted depth to width ratio is 4 to 1.

The applicant is also seeking a variance to the requirement for a side lot line to be within five (5) degrees of perpendicular to the street.

Surrounding Zoning and Land Use:

The surrounding area is zoned Restricted Suburban Residential District (RSR) in Jefferson Township and is low density residential in character. The minimum lot size in the (RSR) District is 1 acre with a minimum lot width of 60 feet at the right-of-way and 150 feet at the front line of the dwelling.

Comprehensive Plan:

The Jefferson Township Comprehensive Plan, adopted in 1996, recommends the area for low density residential use, with the intent to retain an overall density that is lower than other areas of the township. The proposal will result in the creation of a new lot and increase the residential density in an area zoned Restricted Suburban Residential (RSR).

The proposed split is not out of character with other lots in the area and meets Jefferson Township's development standards.

Technical Review Agencies**Franklin County Engineer**

Requires a shared access easement to be created prior to approval of the lot split.

Soil & Water Conservation District

Indicated no concerns with the proposed lot split.

Jefferson Township

Approved a Certificate of Zoning Compliance on September 18, 2017 for the Minor Lot Split proposal.

Jefferson Water and Sewer

Stated that water and sewer services are available for the proposed lot.

Staff Analysis**Variance Criteria:**

All of the following must be met in order to grant a variance:

1. *It shall not be detrimental to public health or safety or be injurious to other property.*
The proposed lot split will have no impact on public health or safety or be injurious to other property.
2. *Circumstances of the request are unique to the property and not generally applicable to others.*
The requested variance is unique in that the required setback from Blacklick Creek limits the area to be developed. Although the site contains sufficient acreage to allow two properties that meet the zoning development standards, there is no way to create a new lot out of the existing property without requiring a variance with respect to the lot geometry standards.
3. *Due to physical surroundings, shape or characteristics of the property, a hardship would result, as distinguished from an inconvenience, if the strict letter of these Regulations were enforced.*
Due to the location of Blacklick Creek and the 120 foot required setback from the Creek, development on the property is limited.

Staff notes that there are non-conforming properties with respect to lot geometry standards surrounding the subject site which are similar in design, however, they are not limited by the same Riparian Setback requirements.

Staff Recommendation

Based on Staff's Analysis, staff recommends approval with conditions of the Variance request from Section 501.05 of the Franklin County Subdivision Regulations to allow a lot split that will result in a parcel that exceeds the maximum depth to width ratio and has a lot line that is more than five (5) degrees of being perpendicular to the street. The conditions of approval are as follows:

1. The applicant must apply for and receive approval of the proposed lot split from the Franklin County Economic Development and Planning Department.
2. The applicant must receive approval of the shared access easement by the Franklin County Engineer's Office prior to the approval of the lot split and the easement must be indicated on the submitted survey.

Findings of Fact

For your convenience, the following are proposed findings of fact if the Variance is granted:

_____ moves that the basis for approving the applicant's request for the Variance from Section 501.05 of the Franklin County Subdivision Regulations as outlined in the request above for the applicant identified in Case No. 687-V results from the applicant satisfying the standards for granting a Variance under Section 701.07.

Seconded by: _____

Voting:

701.07 General Standards for Variances. The FCPC shall not grant variations to these Regulations unless it shall make written findings of fact based upon the evidence presented by each specific case that:

- A. The particular physical surroundings, environmental constraints, shape, topographical or other exceptional condition of the specific property involved would cause extraordinary hardship or exceptional practical difficulty to the applicant, as distinguished from a mere inconvenience, if the provisions of these Subdivision Regulations were strictly enforced; and
- B. The conditions upon which the request for a variance is based are unusual to the property for which the variation is sought and are not applicable generally to other property; and
- C. The purpose of the variance is not based exclusively upon a desire to obtain additional income from the property; and
- D. The granting of the variance will not be detrimental to the public health, safety or general welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
- E. The special circumstances or conditions are created by the provisions or requirements of these regulations and have not resulted from any act of the applicant or applicant's predecessor in interest; and
- F. The variance requested is the minimum adjustment necessary for the reasonable use of the land.

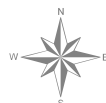
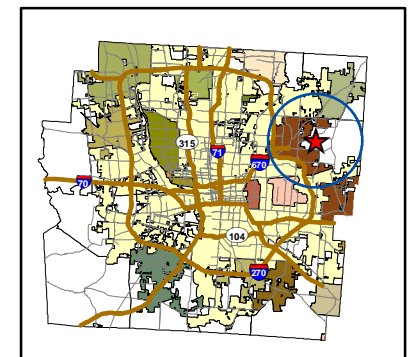


687-V

Requesting a Variance from Section 501.05 of the Franklin County Subdivision Regulations to allow a lot split that will result in a property that exceeds the maximum depth to width ratio and results in a side property line more than 5 degrees of perpendicular to the street centerline.

7.731 acres
Jefferson Township

- 2120 Reynoldsburg-New Albany Rd
- Parcels
- Streets
- Floodway Fringe
- Floodway



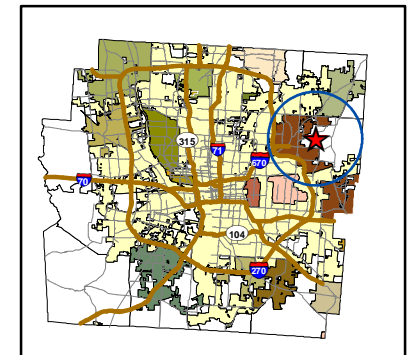


687-V

Requesting a Variance from Section 501.05 of the Franklin County Subdivision Regulations to allow a lot split that will result in a property that exceeds the maximum depth to width ratio and results in a side property line more than 5 degrees of perpendicular to the street centerline.

7.731 acres
Jefferson Township

- 2120 Reynoldsburg-New Albany Rd
- Parcels
- Streets
- Floodway Fringe
- Floodway





Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4500 Toll Free: 888.775.3448
emht.com

SURVEY OF ACREAGE PARCEL

LOT 38, QUARTER TOWNSHIP 1, TOWNSHIP 1, RANGE 16

UNITED STATES MILITARY LANDS

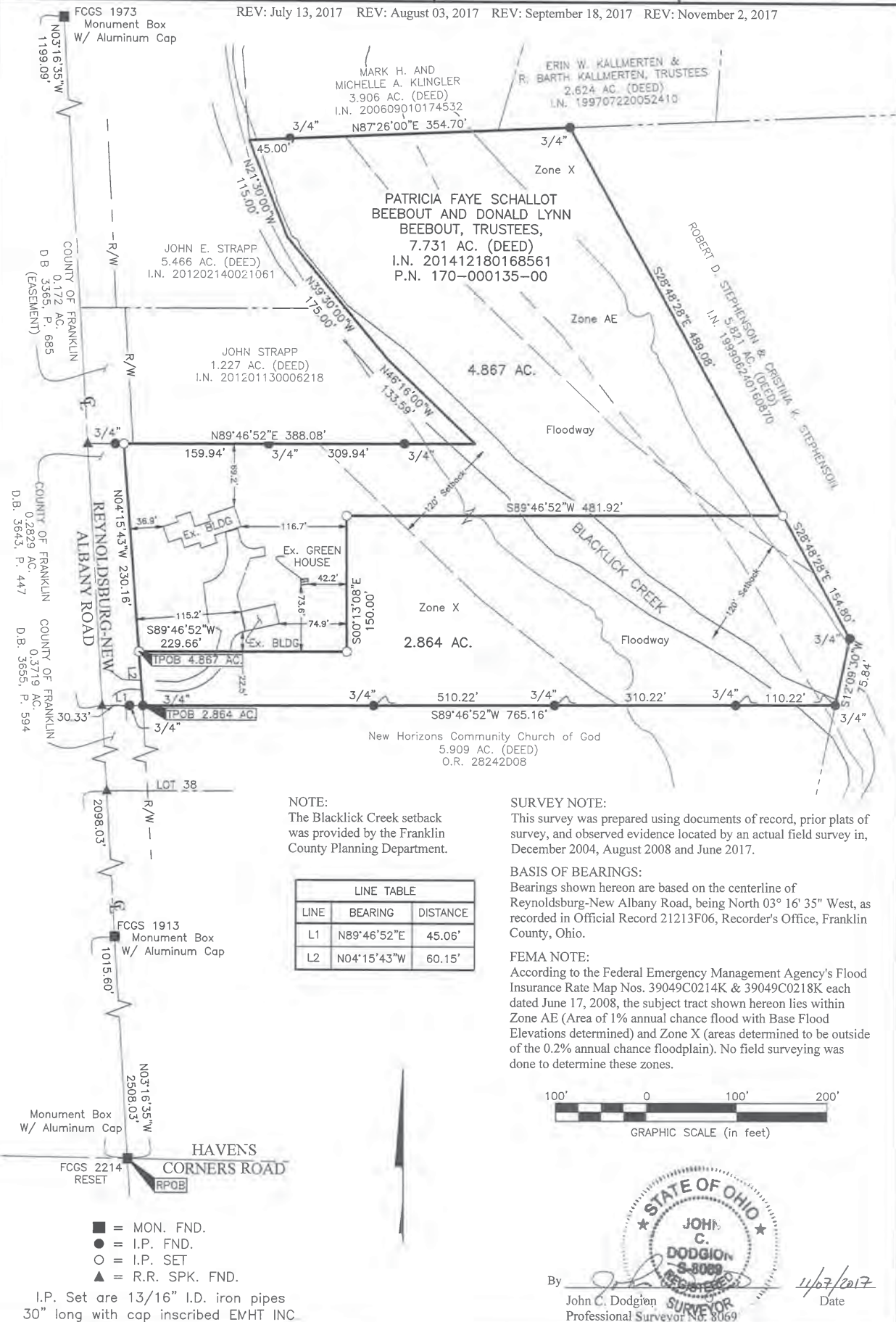
TOWNSHIP OF JEFFERSON, COUNTY OF FRANKLIN, STATE OF OHIO

Date: July 13, 2017

Job No: 2017-0769

Scale: 1" = 100'

REV: July 13, 2017 REV: August 03, 2017 REV: September 18, 2017 REV: November 2, 2017



J:\20170769\UNGO\4SHEETS\BOUNDARY_20170769-VS-BNDY-02 REV.DWG plotted by DODGION on 11/6/2017 7:19:47 AM last saved by DODGION on 11/6/2017 7:19:47 AM

Commissioner John O'Grady • Commissioner Marilyn Brown • Commissioner Kevin L. Boyce
President

Economic Development & Planning Department
James Schimmer, Director

STAFF REPORT

Planning Commission
December 13, 2017

Case: PRAIR-17-06

Prepared by: Phil Ashear

Applicant:	Prairie Township Board of Trustees
Township:	Prairie Township
Request:	Requesting to amend Article 18 of the Prairie Township Zoning Resolution to create the West Broad Street Corridor Overlay District.

Summary

The applicant is seeking to amend portions of the Prairie Township Zoning Resolution to include an overlay titled the West Broad Street Corridor Overlay District (WBSCOD) with the intended goal of improving urban form and walkability. The Overlay includes four (4) sub-districts along the Corridor: the Commercial Gateway Sub-District, the Central Transition Sub-District, the Medical Campus Sub-District, and the Western Gateway Sub-District. Each of these sub-districts has unique standards for community-oriented development. Staff recommends approval with conditions.

Overlay Summary

Text Overview

In order to enhance the community character of development in Prairie Township, the WBSCOD includes: standards for site design, architectural and other aesthetic improvements, and additional pedestrian and bicycle infrastructure. According to the Purpose and Intent of the WBSCOD, each of these is in keeping with the 2015-2020 Prairie Township Strategic Plan.

The WBSCOD establishes three (3) strategies to guide Prairie Township toward prosperity:

1. Identity: Bring people to Prairie Township by projecting a clear, positive identity.
2. Investment: Take actions to increase investment in the West Broad Street Corridor and in maturing neighborhoods.
3. Community: Create community by creating places, programs, and events that bring people together.

The development standards found in the Overlay with further these strategies.

The Overlay is structured such that the main development standards apply to the entirety of the West Broad Street Corridor. The description of each of the four (4) sub-districts, including brief standards that apply to that sub-district specifically, follows the main development standards.

Sub-Districts

The Overlay includes four (4) sub-districts; each represents a section of the West Broad Street Corridor. They are the Commercial Gateway Sub-District, the Central Transition Sub-District, the Medical Campus Sub-District, and the Western Gateway Sub-District. Development standards for setbacks, building orientation and parking are the same for all sub-districts, with the exception of the Central Transition Sub-District.

The Commercial Gateway Sub-District

The Commercial Gateway Sub-District is the eastern-most sub-district. It begins at the I-270 interchange and extends west to Murray Hill Road. This sub-district is marketed as the entryway to the corridor.

The Central Transition Sub-District

The Central Transition Sub-District begins at Murray Hill Rd. and extends west to Sturbridge Road and Gladys Road. In this sub-district all building facades are recommended to face West Broad Street, however, unlike the other sub-districts, it allows for the primary entrance to face side-oriented parking lots.

The Medical Campus Sub-District

The Medical Campus Sub-district begins at Sturbridge Road, and Gladys Road, and extends west. Its western boundaries are Norton Road on the south side of West Broad Street and Buena Vista Road on the north side of West Broad Street.

