



Commissioner Marilyn Brown • Commissioner Paula Brooks • Commissioner John O'Grady
President

Economic Development & Planning Department
James Schimmer, Director

Franklin County Planning Commission

Franklin County Courthouse
373 South High Street
25th Floor, Meeting Room B
Columbus, OH 43215

Wednesday, October 14, 2015
1:30 pm

1. Call roll for board members
2. Introduction of staff
3. Swearing in of witnesses
4. Approval of minutes from the September 9, 2015 meeting
5. New Business

i. 672-V – Matt Brown – Requesting to table until November 17, 2015

Applicant/Owner:	Rhea Chung & Hong Dong HWA
Township:	Plain Township
Site:	4915 Babbitt Rd. (PID #220-000487)
Acreage:	8.563 acres
Utilities:	Private water and wastewater
Request:	Requesting a variance from Section 501.05 of the Franklin County Subdivision Regulations to allow the creation of a lot that will fail to meet the required depth to width ratio.

ii. 667-FP(b) – Matt Brown

Owner:	Pulte Homes of Ohio LLC
Engineer:	Matthew Kirk – EMH&T
Township:	Jefferson Township
Subdivision	Villages at Jefferson Run
Site:	1290 Waggoner Road (PID #171-000029)
Acreage:	9.62- acres
Request:	Requesting Final Plat approval to allow the creation of 27 single-family lots and 1 reserve with 3.41-acres of open space.

iii. JEFF-15-06 – Matt Brown

Applicant:	M/I Homes of Central Ohio LLC
Owners/Sites:	Linda L. Holliday TR - 2865 Darling Road (PID #170-000010) Barry W. Smith - 2631 Reynoldsburg-New Albany Road (PID # 170-000746) Gary R. Kitsmiller TR - 0 Darling Road (PID#170-000767) Forrest A. Lines - 0 Reynoldsburg-New Albany Road (PID# 170-001851) Diana L. Garvey - 2635 Reynoldsburg-New Albany Road (PID# 170-001910) Linda L. Holliday TR - 0 Darling Road (PID# 170-002307) Ryan G. Kitsmiller - 2860 Darling Road (PID# 170-003876)
Township:	Jefferson Township
Acreage:	62.8-acres
Utilities:	Public water and wastewater
Zoning:	Restricted Suburban Residential (RSR)
Request:	Requesting to rezone to the Planned Suburban Residential District (PSRD).

iv. ZON-15-03 – Matt Brown

Applicant/Owner:	Franklin County Rural Zoning Commission
Township:	Franklin Township
Site:	Westbrook Subdivision
Zoning:	Rural and Suburban Apartment Residential (R-24)
Utilities:	Public water and wastewater
Request:	Requesting to rezone all lots and reserves within the Westbrook Subdivision, with the exception of lots 74-91, 107-112, 176-186, and Reserve A, from the Suburban Apartment Residential (R-24) and Rural Districts to the Urban Residential (R-12) district.

6. Adjournment of meeting to November 17, 2015



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MINUTES OF THE FRANKLIN COUNTY PLANNING COMMISSION

Wednesday, September 9, 2015

The Franklin County Planning Commission convened in Meeting Room A, Franklin County Courthouse, 373 South High Street, Columbus, Ohio, 43215, on Wednesday, September 9, 2015.

Present were:

Nancy White, Chairperson
Tim Guyton
Dan Blechschmidt
Roxyanne Burrus
Chet Chaney
Ashley Hoye
Debbie Johnson
Lauren Rummel
Jason Sanson
Kevin Wheeler
Marty Wicks

Franklin County Economic Development and Planning Department:
Matt Brown, Planning Administrator
Anthony Hray, Planner

Chairperson White opened the hearing.

The first order of business being approval of the minutes of the August 12, 2015 meeting.

Mr. Chaney made a motion to approve the minutes. It was seconded by Ms. Johnson. The motion passed by a vote of seven yeases and two abstentions.