The Western Gateway Sub-District

This sub-district is divided north-south along West Broad Street. On the north side it runs from Buena Vista Road to Hilliard Rome Road. On the south side of West Broad Street this sub-districts runs from Gladys Road to Prairie Alley.

Overview of Development Standards

The most prominent governing standards of the overlay are the front setback, parking, and site design standards. These remain mostly constant within the four (4) sub-districts. The front setback is established between 20 and 30 feet from the back of the curb. Parking is not permitted in front of any building façade facing West Broad Street. The only real difference is the permitted building orientation in the Central Transition Sub-District. This district allows for an alternate building orientation, not entirely facing West Broad Street. All other sub-districts require building orientation toward West Broad Street.

Illustrations

Illustrations are provided to clarify the intended right-of-way design, building height, setback lines, architectural features, parking location, and street tree location. These illustrations are for clarification and are not regulatory. Figures 9 and 10 appear to be numbered incorrectly.

Staff Analysis

The proposed amendment keeps with the Township's policies adopted in the 2015-2020 Prairie Township Strategic Plan and the Prairie Township Redevelopment Study. Furthermore, the proposed amendments are in accordance with the Ohio Revised Code and keep with the intent of the Franklin County Zoning Resolution, which is to encourage appropriate land use, preserve property value and promote public health, safety and public welfare.

Technical Review Agencies

No Technical Review Agencies expressed any concerns with the proposed amendment.

Staff Recommendation

Staff recommends approval of the proposed text amendments with the following conditions:

1. Prairie Township work with ODOT to ensure appropriate regulation of the public right-of-way.
2. Illustrations are renumbered to reflect accurate chronological order.

ARTICLE 18

WEST BROAD STREET CORRIDOR OVERLAY DISTRICT

SECTION 1800

PURPOSE & INTENT



The purpose and intent of the West Broad Street Corridor Overlay District (“Corridor Overlay District”) is to advance the goals for community character and development in the Township’s primary arterial roadway corridor as originally envisioned in the 2015-2020 Prairie Township Strategic Plan (“Strategic Plan”), and to implement specific recommendations for the corridor as outlined in the 2016 Prairie Township Redevelopment Study. The Strategic Plan outlined three strategies to guide Prairie Township toward prosperity:

- Strategy 1: Identity: “Bring people to Prairie Township by projecting a clear, positive identity;”
- Strategy 2: Investment: “Take actions to increase investment in the West Broad Street Corridor and in our maturing neighborhoods;” and
- Strategy 3: Community: “Create community by creating places, programs, and events that bring people together.”

The requirements of this Corridor Overlay District are to advance the objectives of each strategy by guiding new development and private property investments along and near West Broad Street, and supporting high-quality, pedestrian-friendly and economically viable development that will create a more positive image of the corridor as an attractive place and center of activity within the Township.

The West Broad Street Corridor is one of four focus areas identified in the Prairie Township Redevelopment Study. It is characterized by primarily Mid- to Late- 20th Century, auto-oriented suburban development that has resulted in an uncoordinated pattern of buildings and parking lots along a busy thoroughfare. Much of this development is now aged, out-dated, underutilized and no longer consistent with modern development standards in terms of building placement, architectural quality and overall site design. Many of the base zoning requirements in effect today do not effectively advance the objectives of the Strategic Plan or the Prairie Township Redevelopment Study. In fact, many of the base zoning requirements are directly inconsistent with those recommendations.

Until recently, much of the Corridor Overlay District has lacked pedestrian or bicycle facilities, and has generally been in poor physical condition. The Ohio Department of Transportation’s 2016 reconstruction of West Broad Street, and the Township’s partnership to improve the streetscape has changed the character of the public realm in the corridor, improving the aesthetics of the roadway and providing sidewalks and bicycle lanes that will encourage active transportation modes.

The development standards established for the Corridor Overlay District will ensure that new development builds upon and appropriately coordinates with this significant public infrastructure improvement.

The Corridor Overlay District provides a framework by which the Township can administer clear, predictable and equitable zoning requirements that will advance the community's interest in improving the quality of place in its primary commercial corridor with specific standards that regulate the built form of development (e.g. scale and placement of buildings and architectural design standards), parking and loading facilities, landscaping, lighting, signage and site amenities.

DISTRICT BOUNDARY & SUB-DISTRICTS

The West Broad Street Corridor Overlay District encompasses all properties having frontage on West Broad Street (US Route 40) and located within the jurisdiction of Prairie Township, extending from the I-270/West Broad Street Interchange to Hilliard-Rome Road. It also includes selected parcels that do not have direct frontage on West Broad Street, but which are associated with the larger corridor by adjacency, use and base zoning. This includes some parcels having frontage on streets intersecting with or running generally parallel to West Broad Street. These include: Old Village Road, South Greener Avenue, North Murray Hill Road, South Murray Hill Road, Sturbridge Road, Beacon Hill Road (non-side street), Inah Avenue, Norton Road, Palmetto Street (non-side street), East Street, Brown Street, West Street, and Green Street (non-side street).

Additional corner side streets include: Buena Vista Avenue, Maple Drive, Pasadena Avenue, Lawrence Avenue, Lennox Avenue, and Hilliard-Rome Road.



Figure 1: West Broad Street Corridor Overlay District Boundary

Figure 1 shows the boundaries of all areas encompassed with the Corridor Overlay District. At the time of the adoption of the Corridor Overlay District, existing zoning classifications within the boundaries of the District include:

GB – General Business District	SO – Suburban Office District
LB – Local Business District	

The Corridor Overlay District is divided into a series of four (4) geographic sub-districts (see Figure 2), generally corresponding to a series of target areas identified in the Prairie Township Redevelopment Study as being most amenable to certain types of redevelopment and reinvestment opportunities. The sub-districts are:

1. The Commercial Gateway Sub-District

This sub-district extends from the I-270 interchange to Murray Hill Road. It also includes some commercial and vacant properties along Old Village Road and Grener Avenue immediately to the north and south of properties fronting on West Broad Street. See Section 1813 for additional standards related to this sub-district.

2. The Central Transition Sub-District

This sub-district extends from Murray Hill Road to Sturbridge Road, extending to Medfield Way on the north. It also includes a single commercial property south of the corridor at the intersection of South Murray Hill Road and Redmond Road. See Section 1814 for additional standards related to this sub-district.

3. The Medical Campus Sub-District

This sub-district extends from Sturbridge Road to Norton Road south of West Broad Street and to rear lot line of single-family parcels (non-inclusive) fronting Buena Vista Avenue. This district primarily includes the Ohio Health Doctors Hospital complex, extending to Beacon Hill Road, and additional medical and professional office buildings south of West Broad Street, extending to Palmetto Street. See Section 1815 for additional standards related to this sub-district.

4. The Western Gateway Sub-District

This sub-district extends from Norton Road and the west boundary of the Medical Campus District to Hilliard Rome Road. It includes a mix of commercial and residential properties within the formerly incorporated area, previously known as New Rome. See Section 1816 for additional standards related to this sub-district.



Figure 2: West Broad Street Corridor Overlay Sub-districts

SECTION 1801

APPLICABILITY, EXTENT AND COMPLIANCE

1. For all properties located within the Corridor Overlay District, compliance with the provisions of Section 1801 are as follows:
2. In the event of a conflict between the standards contained in Article 18 and other provisions of the Prairie Township Zoning Resolution, those within Article 18 shall prevail.
3. The illustrations and diagrams shown in Article 18 (labeled “Figure” under each), are intended for reference. The standards outlined in the text within Article 18 shall prevail.
4. Redevelopment of existing sites and structures
 - a. Existing structures and sites which do not meet the requirements of the Corridor Overlay District for building orientation, architectural standards, or other site development standards but which were lawfully existing prior to the adoption of the Corridor Overlay District, shall be considered legally non-conforming structures and sites.
 - b. Existing structures and sites that do not wholly or partially meet the requirements of the Corridor Overlay District shall not be modified in a manner which brings them further from conformity with these overlay standards.
 - c. Sites with existing buildings may be further developed with additional structures, provided that new structures meet the building orientation and architectural standards of the Corridor Overlay District.
5. Modifications to existing structures. Retrofits or conversion of existing structures that involve an enlargement or alteration of an existing building shall be subject to the requirements of the Corridor Overlay District based on the magnitude of the modification. Modifications shall be classified as minor, major, or intermediate, as defined below. Modifications to existing structures may also involve other site modifications. Refer to Section 1801 (6) for requirements related to the modification of existing sites. (Figures 3A and 3B illustrate before and after examples of building and site modifications and Figure 4 illustrates a combination of potential building and site modifications).
 - a. Minor Building Modifications. Retrofits or conversion of existing structures that involve an enlargement or alteration of an existing building by less than or equal to five thousand (5,000) square feet or ten percent (10%) of the gross floor area, whichever is less, are not required to meet the additional standards of the Corridor Overlay District.
 - b. Major Building Modifications. Retrofits or conversion of existing structures that involve an enlargement or alteration of an existing building by sixty percent (60%) or more of the gross floor area shall be brought into full compliance with the applicable Architectural Standards (Section 1808) of the

Corridor Overlay District, but shall not be subject to the Building Orientation (Section 1803) standards unless otherwise permitted through the applicable variance or conditional use procedures of the Prairie Township Zoning Resolution.

- c. Intermediate Building Modifications. Retrofits or conversion of existing structures that involve an enlargement or alteration of an existing building by more than five thousand (5,000) square feet, or ten percent (10%) of the gross floor area, or whichever is less, but not exceeding sixty percent (60%) of the existing floor area, shall include at least three (3) of the following building façade design upgrades. Upgrades shall be visible from the public right-of-way.
 - i. Roofline variations.
 - ii. Canopy or awning treatments.
 - iii. Additional window transparency.
 - iv. Exterior material upgrades.
 - v. Additional or enhanced public entrances.
 - vi. Installation of building foundation landscaping.
 - vii. For restaurants and bars, installation or upgrade of garage bay doors to aesthetic roll-up window/door systems.
 - viii. Aesthetic upgrades to exterior building light fixtures. (New fixtures shall be cut-off, downcast design.)
 - ix. Building-mounted sign upgrades meeting the requirements of these overlay standards.

6. Site Modifications

Modifications to existing sites that do not involve the alteration of an existing building shall be subject to the requirements of the Corridor Overlay District based on the magnitude of the modification. Modifications shall be classified as minor, major, or intermediate, as defined below.



Figure 3A: Example of Building Prior to Modifications



Figure 3B: Example of Building After Modifications

- a. Minor Site Modifications. Upgrades or alteration of existing parking areas, landscape areas, service areas, freestanding signs or other accessories to the site affecting less than ten percent (10%) of the gross site area shall not be required to meet the additional standards of the Corridor Overlay District.
- b. Major Site Modifications. Upgrades or alteration of existing parking areas, landscape areas, service areas, freestanding signs or other accessories to the site affecting sixty percent (60%) or more of the gross site area shall be brought into full compliance with the applicable site-related design standard (Sections 1804-1812, excepting Sections 1807 and 1808) requirements of the Corridor Overlay District, unless otherwise permitted through the applicable variance or conditional use procedures of the Prairie Township Zoning Resolution.
- c. Intermediate Site Modifications. Retrofits or conversion of existing parking areas, landscape areas, service areas, freestanding signs or other accessories to the site affecting less than sixty percent (60%) but more than ten percent (10%) of the site shall include at least three (3) of the following site design upgrades (see Figures 5A and 5B for examples of appropriate site modifications). Upgrades must be visible from the public right-of-way.
 - i. Installation of perimeter and interior parking lot landscaping.
 - ii. Installation of a street wall treatment along streetside parking lot edges.
 - iii. Installation of building foundation landscaping.
 - iv. If a ground-mounted sign is proposed for relocation or upgrade, conversion to a monument sign meeting the requirements of this overlay.
 - v. Conversion of paved vehicular area to outdoor dining, patio, plaza or greenspace area.
 - vi. Creation of a designated pedestrian way through an existing streetside parking lot from the public sidewalk to the main building entrance.

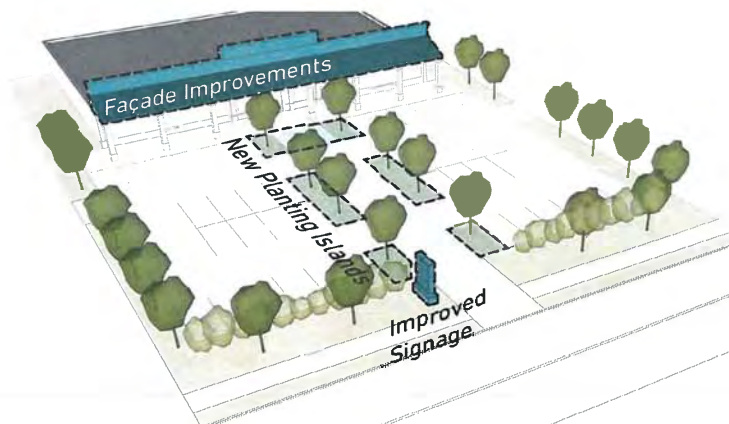


Figure 4: Example of Potential Building and Site Modifications

- vii. Aesthetic upgrades to parking lot light fixtures. (New fixtures must be cut-off, downcast design.)
 - viii. Installation of on-site Storm Water Best Management Practices. Refer to Appendix B for recommended options.
- d. In addition to the above design upgrades, existing sites meeting the Intermediate Site Modification criteria, if located along a public street lacking a curb or sidewalk, shall include upgrades to the street edge with curbs, street trees and sidewalks built to public street standards, as outlined below.
- i. Continuous curb cuts and uninterrupted parking lot edges shall be eliminated and replaced with a single driveway access point no greater than thirty (30) feet in width if located on West Broad Street and no greater than twenty (20) feet in width if located on any other street.
 - ii. Vehicular access shall not be located directly on West Broad Street if another access location is available. If a rear alley is present, vehicular access shall be limited to the alley.
 - iii. In circumstances where existing parking lot layout and building location make it physically infeasible to install a continuous raised curb and tree lawn, an at-grade concrete sidewalk with a minimum width of five (5) feet shall be installed to delineate pedestrian space between the street and parking area.
 - iv. Modifications to existing parking areas shall be designed to provide a cross-access connection to existing or future adjacent parking areas, located no greater than sixty (60) feet from the rear property line. This may be designed to accommodate a future connection if it is not immediate feasible to install the connection.
7. Sites which are proposed for complete demolition of existing structures and redevelopment with multiple structures shall be subject to the following requirements:
- a. Development sites greater than five (5) acres in size shall be designed to create an internal system of public or private streets and alleys. Private streets shall be designed to public street standards.



Figure 5A: Example of Site Prior to Modifications



Figure 5B: Example of Site After Modifications

- b. As part of the permitting process, such developments shall submit a development plan for review and approval by the Township Zoning Officer. The development plan may include a phasing plan, demonstrating phased build-out of the site in compliance with the requirements of the Corridor Overlay District.
- c. Internal street systems shall be designed to create a rectilinear grid of streets and blocks, to the maximum extent possible. Where existing streets do not allow for the creation of rectangular blocks, new blocks may be irregularly shaped, provided that they create an interconnecting grid of streets.
- d. New public or private streets internal to a development site shall be considered Tertiary Streets. Street frontage and building orientation requirements for West Broad Street and applicable Secondary Streets shall take precedence over street frontage along new Tertiary Streets. However, development may occur first along Tertiary Streets provided that an approved development plan is established ensuring that the site will meet all Primary and Secondary Street frontage requirements upon build-out.

SECTION 1802

DEFINITIONS

The following definitions shall apply to new development, site modifications or building modifications within the West Broad Street Corridor Overlay District. In the event of a conflict in the definitions contained in Article 18 and other definitions within the Prairie Township Zoning Resolution, those within Article 18 shall prevail for properties located within the Corridor Overlay District. Unless otherwise provided for in Section 1802, other applicable definitions within the Prairie Township Zoning Resolution shall apply.

1. Canopy or Awning Sign: Any sign that is physically affixed or imprinted onto the surface of a building canopy or awning. See Figure 17 for an example.
2. Corner Entrance: A primary entrance located on the corner of a building meeting the requirements of Section 1804 (1) (a).
3. Cornice: An architectural, decorative sculpting element located directly below the roofline of a building. See Figure 17 for an example.
4. Cut-off Lamp Fixture: An exterior lamp fixture designed to prevent the emission of direct uplight beyond an angle of 90° (horizontal).
5. Dwelling Unit: Any individual accommodation where one or more rooms in a residential building or residential portion of a building are arranged, designed, used, or intended for use as a complete, independent living space which includes permanent provisions for living, sleeping, eating, cooking, and sanitation. For multiple family structures, each individual apartment is considered a single dwelling unit.
6. Expression Line: A decorative horizontal design element that projects from the exterior façade of a building that runs the length of the wall and visually divides the

mass of a building façade, such as a header course or string course. See Figure 17 for an example.

7. Façade Coverage: The percentage of lot width (or development site area width) that must be covered by the building's front façade.
8. Façade Zone: The area between the minimum and maximum front building setback, parallel to the front property line, in which the front façade of a building must be located. For an example, see Figure 6.
9. Foundation Water Table: The sloping top of a brick course used to cast water away from the foundation of a building.
10. Monument Sign: A free-standing, ground-mounted sign whose support structure runs at least the length and width of the supported sign and which is embedded permanently in the ground. Free-standing signs are not considered monument signs.
11. Parapet: A low wall along the edge of a roof, often used to screen roof-top mechanical equipment. See Figure 17 for an example.
12. Pedestrian Passage: An open walkway passing through the ground floor of a building and covered by the building's roof or upper floors, designed to provide access from rear-located parking to the main building entrance(s) on the front façade.
13. Pedestrian Zone: The area between the street and the Façade Zone, including street trees or plantings, sidewalks and other streetscape elements. The area may include portions of a private lot located between the right-of-way and the Façade Zone. See Figure 6 as reference.
14. Pilaster: A vertical architectural element that projects from the exterior face of a building façade and serves to visually divide the mass of the building façade.
15. Plant Zone: A portion of the public right-of-way used for street trees and landscaping. This may include turf, trees, shrubs or ornamental landscape beds. It may also include hardscape materials such as concrete or brick pavers in which street trees are planted in open beds or tree grates. The plant zone may be located between the street curb and sidewalk or between the sidewalk and the property line of adjacent private properties, or in both locations depending on the right-of-way design.
16. Projecting Eave: The edge of a roof that hangs over a building wall. See Figure 17 for an example.
17. Projecting Name Plate Sign: A sign that is affixed to a building façade and projects outward from and perpendicular to the façade and which is not affixed to the ground, with a maximum total sign area of three (3) square feet. See Figure 17 for an example.
18. Quoin: An architectural element comprised of interlocking bricks or masonry blocks at the corner of a building and extending the vertical length of the building façade. See Figure 17 for an example.
19. Secondary Street: For the purposes of the West Broad Street Corridor Overlay District, Secondary Streets are generally those which intersect with West Broad

Street. Secondary Streets take precedence over Tertiary Streets in terms of front façade orientation and front entrance location. Secondary Streets are listed for each sub-district in Sections 1813-1816.

20. Shopping Center Identification Sign: A monument sign intended to identify consolidated shopping centers having an anchor tenant and multiple sub-tenants and/or outlots, and a total combined gross floor area of at least one hundred thousand (100,000) square feet.
21. Storefront: The ground floor front façade of a commercial building (typically with retail, dining or office uses) composed primarily of large display windows and one or more public entrances to commercial tenant spaces.
22. Street Wall: The line of decorative, low fences, walls, hedges, and landscaping that screens parking from the street and public sidewalk. The street wall helps establish the built environment near the street and public sidewalk, improves aesthetics, and encourages pedestrian activity.
23. Tertiary Street: For the purposes of the West Broad Street Corridor Overlay District, Tertiary Streets are generally those which do not intersect with West Broad Street. Tertiary Streets take the lowest precedence in terms of front façade orientation and front entrance location. Tertiary Streets are listed for each sub-district in Sections 1813-1816.
24. Transparency: The ability to see through, with clarity, and to allow in light through the use of a glass window, door or storefront. For the purposes of this Overlay District, percent transparency measurements refer to the minimum amount of window glass required within a portion of a building façade.
25. Usable Open Space: A portion of a lot, designed for recreation or leisure, which includes ornamental landscape elements, seating areas, and walking paths or plaza areas.

SECTION 1803

BUILDING ORIENTATION

The Corridor Overlay District is intended to achieve a consistent, coordinated relationship between private development and the public realm through the placement of buildings, parking areas, landscape areas and associated site improvements in a manner that complements the improved West Broad Street and surrounding public streets. The building orientation standards are intended to create a more walkable, community-oriented relationship between buildings and West Broad Street. (See Figure 6 for an illustration of building-orientation and related standards.)

1. Standard Building Orientation
 - a. The front façade of a building shall face and be parallel (or nearly parallel) to the street, and be located within the Façade Zone. For the purposes of this requirement, a building façade may be considered nearly parallel if oriented within fifteen degrees (15°) of parallel to the primary street.

2. Corner Lots

- a. For properties located at the intersection of West Broad Street and an intersecting public street, the front façade of the primary structure may face either street, provided that the building occupies the corner of the lot. The façade facing the alternate street shall meet all other architectural requirements of the Corridor Overlay District, and applicable landscaping requirements. The rear façade of a building may not be located along any public street (with the exception of alleys).
- b. Buildings on corner lots shall occupy the corner, with one side façade of the building located within the Façade Zone of the intersecting side street.

3. Façade Zone

- a. All new buildings shall be set back a minimum of twenty (20) feet from the back of curb on West Broad Street, regardless of the front property line location relative to the curb line. The maximum building setback is thirty (30) feet from back of curb. This may be further regulated by the individual setback requirements of the subdistricts. The front façade of the building must be located within the Façade Zone. For properties having a front property line set back greater than thirty (30) feet from back of curb, the Façade Zone shall be designated within ten (10) feet of the front property line. For properties having no frontage on West Broad Street, the Façade Zone shall be measured from the applicable Secondary or Tertiary Street, subject to the same requirements described herein for properties fronting West Broad Street.

4. Façade Coverage

- a. For developments with a single primary structure, the front façade of the building shall cover a minimum of sixty percent (60%) of the lot width, located within the Façade Zone. For developments with multiple primary structures, the required sixty percent (60%) of façade coverage is measured as the sum of the façade lengths of each building within the Façade Zone. Portions of front façades may be stepped behind the Façade Zone, provided that the minimum façade coverage is met within the Façade Zone. The intervening space shall be comprised of well-maintained landscaping, outdoor plaza/patio space, or combination of the two.

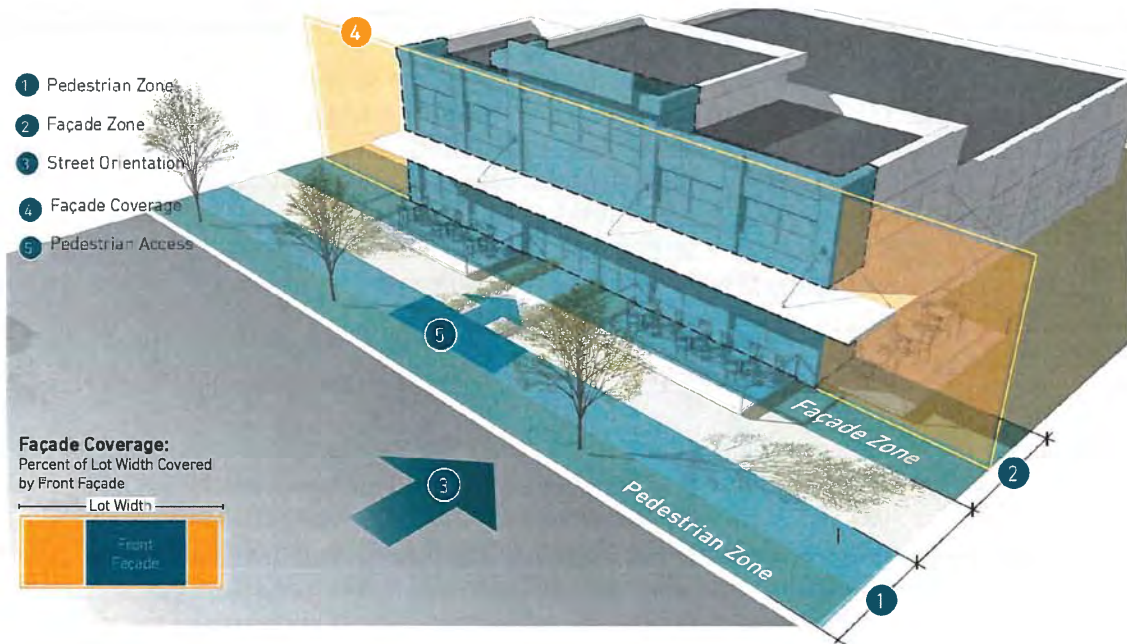


Figure 6: Façade and Pedestrian Zones

SECTION 1804 STREET ACCESS

1. Pedestrian Access

- a. All buildings shall have at least one (1) prominent, operable main entrance on the front façade, with a direct pedestrian walk connection to the public sidewalk. The entrance may be located at a corner of the front façade. For buildings with a single primary entrance, corner entrances facing parking lots may not be located perpendicular to the street right-of-way and solely facing the parking area, but may be oriented at a forty-five degree (45°) angle as part of a chamfered building corner and shall not be located farther than ten (10) feet from the front façade. (See Figure 7)

2. Vehicular Access

- a. Vehicular access shall be provided from a side street, rear alley, or shared parking lot connection wherever possible, and avoided on West Broad Street if possible. Curb cuts on West Broad Street shall be minimized in quantity and width. When feasible, vehicular access shall be provided in a shared drive location along a shared property line.
- b. If/When access from West Broad Street is provided, it will be necessary to coordinate with the Ohio Department of Transportation (ODOT) to identify required curbcut width and other access requirements.