OLD BUSINESS:

The next order of business being Case No. PRAIR-15-04. Mr. Guyton made a motion to remove the case from the table. It was seconded by Ms. Johnson. The motion was approved by a vote of six yeases and three abstentions. The next item of business being Case No. PRAIR 15-04. The Applicant is Segna Associates, Inc. The owner is J&J Petroleum and N&G Takar Oil. It is located at 300 Hilliard-Rome Road and 341 Smith Road. The township is Prairie Township. It is 0.92 acres in size and is serviced by public water and wastewater. And the request is to rezone from the General Business (GB) District and Medium-Density Residential (R-6) District to the Select Commercial Planned District. Mr. Anthony Hray presented the case to the Franklin County Planning Commission. Mr. Guyton made a motion to

approve Case NO. PRAIR-15-04 with Staff's seven recommendations. It was seconded by Ms. Johnson. The motion was approved by a vote of seven yes votes, one no vote and two abstentions.

NEW BUSINESS:

The next item of business being Case No. ZON-15-02. The Applicant is A7 Travel Solutions, Inc. It is located at 7280 Stahl Road. The township is Pleasant Township. It is 1.86 acres in size and is serviced by private water and wastewater. And the request is to amend an existing Select Commercial Planned District (SCPD). Mr. Anthony Hray presented the case to the Franklin County Planning Commission. Mr. Chaney made a motion to approve Case No. ZON-15-02 with Staff's six conditions. It was seconded by Mr. Wicks. The motion was approved by a vote of 7 yeses, 1 no, and two abstentions. The next item of business being Case No. 672-V. The Applicant is Rhea Chung and Hong Dong HWA. It is located at 4915 Babbit Road. The township is Plain Township. It is 8.563 acres in size and is serviced by private water and wastewater. And the request is to table Case No. 672-V until the October 14, 2014 hearing.

7 Mr. Wheeler made a motion to table the case until the October 14, 2014 hearing. It was seconded 9 by Mr. Sanson. The motion was approved by a ten-to-zero vote. There being no further business coming before the Franklin County Planning Commission, the hearing was adjourned. The hearing was adjourned at 2:30 p.m.

There being no further business coming before the Franklin County Planning Commission, Chairman White adjourned the meeting. The meeting was adjourned at 1:44 p.m.

Minutes of the September 9, 2015, Franklin County Planning Commission hearing were approved this 14th day of October, 2015.

Signature

From: Colin Depew <cdepew@shaferlawohio.com>
Sent: Thursday, October 1, 2015 10:01 AM
To: Brown, Matthew
Subject: Rhea Chung Lot Split Variance Application - Tabling Request

Good Morning Matt,

Regarding Rhea Chung's Lot Split Variance application currently scheduled for the October 14th Planning Commission meeting, we would like to request that the application be tabled until the November 17th meeting so that we may submit the new soil analysis and the wetland determination analysis to the technical review meeting scheduled on October 27th. Do you know the date those documents must reach your office to be included in the technical review meeting?

Colin

Colin G. De Pew
Associate Attorney
Shafer Law Offices, LLC
7 North High Street, PO Box 518
New Albany, OH 43054
[614-933-9920](tel:614-933-9920) (office)
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Website: www.shaferlawohio.com

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Commissioner Marilyn Brown • Commissioner Paula Brooks • Commissioner John O’Grady
President

Economic Development & Planning Department
James Schimmer, Director

STAFF REPORT

Planning Commission
October 14, 2015

Case 667-FP(b)

Prepared by: Matt Brown

Owner:	Pulte Homes of Ohio LLC
Engineer:	Matthew Kirk – EMH&T
Township:	Jefferson Township
Subdivision:	Villages at Jefferson Run
Site:	1290 Waggoner Road (PID #171-000029)
Acreage:	9.62- acres
Request:	Requesting Final Plat approval to allow the creation of 27 single-family lots and 1 reserve with 3.41-acres of open space.

Background Information

History:

The Preliminary Plan for the Villages at Jefferson Run subdivision was approved on January 15, 2014.

Proposal:

The applicant is requesting Final Plat approval of Villages at Jefferson Run Phase 2 that will create 27 single-family lots and 1 reserve with 3.41-acres of open space.

Overview and Analysis

Technical Review Committee agencies expressed no concerns with the Final Plat and the Final Plat conforms to the approved Preliminary Plan.

Staff Recommendation

Staff recommends ***approval*** of the Final Plat for Villages at Jefferson Run Phase 2.