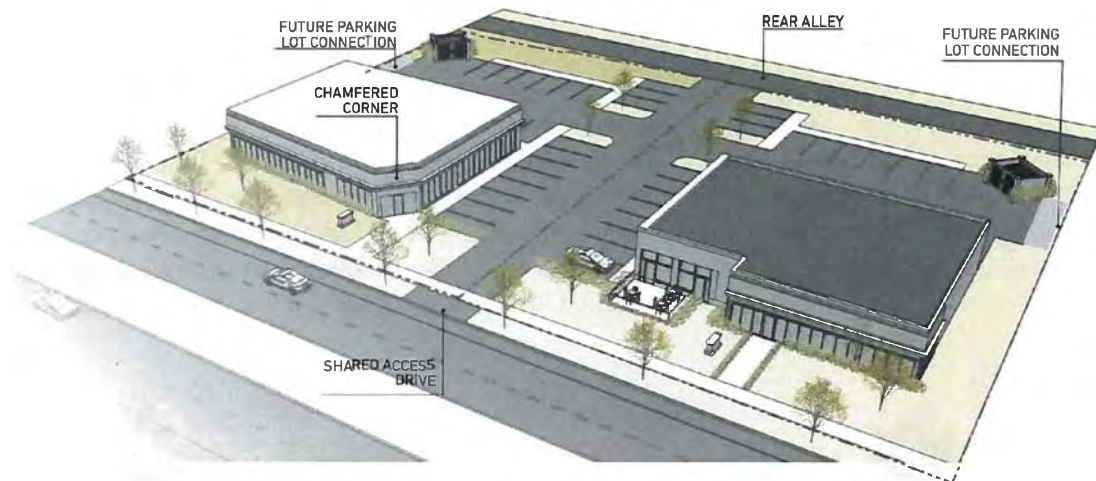


Figure 7: Demonstration of Site Access Points

SECTION 1805

PEDESTRIAN ZONE

The West Broad Street right-of-way varies significantly in width throughout the corridor, and the location of the public sidewalk and street trees vary in relationship to the street curb and adjacent private property lines. Appendix A illustrates a series of typical street sections reflecting existing conditions of West Broad Street, its travel lanes, sidewalks and streetside planting zones. Depending on the existing condition and right-of-way configuration, the placement of new buildings relative to the street edge and public sidewalk may require additional design treatments along the street frontage.

1. Pedestrian Zone

- a. The area between the street curb and the Façade Zone is considered the Pedestrian Zone. The Pedestrian Zone may be located entirely within the public right-of-way or may include private lot frontage, depending on the location of the right-of-way line.
- b. The purpose of this setback area is to provide sufficient space for an adequate tree lawn or streetscape planting zone and sidewalk, with the potential to expand the width of these streetscape elements where conditions at the time of construction have constrained the dimensions or location from a preferred configuration. An eight (8) foot wide tree lawn or planting zone, located between the street curb and sidewalk is considered the preferred configuration. The minimum sidewalk width is five (5) feet, with a preferred width of eight (8) feet. Under no circumstance shall a permanent structure encroach upon the public right-of-way, or be located within the Pedestrian Zone as defined herein. The existing conditions within the Pedestrian Zone will further determine the appropriate placement of the building, and design treatment of the Pedestrian Zone.

- c. Existing Condition A (Typical: eight (8) foot tree lawn and five (5) foot sidewalk)
 - i. Existing Condition A is considered the minimum preferred condition. If located less than five (5) feet from the edge of sidewalk, the intervening space shall be paved as an extension of the sidewalk to the face of the building. If located five (5) feet or more from the edge of sidewalk, the intervening space may either be partially or fully paved as an extension of the sidewalk, or treated as a landscaped or patio area, or combination of the two. (See Figure 8 for a typical street section)

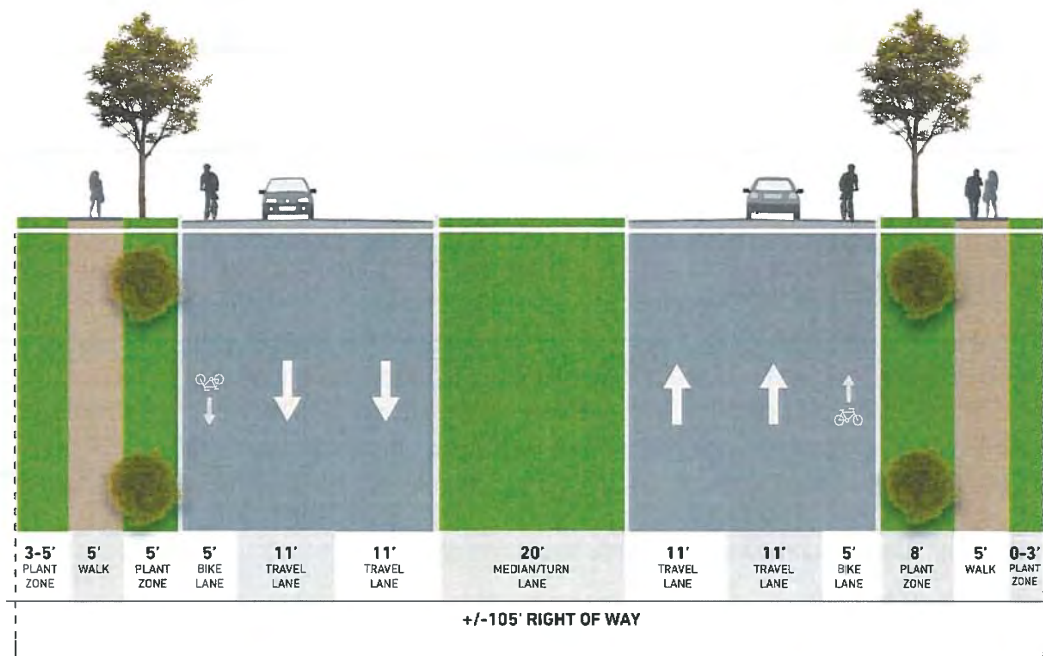


Figure 8: Existing Condition A Example: Gladys Road to Inah Avenue Section on West Broad Street in the Medical Campus Sub-District

- d. Existing Condition B (Typical: +/- six (6) to eight (8) foot sidewalk at back of curb, with no street trees)
 - i. This is a non-preferred condition, as it places pedestrians in close proximity to moving traffic and does not provide space for street trees or streetscape plantings. If the existing sidewalk is less than eight (8) feet in width, the walk shall be expanded to eight (8) feet wide at a minimum. The remaining intervening space may be treated as a landscape or patio area, or combination of the two. (See Figure 9 for a typical street section)

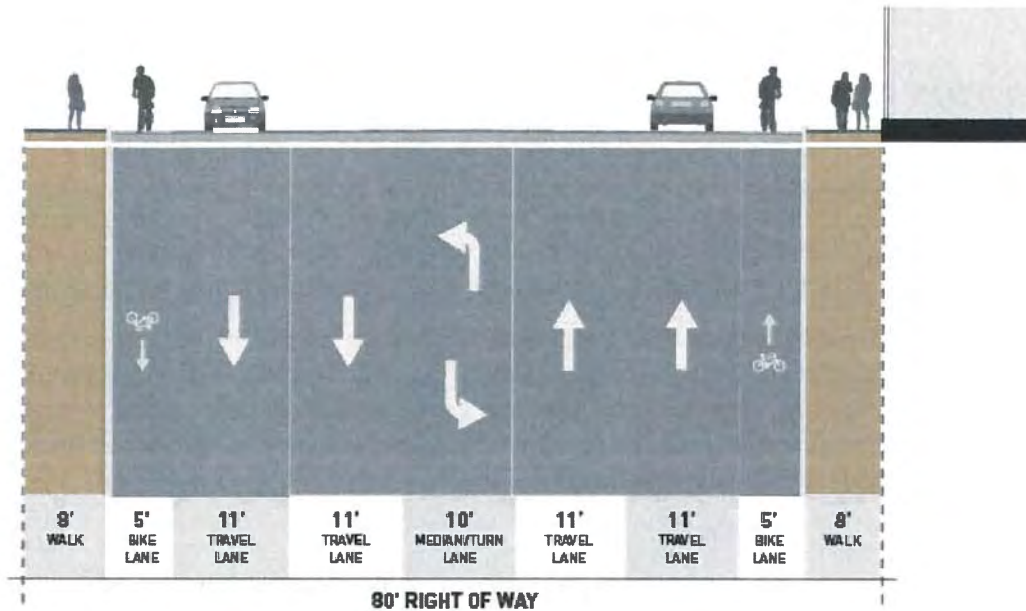


Figure 9: Existing Condition B: Maple to Brown Street on West Broad Street in the Western Gateway Sub-District

- e. Existing Condition C (Typical: +/- two (2) foot grass strip, five (5) foot sidewalk, street trees planted behind sidewalk)
 - i. This is a non-preferred condition, as it provides minimal separation between pedestrians and moving traffic. In this condition, the building shall be placed at a sufficient distance to preserve existing street trees planted behind the sidewalk. If street trees are planted within a highway easement, the building shall be setback at least one (1) foot behind the easement line. (See Figure 10 for a typical street section)

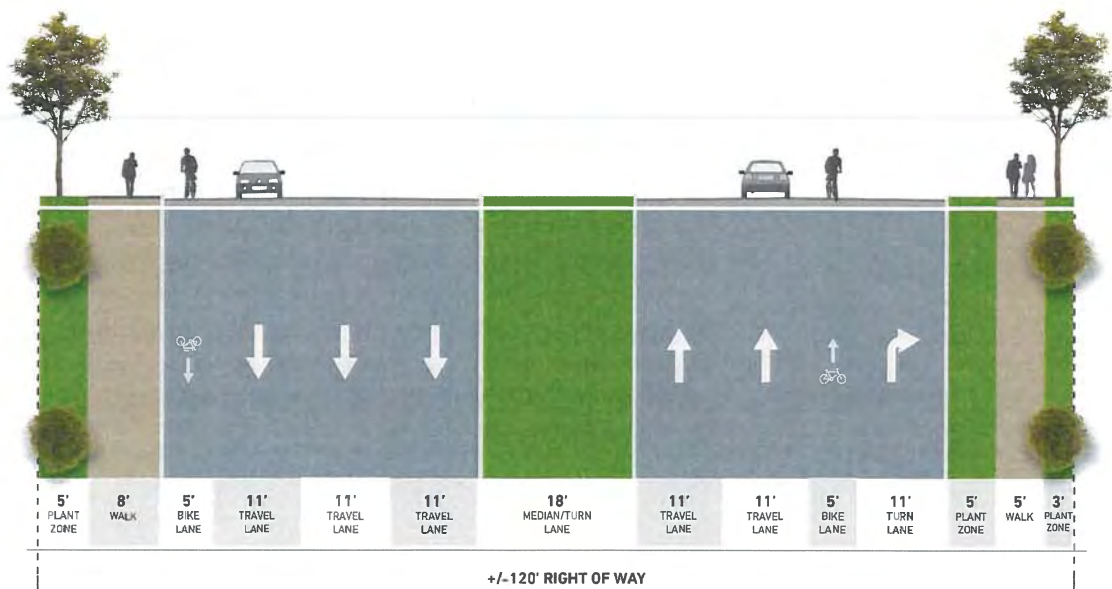


Figure 10: Existing Condition B: I-270 to Greener Avenue on West Broad Street in the Commercial Gateway Sub-District

SECTION 1806

PARKING

1. Parking Location

- a. Off-street parking, loading, and associated drive aisles shall not be located between a building façade and the street, unless otherwise specified herein.
- b. Parking lots shall be located to the side or rear of the primary structure. The minimum setback for a parking area or drive aisle is five (5) feet from the edge of sidewalk or from the established Pedestrian Zone, whichever is greater. The intervening space shall be designed with one of two options, depending on the parking lot setback:

i. Option 1

1. **Street Wall.** Where a surface parking lot or vehicular use area is located within ten (10) feet of the sidewalk/Pedestrian Zone, a low masonry street wall or wrought iron-style fence treatment shall be installed between the property line and edge of parking (see Figure 11). At least five (5) evergreen shrubs shall be installed per each twenty-five (25) linear feet of the parking area edge. A masonry street wall shall be designed to be architecturally compatible with the primary structure, and physically integrated with the façade where possible. Openings for pedestrian connections to the public sidewalk are permitted. A wall or fence shall be twenty-four (24) inches to thirty-six (36) inches in height.

ii. Option 2

1. **Continuous Hedge Treatment.** Where a parking lot or vehicular use area is located greater than ten (10) feet from the sidewalk/Pedestrian Zone, a continuous evergreen hedge treatment shall be installed within five (5) feet of the parking lot edge (see Figure 12). The landscape treatment shall include evergreen shrubs with a mature height of three (3) feet and planted at the minimum spacing on center per industry standard for the species. In addition, at least one (1) deciduous tree shall be planted for each thirty (30) linear feet of parking lot edge, planted thirty (30) feet on-center. A street wall treatment meeting the requirements of Option 1 may be used as an alternative to this treatment.



Figure 11: Option 1 Street Wall



Figure 12: Option 2 Continuous Hedge

2. Bicycle Parking

- a. All non-residential uses shall provide bicycle parking to serve employees and visitors.
- b. Commercial uses shall provide one (1) bicycle parking space for every ten (10) vehicle parking spaces.
- c. Institutional uses shall provide one (1) bicycle parking space for every twenty (20) vehicle parking spaces.
- d. Multi-family residential uses shall provide exterior bicycle parking at a rate of one (1) space for every four (4) dwelling units.
- e. Bicycle parking racks shall be designed to provide two (2) points of contact to the bicycle frame and shall be securely fixed to the ground. (See Figure 14)
- f. The amount of bicycle parking provided shall be determined by the capacity indicated by the bicycle rack manufacturer when installed per manufacturer's specifications.
- g. Bicycle parking shall be located on the front or side façade of a building, and shall be associated with an entrance area. (See Figure 13)



Figure 13: Appropriate Bicycle Parking Location



Figure 14: Appropriate Bicycle Parking Rack

SECTION 1807

AUTOMOBILE-ORIENTED FACILITIES/SITE DESIGN

1. Drive-Thru Facilities

- a. Drive-thru windows may only be located on the side or rear façades of a building. External drive-thru facilities shall not be located on the side of a building facing a street. (See Figure 15)

2. Vehicle Fueling Stations

- a. Vehicle fueling stations must be designed to include a walk-in retail component meeting the setback and building orientation requirements established by the Corridor Overlay District. Fueling pumps and canopy structures must be located to the side or rear of the retail structure. (See Figure 16)

SECTION 1808

ARCHITECTURAL STANDARDS

1. Building Height

- a. All new buildings shall have a minimum height of eighteen (18) feet, as measured from the established grade of the nearest public sidewalk parallel to the eave line or top of parapet in flat-roof designs.
- b. For multi-story mixed use buildings designed with ground-floor commercial space, the ground floor shall have a minimum height of sixteen (16) feet measured from floor to floor.
- c. Buildings greater than two (2) stories in height shall be setback a minimum of seventy (70) feet from adjacent single family lots.



Figure 15: Building Anchoring Corner with Drive-thru



Figure 16: Vehicle Fueling Station with Walk-in Retail
(Top: Street Facing; Bottom: Rear Canopy)

2. Vertical Articulation

- a. All building façades greater than fifty (50) feet in width shall be designed with vertical architectural elements to visually break the horizontal plane of the façade. Vertical elements may include projections or recesses in the façade with a minimum depth of three (3) inches, such as piers, pilasters, columns, quoins, storefronts and entryways. Vertical divisions shall have a minimum horizontal width of eighteen (18) inches and shall be spaced at intervals of between fifteen (15) and thirty-five (35) feet on-center. (See Figure 17)

3. Horizontal Articulation

- a. All building façades shall be designed with a discernable base, middle and cap, using horizontal architectural elements to visually break the vertical plane of the façade. (See Figure 17)
- b. The base may be comprised of a foundation water table or similar projecting beltcourse, or with a change in material, color or brick orientation within twelve (12) to twenty-four (24) inches from the established grade. The base bulkhead element of a continuous storefront system may be used to meet this requirement for portions of the façade comprised of a storefront.
- c. The cap may be comprised of a cornice, projecting eave, or Expression Line within three (3) feet from the top of the building or parapet.
- d. In addition to the horizontal façade divisions noted above, multi-story buildings, if designed primarily for commercial or mixed-use, shall be designed with clearly discernable street level and upper story façade divisions,

using horizontal elements such as expression lines, belt courses, sill courses, changes in material, or architecturally integrated sign bands with or without awnings or canopies. Window fenestration shall be organized to clearly define each story, and shall incorporate architecturally appropriate sills and lintels or full surround window trim.

4. Four-Sided Architecture

- a. All buildings shall be designed with coordinated materials, colors and architectural elements on all façades.

5. Materials

- a. All buildings shall include a mixture of primary and secondary materials as appropriate to the style and design of the building.
- b. Primary building materials include, but are not limited to, stone, manufactured stone, full depth brick, brick veneer, glass, and architectural metal panels.
- c. Secondary building materials include, but are not limited to, wood siding, Exterior Insulated Finishing Systems (EIFS), glass fiber reinforced gypsum, stucco, and fiber cement siding.
- d. The majority of a street facing façade shall be comprised of a primary building material.

6. Window Transparency

- a. For buildings designed primarily for commercial retail uses, the street-level front façade shall be designed with a storefront window system comprised of a minimum of seventy percent (70%) clear window glass providing an unobstructed view into the interior of the storefront to a minimum of four (4) feet.
- b. Transparency shall be measured as the portion of the façade between two (2) and ten (10) feet above the established grade of the nearest parallel sidewalk, to ensure pedestrian views into the commercial space.
- c. For buildings designed with a pedestrian passage or with side-oriented parking, storefront transparency shall extend to a minimum of ten (10) feet within the arcade or along the façade facing the parking area.
- d. Upper stories shall be comprised of at least thirty percent (30%) window transparency.
- e. Non-retail ground floors facing West Broad Street shall be comprised of at least sixty percent (60%) transparency.
- f. Residential buildings shall be comprised of at least twenty percent (20%) transparency per story.
- g. Glass tinted so as to prevent views into or out of a building shall not be used to meet minimum transparency requirements. Window glass must provide a

minimum of 60% visible light transmittance to meet transparency requirements.

7. Blank walls

- a. Blank walls are prohibited. No more than thirty percent (30%) of an individual façade, per each story, may be blank, and no more than fifteen (15) linear feet of façade may be blank.
- b. Windows or façade articulation elements may be used to meet this requirement.
- c. For side and rear façades, faux bricked-in window patterns may be used to meet this requirement, provided that minimum window transparency has otherwise been met for the façade.

SECTION 1809

SIGNS

1. Wall mounted signs shall be located at least two (2) feet below the eave line or top of parapet.
2. Wall mounted signs associated with a storefront window system shall be incorporated into an architecturally integrated sign band feature located above the storefront. Wall signs may be internally or externally illuminated. Internally illuminated wall signs shall be designed with individually mounted channel-style letters. Internally illuminated wall-mounted cabinet signs are prohibited. Exterior illuminated wall signs shall utilize an aesthetic light fixture coordinated with the building architecture. One logo permitted per sign, not to exceed the size of one letter.
3. Canopy or awning signs are permitted if associated with an individual storefront space. Awning signs shall not be internally illuminated. Signs mounted to a structural canopy shall be designed with individually mounted channel-style letters. Internally-illuminated canopy mounted cabinet signs are prohibited.
4. Roof mounted signs are prohibited.
5. Free-standing or pylon-style signs are prohibited.
6. Building-mounted projecting signs (blade or pendant style) shall be located within six (6) linear feet of the primary entrance of the tenant space to which the sign is associated. Projecting signs may extend above a public sidewalk, but shall be located at least eight (8) feet above grade.
7. Storefront windows may incorporate window signs no greater than twenty percent (20%) of the area for any individual window pane. For corner buildings with secondary street frontage, storefront transparency shall extend to a minimum of ten (10) feet on the secondary street façade.
8. Monument signs (with the exception of shopping center identification signs) are limited to six (6) feet in height and eight (8) feet in length. Free-standing signs are

prohibited. Monument signs shall be set back from the public right-of-way a minimum of eight (8) feet. This setback does not apply if the sign is attached to and architecturally integrated with the façade of the primary structure.

9. Monument signs shall be designed with a solid, aesthetic masonry base that visually coordinates with the associated primary structure.
10. Signs may be internally or externally illuminated. Exterior light fixtures may be attached to the sign structure if the fixture is coordinated with building-mounted light fixtures and oriented in a downcast direction. Ground-mounted light fixtures shall be shielded from view with landscaping.
11. Shopping center identification signs shall be coordinated in design and materials with each other, and with the primary shopping center building(s). Each shopping center may have a single primary center identification sign located at the main vehicular entrance to the center. This sign may exceed the six (6) foot height limit for other ground-mounted signs, but shall be no taller than the primary building. Shopping center identification signs shall not exceed twelve (12) feet in length and twenty (20) feet in height. All monument signs must have a solid masonry base surrounded by coordinated landscaping.
12. Changeable copy and electronic animated signs are prohibited.
13. Figure 17 illustrates various sign types and permitted locations.

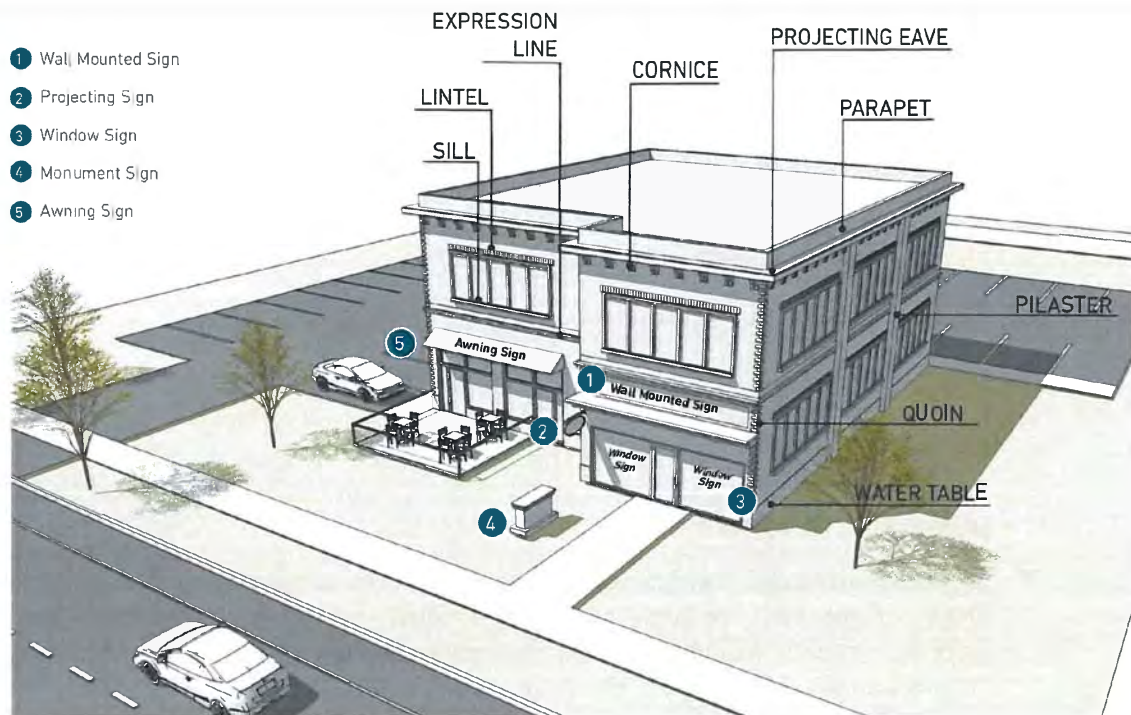


Figure 17: Appropriate Sign Examples

SECTION 1810

LANDSCAPE STANDARDS

1. Native Species

- a. All deciduous plant materials used to meet a requirement of the Corridor Overlay District shall use perennial plant species native to the region. Evergreen shrubs used for parking lot landscaping are not required to be native species, but shall be selected to withstand parking lot planting conditions.

2. Foundation Planting

- a. Building foundation landscaping is required for all façades of all primary structures unless the façade is directly adjacent to a streetscape/sidewalk, patio or plaza. Any portion of a façade not directly adjacent to a permitted paved area shall incorporate at least one (1) deciduous or evergreen shrub per each linear foot of the façade, planted at the minimum spacing on center per industry standard for the species. Foundation planting beds shall be a minimum of five (5) feet in width as measured from the foundation. Raised planters may be used if architecturally integrated with the adjacent façade. At least fifty percent (50%) of the landscape bed shall be covered in living plant material.

3. Front Yards

- a. For buildings set back greater than ten (10) feet from the sidewalk/Pedestrian Zone, the intervening front yard space may be landscaped with a combination of turf lawn and manicured landscape bed, provided that the foundation landscape requirements are met. Foundation landscape treatments shall be extended along both sides of the pedestrian walk connection(s) extending to the public sidewalk. Front yards of ten (10) feet in depth shall incorporate one (1) deciduous tree per thirty (30) lineal feet.

4. Interior Parking Lot Landscaping

- a. All parking lots containing more than ten (10) parking spaces shall install interior parking lot landscaping. These requirements are separate from the parking lot buffer landscaping identified in the Parking Location section. (See Figure 18)



Figure 18: Parking Lot Landscaping Components

- b. Interior landscaping shall be provided in landscaped islands or peninsulas of at least ten (10) feet in width. Islands and peninsulas shall be three (3) feet in depth, to allow for adequate soil volume, and include a concrete curb. All parking lots containing more than ten (10) spaces shall utilize the at least one of the Best Management Practices from Appendix B in their interior landscaping.
- c. One (1) tree of at least two (2) inch caliper shall be provided for every twelve (12) parking spaces in the island or peninsula.
- d. The remaining area of the landscaped island or peninsula shall be filled with mulch, turf, or perennial vegetation whose mature height does not reach above two (2) feet. Any plantings shall be done as to minimize any impact on the trees.

SECTION 1811

ACCESSORY STRUCTURES & SERVICE FACILITIES

5. Mechanical Equipment

- a. All mechanical equipment and building-mounted utilities shall be screened from view from the public right-of-way.
- b. Rooftop mounting of mechanical equipment is preferred, and shall be screened with an architecturally integrated rooftop parapet/utility well design extending at least to the height of the equipment, and wrapping all façades of the building.

- c. Ground-mounted or façade-mounted mechanical equipment is not permitted on a street-facing façade. Ground mounted or façade-mounted equipment shall be located to the side or rear of the primary building, and setback from the front façade a minimum of twenty (20) feet.
- d. Ground-mounted equipment shall be screened from view of the public-right-of-way or adjacent properties with an architecturally integrated wall or fence treatment or with fully opaque evergreen landscaping extending at least to the height of the equipment. (See Figure 19)



Figure 19: Utility Screening Example



Figure 20: Dumpster Landscape & Fence Screening Example

6. Dumpsters and Service Areas

- a. Dumpsters and other solid waste receptacles shall be located behind the primary structure and shall be fully screened with a fence or wall treatment designed to coordinate in material and color with the primary structure. Enclosures shall be surrounded by a landscape bed extending a minimum of three (3) feet on all sides, excepting for service access, and including a mixture of evergreen and deciduous shrubs creating a continuous landscape treatment around the sides and rear of the enclosure no less than three (3) feet in height. Dumpster enclosures shall have fully operable gates and shall be closed when not being serviced. Gates shall be oriented away from the public street right-of-way whenever possible. (See Figure 20)

SECTION 1812 OPEN SPACE PROVISIONS

All multi-structure developments, and any development including residential uses, shall provide usable open space, accessible to the tenants or patrons of the development. Open space areas meeting this requirement shall be designed as parks, pocket parks, plazas, squares, or other forms of common outdoor space and shall not be comprised of residual, unusable areas. (See Figures 21 and 22 for examples)

- 1. Sites with residential uses shall provide a minimum of two hundred (200) square feet of common open space per dwelling unit.

2. Sites with non-residential uses shall provide a minimum of two hundred (200) square feet of common open space.
3. Sites with a mix of residential and non-residential uses shall provide a minimum of two hundred (200) square feet of common space for each dwelling unit within the structure, as well as two hundred (200) square feet for the non-residential use.
4. Open spaces shall have a minimum of thirty (30) feet of street frontage. Street frontage is permitted on West Broad Street, provided that the remaining sides of the open space are lined with Secondary or Tertiary Streets having building frontage facing the open space. An open space may be located at a street corner, provided that an associated building also meets the corner occupancy street frontage requirement (see Section 1803.2)
5. Buildings may also directly front the open space without an intervening street. In this circumstance, the open space frontage shall be considered equivalent to a primary street frontage and the building façade facing the open space shall be designed to meet the building orientation and architectural standards that would apply to a primary street frontage.



Figure 21: Example of Accessible Open Space



Figure 22: Example of Plaza Open Space

6. All designated open space areas shall be designed with a minimum of thirty percent (30%) landscape area, including a mixture of perennial shrubs and trees. All landscape beds shall include a minimum of fifty percent (50%) living plant material rather than mulch, gravel, or other non-living ground cover.
7. Benches or other seating areas shall be provided, accessible by a hardscape plaza or path.

SECTION 1813

COMMERCIAL GATEWAY SUB-DISTRICT

The Commercial Gateway Sub-District serves as the front door for the Prairie Township community from the City of Columbus and unincorporated Franklin County east of I-270 along West Broad Street with direct interchange access from the freeway. This area contains a mixture of commercial uses, including the Lincoln Village Plaza shopping center,

standalone retail buildings, commercial lodging, medical office, and auto-oriented uses such as fueling stations, automobile sales, auto repair, and fast food restaurants with drive-thru facilities. Existing development is characterized by a range of ages and conditions. As documented in the Prairie Township Redevelopment Study, this portion of the corridor includes some of the highest quality and most successful commercial activity within the corridor. The study recommends strategies to harness existing market demand for quality suburban commercial development and improve the appearance and form of development through improved site design and architectural requirements to create an inviting, positive first impression of the Township for those traveling through the West Broad Street Corridor.

1. Setbacks & Building Orientation

a. West Broad Street Frontage (See Figure 23 for a typical street section)

- i. Setback. The front façade of a primary structure shall be located between twenty (20) and thirty (30) feet from the edge of the street curb. If a permanent highway or utility easement is located within this zone, the front façade must be placed at least one (1) foot behind the easement line.

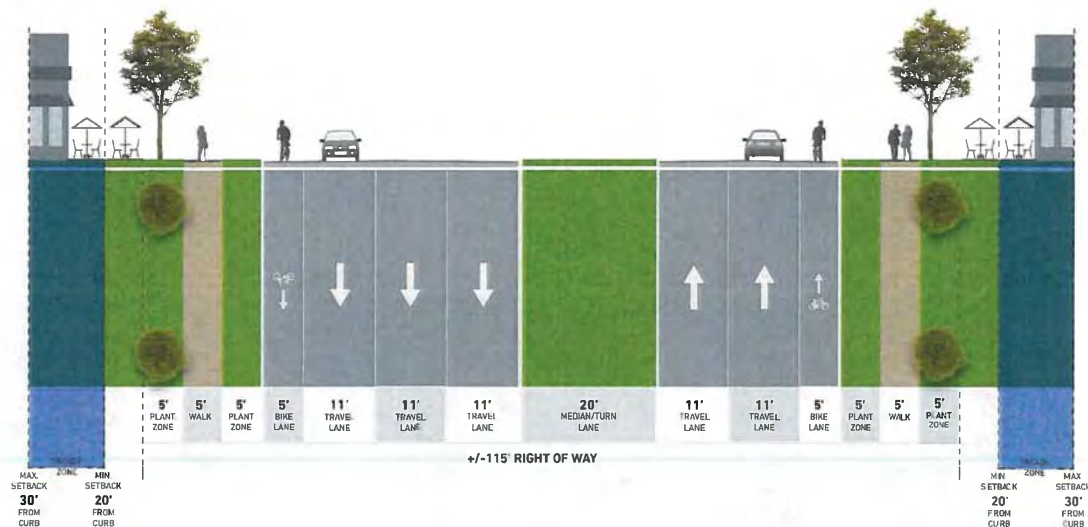


Figure 23: Typical Section (I-270 to Murray Hill Road) on West Broad Street in the Commercial Gateway Sub-District

- ii. No parking is permitted between the front façade of a building and West Broad Street. Parking is not permitted in any portion of the front yard, as established by the location of the front façade.

b. Secondary Street Frontage

- i. Secondary Streets in the Commercial Gateway Sub-District include:
 1. Old Village Road
 2. Grener Avenue

3. Murray Hill Road

- iii. For lots having frontage only on a Secondary Street, primary structures shall be oriented with the front façade facing the street. Rear façades shall not be oriented toward a public street.

SECTION 1814

CENTRAL TRANSITION SUB-DISTRICT

The Central Transition Sub-District is intended to serve as a transition in development character from the more suburban development pattern of the Commercial Gateway Sub-District westward along the West Broad Street Corridor and to adjacent residential neighborhoods. The east portion of this sub-district was identified in the Prairie Township Redevelopment Study as a potential location for the creation of a mixed-use township center development, while the west portion was identified for potential expansion of medical-related uses associated with the adjacent Health and Wellness Sub-District. The area today includes an aging shopping center and freestanding commercial development, vehicle fueling stations, automobile sales, professional and medical office buildings, a senior-oriented assisted living facility, and single family structures converted to commercial use. The overlay standards for this sub-district combine the uses and development standards from the Commercial Gateway and Health and Wellness Sub-Districts. This area will provide a transition between these two distinct areas.



Figure 24: Typical Section (Woodlawn Avenue to Gladys Road) on West Broad Street in the Central Transition Sub-District

1. Setbacks & Building Orientation
 - a. West Broad Street Frontage (See Figure 24 for a typical street section)

- i. Setback. The front façade of a primary structure shall be located between twenty (20) and thirty (30) feet from the edge of the street curb. If a permanent highway or utility easement is located within this zone, the front façade must be placed at least one (1) foot behind the easement line.
- ii. No parking is permitted between the front façade of a building and West Broad Street. Parking is not permitted in any portion of the front yard, as established by the location of the front façade.
- iii. Alternate Building Orientation. Where Standard Building Orientation (see Figure 25) is not practical, a building may be oriented with a side façade facing West Broad Street and a primary building entrance oriented to a side parking lot. In this configuration, the main entrance shall be located as close as possible to the West Broad Street frontage, shall be visually prominent from the street, and have a direct pedestrian connection to the public sidewalk that does not require crossing a parking area. The street-facing façade shall meet all other architectural requirements of the Corridor Overlay District, and applicable landscaping requirements. (See Figure 26)
- iv. Podium Parking Building Orientation. Buildings may be designed with partial or entire first floor parking. Additional architectural and landscaping requirements apply for street facing façades.



Figure 25: Standard Building Orientation



Figure 26: Alternate Orientation

- b. Secondary Street Frontage
 - i. Secondary Streets in the Central Transition Sub-District include:
 - 1. Sturbridge Road
 - 2. Medfield Way
 - 3. Murray Hill Road
 - ii. For lots having frontage only on a Secondary Street, primary structures must be oriented with the front façade facing the street. Rear façades shall not be oriented toward a public street.

SECTION 1815

MEDICAL CAMPUS SUB-DISTRICT

The Health and Wellness Sub-District is anchored by the Ohio Health Doctors' Hospital complex and associated medical office uses located across from the Hospital south of West Broad Street. Existing uses to the south also include professional office and child care facilities. This area was identified as a Health and Wellness district in the Prairie Township Redevelopment Study with recommendations to capitalize on market-based demands for medical services within the Township and reinforce the importance of the medical sector as a driver of economic and community development. The goal of this district is to enhance the aesthetic quality and pedestrian-orientation of development, while also recognizing that the hospital and associated uses have unique facility needs that must be balanced and warrant special consideration in terms of development standards within the West Broad Street Corridor.

1. Setbacks & Building Orientation

a. West Broad Street Frontage (See Figure 27 for a typical street section)

- i. **Setback.** The front façade of a primary structure shall be located between twenty (20) and thirty (30) feet from the edge of the street curb. If a permanent highway or utility easement is located within this zone, the front façade must be placed at least one (1) foot behind the easement line. The primary hospital building, including future building additions, is exempt from this setback requirement.
- ii. **No parking** is permitted between the front façade of a building and West Broad Street. Parking is not permitted in any portion of the front yard, as established by the location of the front façade.
- iii. **Alternate Building Orientation.** Where Standard Building Orientation is not practical, a building may be oriented with a side façade facing West Broad Street and a primary building entrance oriented to a side parking lot. In this configuration, the main entrance shall be located as close as possible to the West Broad Street frontage, shall be visually prominent from the street, and have a direct pedestrian connection to the public sidewalk that does not require crossing a parking area. The street-facing façade shall meet all other architectural requirements of the Corridor Overlay District, and applicable landscaping requirements.
- iv. **Podium Parking Building Orientation.** Buildings may be designed with partial or entire first floor parking. Additional architectural and landscaping requirements apply for street facing façades.
- v. **Building Orientation on the Hospital Campus.** For new buildings located on the Hospital campus site (north of West Broad Street), the West Broad Street Frontage requirements apply to any structure situated closer to the West Broad Street right-of-way than the front

façade of the primary hospital structure. There are no minimum façade coverage requirements for the Hospital campus.



Figure 27: Typical Section (Gladys Road to Norton Road) on West Broad Street in the Medical Campus Sub-District

b. Secondary Street Frontage

i. Secondary Streets in the Health and Wellness Sub-District include:

1. Sturbridge Road
2. Gladys Road
3. Inah Avenue
4. Norton Road

ii. Tertiary Streets in the Health and Wellness Sub-District include:

1. Palmetto Street
2. Beacon Hill Road

iii. For lots having frontage only on either a Secondary Street or a Tertiary Street, primary structures must be oriented with the front façade facing the street. Rear façades shall not be oriented toward a public street.

iv. Building Orientation on the Hospital Campus. Any new building located between the primary hospital structure and Sturbridge Road

shall be oriented with frontage on Sturbridge Road. There are no minimum façade coverage requirements for the Hospital campus.

SECTION 1816

WESTERN GATEWAY SUB-DISTRICT

The Western Gateway Sub-District includes commercial, office and lodging uses along West Broad Street, and a mixture of single family and-multi-family buildings within the New Rome neighborhood located to the south of Broad Street adjacent to the Prairie Norton Elementary School. The area includes a mixture of building types, including one-store retail, two-story mixed use buildings and single family houses converted to commercial use, many with a strong orientation to West Broad Street. With the recent reconstruction and widening of West Broad Street, some buildings are now located immediately behind the sidewalk in a zero-lot line condition, presenting the most urban development pattern within Prairie Township's portion of corridor. Others have a modest front yard setback with direct sidewalk connections to the front entrance. The area also includes more suburban development types, with auto-oriented uses, drive-thru facilities, and parking lots lining the street. The Prairie Township Redevelopment Study identified this area as another potential location for creation of a mixed use township center development in a variety of potential configurations. The area also presents an opportunity to build on the historic development pattern of New Rome with incremental infill development, redevelopment of underutilized properties, and revitalization of selected structures. Properties in the east portion of the sub-district are immediately adjacent to the Health and Wellness Sub-District, and offer an opportunity for additional expansion of medical office and associated uses. Due to right-of-way limitations and physical constraints of existing development, sidewalk conditions vary, ranging from back of curb walks to modest separation with a turf strip.

1. Setbacks & Building Orientation

a. West Broad Street Frontage (See Figure 28 for a typical street section)

- i. Setback.** The front façade of a primary structure shall be located between twenty (20) and thirty (30) feet from the edge of the street curb. If a permanent highway or utility easement is located within this zone, the front façade must be placed at least one (1) foot behind the easement line.

b. Secondary Street Frontage

i. Secondary Streets in the Western Gateway Sub-District include:

- 1. Buena Vista Avenue**
- 2. Maple Drive**
- 3. Pasadena Avenue**
- 4. Lawrence Avenue**
- 5. Lennox Avenue**

6. Hilliard-Rome Road

7. East Street

8. Brown Street

9. West Street

ii. Tertiary Streets in the Western Gateway Sub-District include:

1. Green Street

iii. For lots having frontage only on either a Secondary Street or a Tertiary Street, primary structures must be oriented with the front façade facing the street. Rear façades shall not be oriented toward a primary or secondary street.

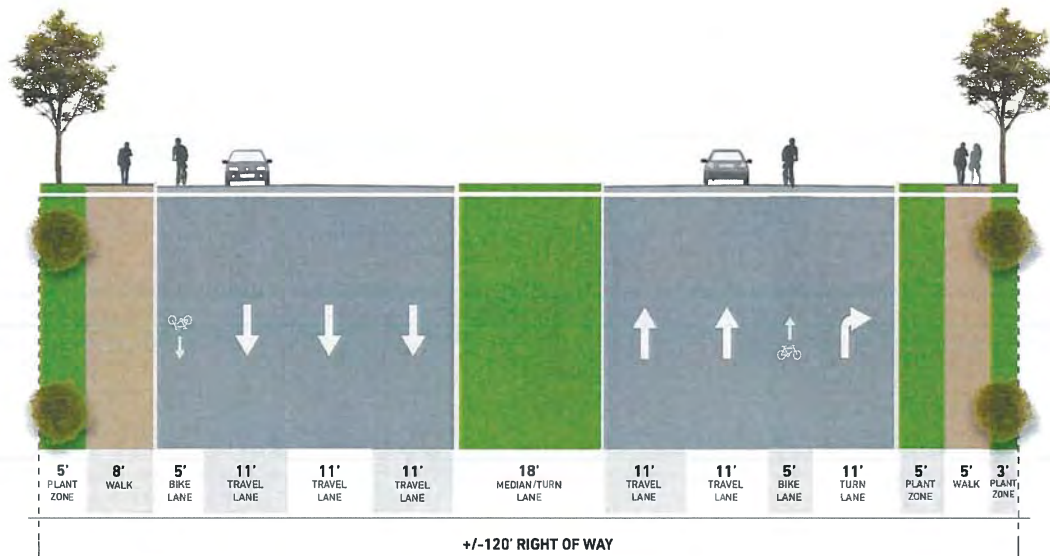


APPENDIX A RIGHT-OF-WAY WEST BROAD STREET SECTION - COMMERCIAL GATEWAY

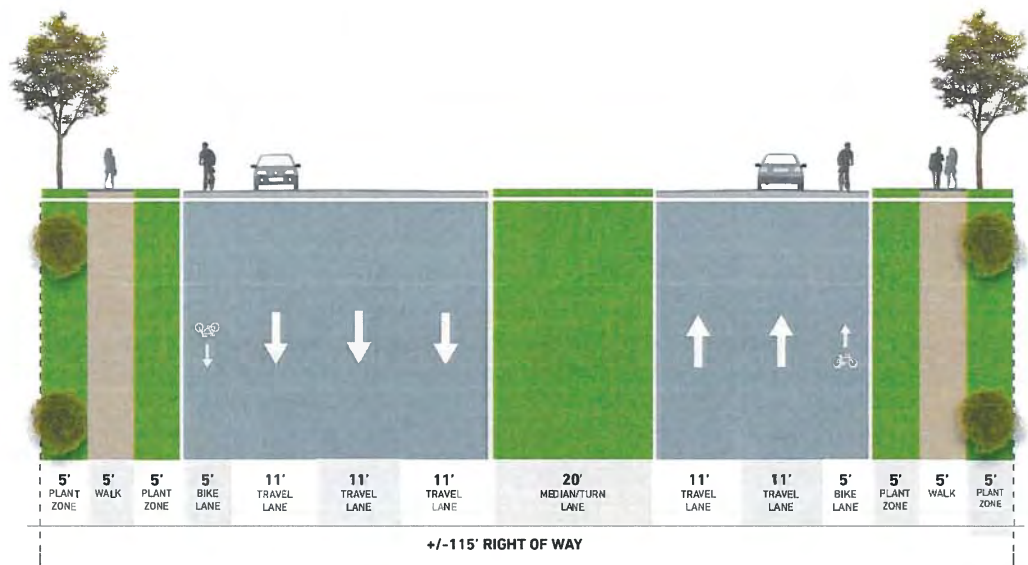
INTRODUCTION

The following sections document the existing right-of-way conditions along the West Broad Street Corridor, within Prairie Township between I-270 and Hilliard-Rome Road.

I-270 RAMP TO GRENER AVENUE

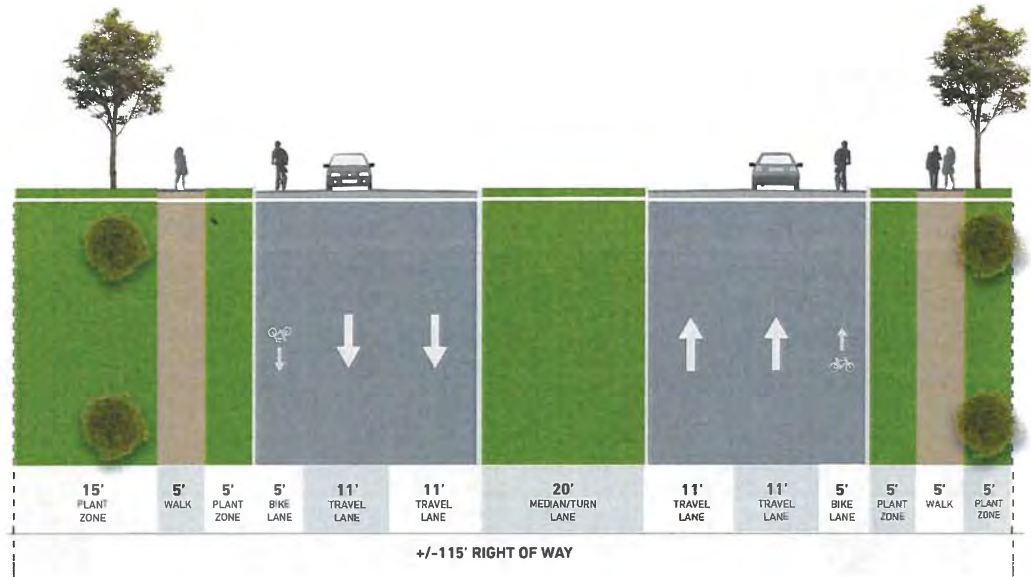


GRENER AVENUE TO MURRAY HILL



WEST BROAD STREET SECTION – CENTRAL TRANSITION

WOODLAWN AVENUE TO FERNHILL AVENUE

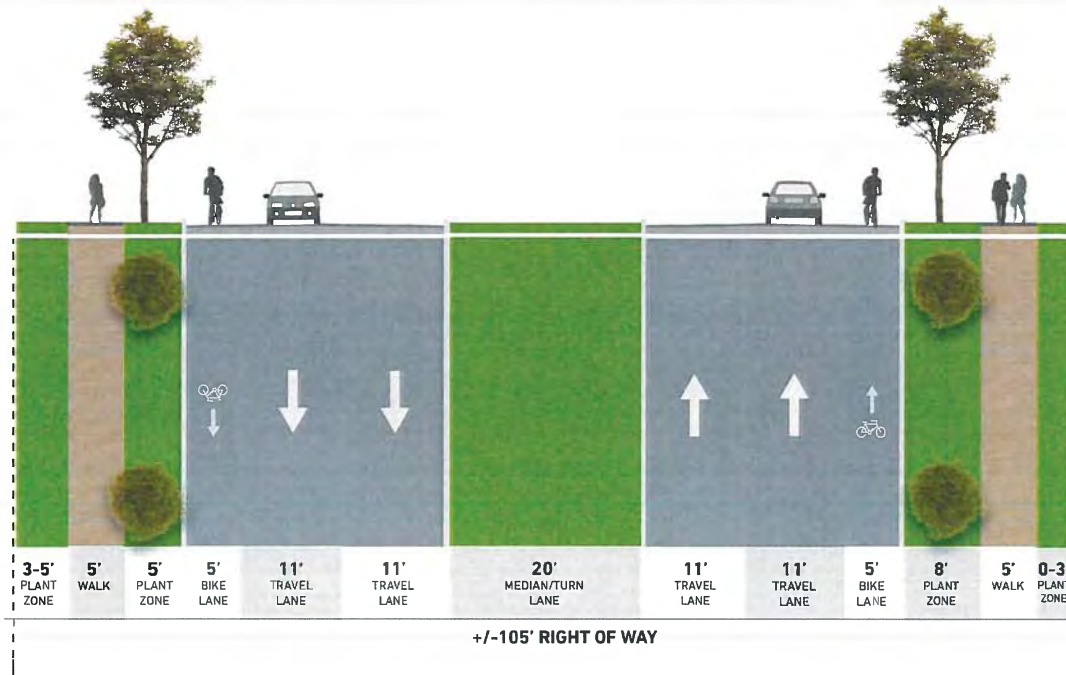


FERNHILL AVENUE TO GLADYS ROAD

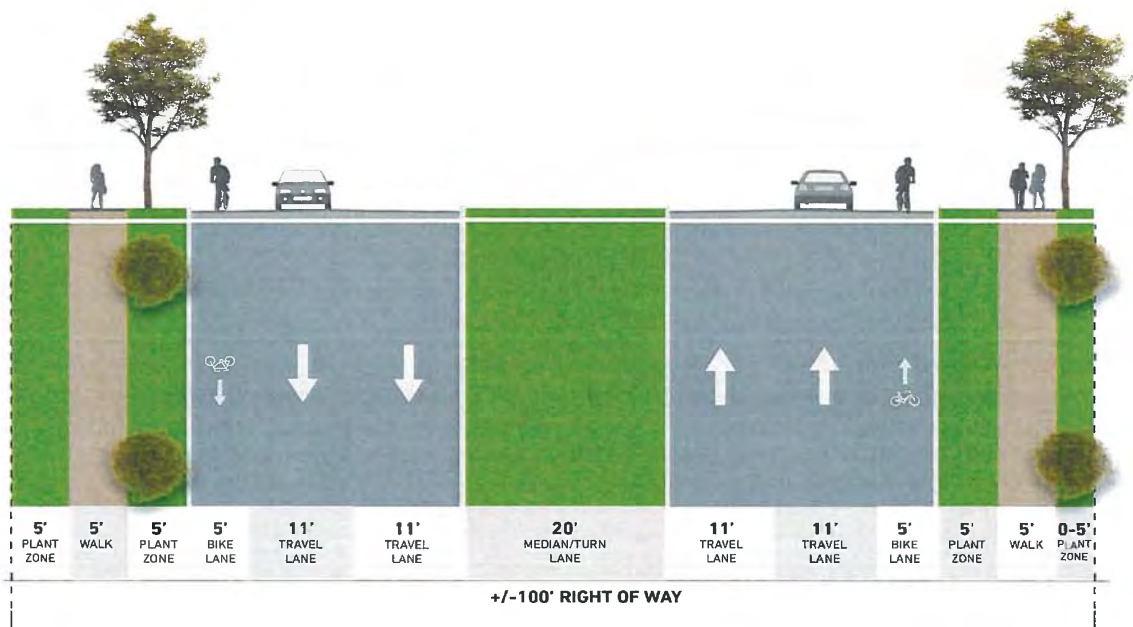


WEST BROAD STREET SECTION – HEALTH & WELLNESS

GLADYS ROAD TO INAH AVENUE

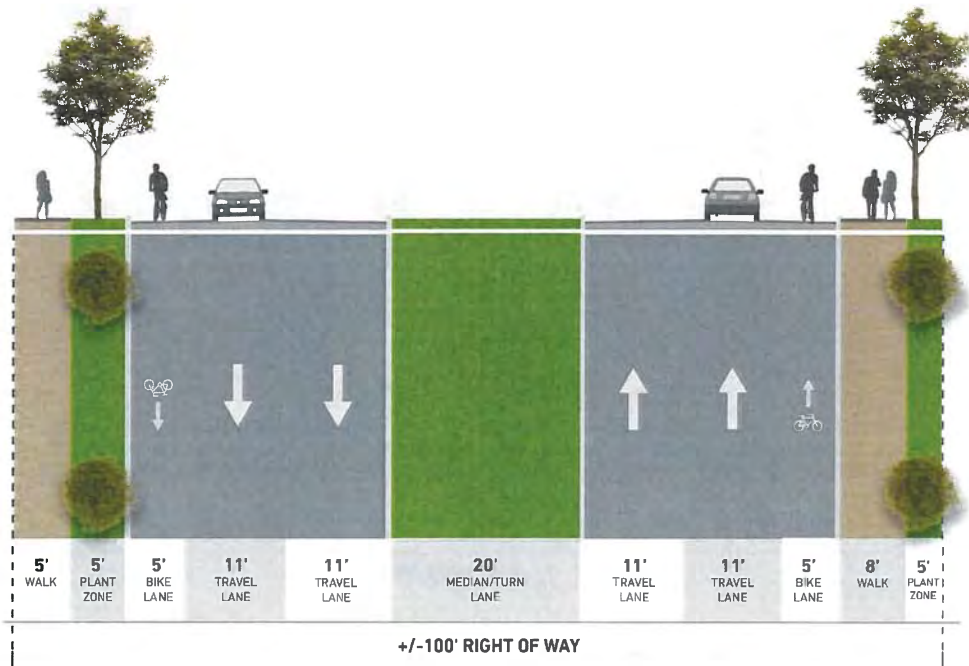


INAH AVENUE TO NORTON AVENUE

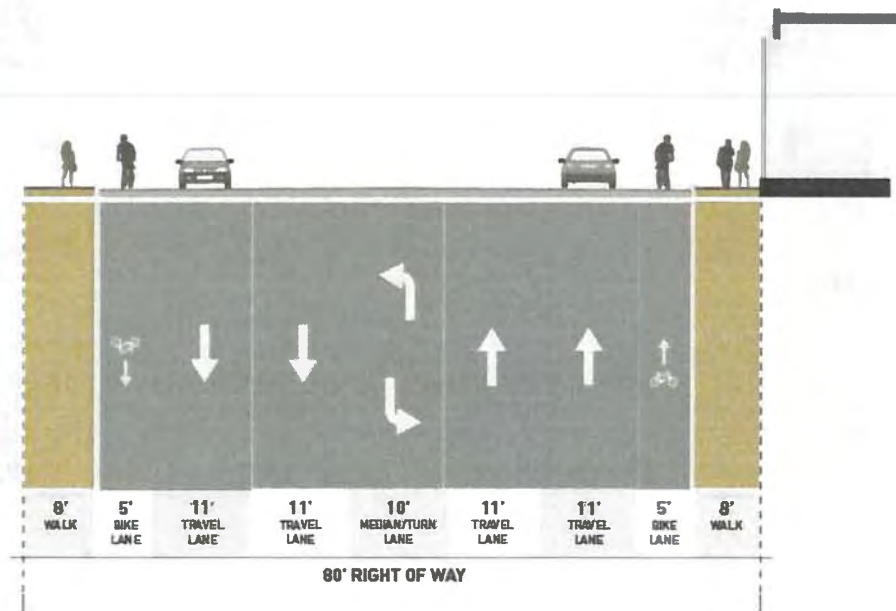


***WEST BROAD STREET SECTION –
WESTERN GATEWAY SUB-DISTRICT***

NORTON ROAD TO EAST STREET

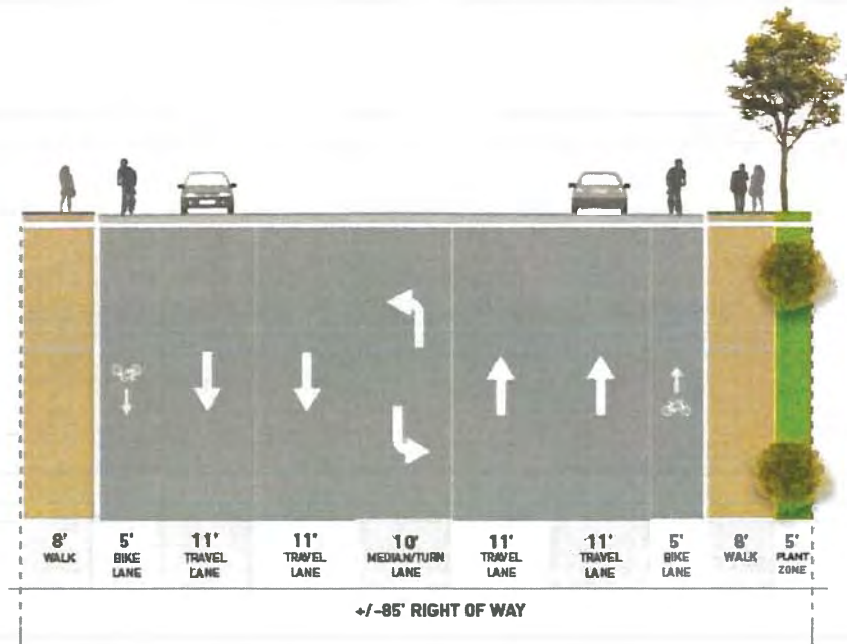


MAPLE DRIVE TO BROWN STREET

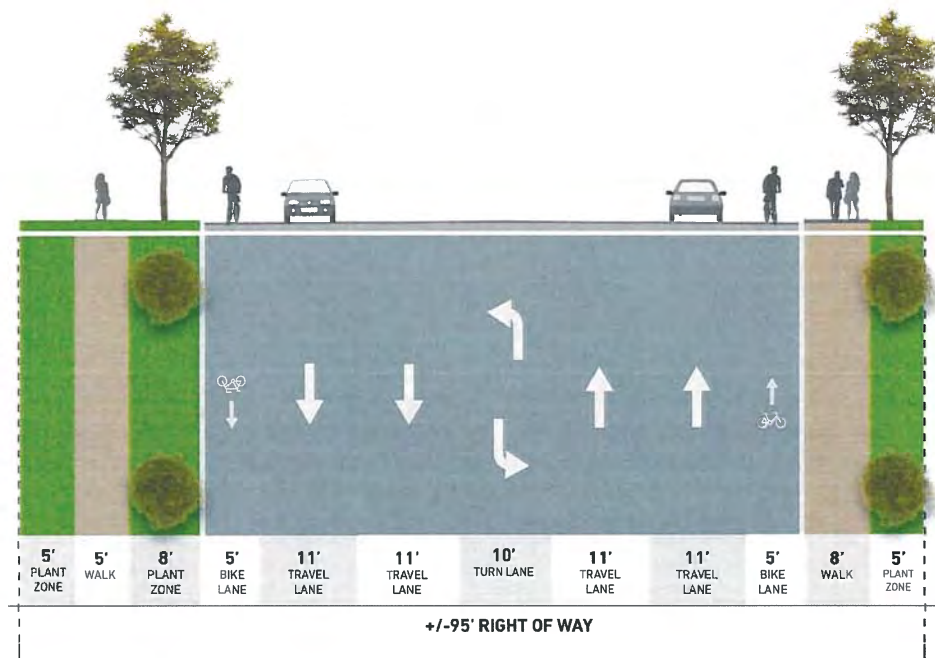


***WEST BROAD STREET SECTION –
WESTERN GATEWAY SUB-DISTRICT***

BROWN STREET TO COLE ALLEY

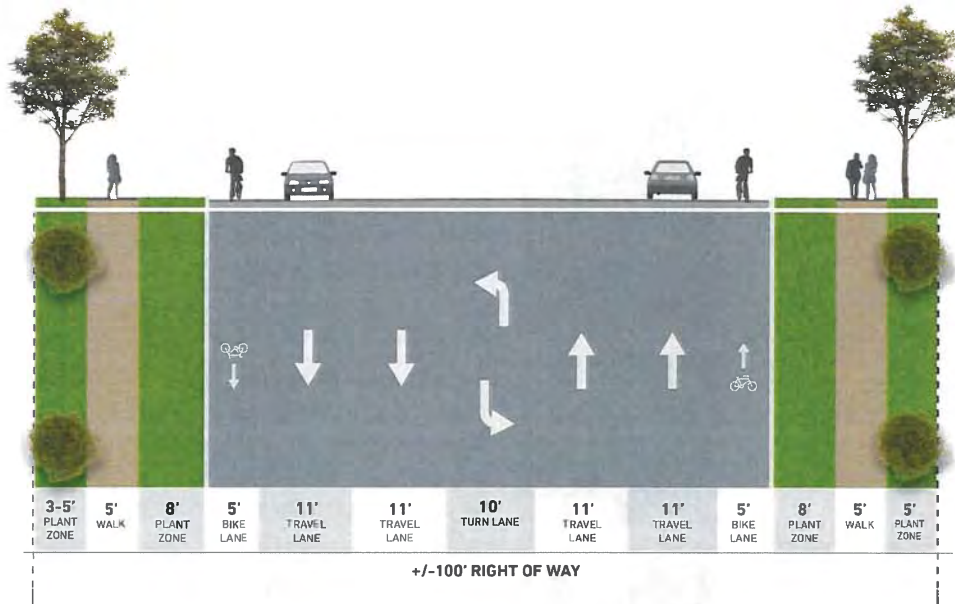


COLE ALLEY TO PASADENA AVENUE



***WEST BROAD STREET SECTION –
WESTERN GATEWAY SUB-DISTRICT***

LAWRENCE AVENUE TO LENNOX AVENUE



LENNOX AVENUE TO HILLIARD-ROME ROAD








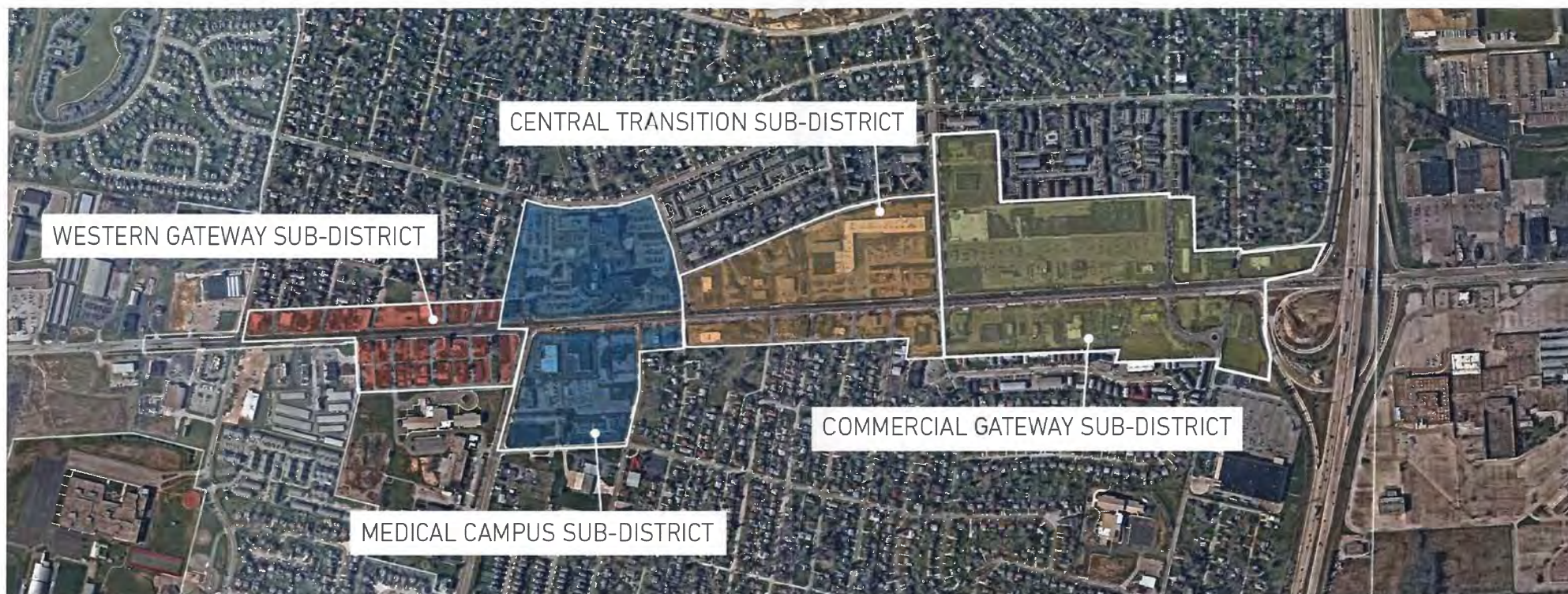
APPENDIX B – STORMWATER BEST PRACTICES

INTRODUCTION

The management of storm water is an important component to site planning. The following chart identifies the best practices for stormwater management for the West Broad Street Corridor Overlay District. The implementation of these will enhance the efficiency, aesthetic and environmental quality of the site.

Rain Barrels		Rain barrels are above-ground containers that are connected to a downspout system and collect water that runs through the gutters. These tend to be used on residential properties, but can vary in size and be used on commercial sites as well.
Cisterns		Cisterns are containers used for catching and storing stormwater runoff. There are different types and models of cisterns; some are kept underground, while others are aboveground. Stormwater stored in the cistern can be used for different purposes including irrigation.
Filter Strip		Filter strips are usually long, narrow sections of vegetation or gravel between impervious surfaces and vegetation that slow the flow of stormwater runoff, allowing sediments and pollutants to filter out of the water.
Media Filter		A media filter uses sand, peat, or other material to filter out pollutants from stormwater runoff. Often, water is collected in a settling area before being treated with the media filter. The cleaned stormwater is then collected using an underdrain system.
Bioswale		Bioswales are often linear landscaped components of a site that collect stormwater runoff, filtering it through plants, soil, and other natural features before it is absorbed or directed toward a drainage system or body of water.
Stormwater Planter		A variation of the more open bioswale, stormwater planters are often located within a streetscape, and serve to collect and filter stormwater. These often include openings in the planter walls, as well as small channels to the street if it is nearby.

Bioswale Curb Extension		Bioswale curb extensions are similar to stormwater planters, but are located at intersections. These provide an additional buffer between pedestrians and motorists, collect and filter stormwater runoff from the street and sidewalk, and enhance the aesthetic of the streetscape.
Permeable Pavement		Permeable pavement allows water to be absorbed through the surface, filtering out pollutants and decreasing the amount of stormwater runoff. Permeable pavement comes in different materials.
Green Roof		A green roof is the partial or full covering of a building roof with living plants. These are often planted over a waterproofing membrane.
Rain Garden		Often located in more urban or developed areas, rain gardens are landscaped gardens located in shallow basins that collect stormwater runoff. The design of the garden and the selection of plants are intended to take advantage of pooling water. These help slow and filter stormwater runoff before it is absorbed into the soil.
Underground Retention/Detention		Underground retention/detention systems collect stormwater from impervious surface through some type of drain system. The water is then stored underground and piped to an out.



PRAIR-17-06