As per Section 205.25 of the Franklin County Subdivision Regulations, the final plat must be recorded within 6 months of the date of approval.

VILLAGES AT JEFFERSON RUN

PHASE 2

Situated in the State of Ohio, County of Franklin, Township of Jefferson, and in Quarter Township 4, Township 1, Range 16, United States Military Lands, containing 9.623 acres of land, more or less, said 9.623 acres being part of that tract of land conveyed to PULTE HOMES OF OHIO LLC by deed of record in Instrument Number 201409120121132, Recorder's Office, Franklin County, Ohio.

The undersigned, PULTE HOMES OF OHIO LLC, a Michigan limited liability company, by MATTHEW J. CALLAHAN, Division Vice President of Land Acquisition, owner of the land platted herein, duly authorized in the premises, does hereby certify that this plat correctly represents its "VILLAGES AT JEFFERSON RUN PHASE 2", a subdivision containing Lots numbered 19 to 45, both inclusive, and an area designated as Reserve "B", does hereby accept this plat of same and dedicates to public use, as such, all of the Drives, Street and Run shown hereon and not heretofore dedicated.

In consideration of approval of this plat, the undersigned understands and agrees to fulfill their obligations and responsibilities reflected in the subdivider's agreement and the subdivision regulations of Franklin County, Ohio. Zoning, building and health permits may be withheld in this subdivision until the subdivider has complied with the subdivider's agreement.

Easements are hereby reserved in, over and under areas designated on this plat as "Easements" or "Drainage Easement". Each of the aforementioned designated easements permit the construction, operation and maintenance of all public and quasi-public utilities above, beneath and on the surface of the ground and, where necessary, are for the construction, operation and maintenance of service connections to all adjacent lots and lands and for storm water drainage. Within those areas designated "Drainage Easement" on this plat, an additional easement is hereby reserved for the purpose of constructing, operating and maintaining major storm water drainage swales and/or other above ground storm water drainage facilities. No above grade structures, dams or other obstructions to the flow of storm water runoff are permitted within Drainage Easement areas as delineated on this plat unless approved by the Franklin County Engineer. Easement areas shown hereon outside of the platted area are within lands owned by the undersigned and easements are hereby reserved therein for the uses and purposes as expressed herein.

Iron pins shall be set at all lot corners prior to the transfer and acceptance of any street for public purpose.

In Witness Whereof, MATTHEW J. CALLAHAN, Division Vice President of Land Acquisition of PULTE HOMES OF OHIO LLC, has hereunto set his hand this day of _____, 20____.

Signed and Acknowledged: PULTE HOMES OF OHIO LLC
In the presence of:

By: MATTHEW J. CALLAHAN,
Division Vice President of
Land Acquisition

STATE OF OHIO
COUNTY OF FRANKLIN ss:

Before me, a Notary Public in and for said State, personally appeared MATTHEW J. CALLAHAN, Division Vice President of Land Acquisition of PULTE HOMES OF OHIO LLC, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed and the voluntary act and deed of said PULTE HOMES OF OHIO LLC, for the uses and purposes expressed herein.

In Witness Thereof, I have hereunto set my hand and affixed my official seal this day of _____, 20____.

My commission expires _____ Notary Public, State of Ohio

The undersigned hereby certifies that this subdivision plat conforms to applicable zoning regulations.

Approved this _____ Day of _____, 20____
Jefferson Township Zoning Inspector

The undersigned hereby certifies adequate and legal water and sanitary sewer plant capacities exist to serve this subdivision.

Approved this _____ Day of _____, 20____
Director,
Jefferson Water and Sewer District

The undersigned hereby certifies that this subdivision plat conforms to applicable subdivision regulations.

Approved this _____ Day of _____, 20____
Franklin County Planning Commission

Approved this _____ Day of _____, 20____
Franklin County Drainage Engineer

Approved this _____ Day of _____, 20____
Franklin County Engineer

This _____ day of _____, 20____, rights-of-way for the Drives, Street and Run herein dedicated to public use are hereby approved and accepted as such for the County of Franklin, State of Ohio

Franklin County Commissioners

This plat shall not be transferred or recorded until all required signatures are secured.

Transferred this _____ day of _____, 20____
Auditor, Franklin County, Ohio

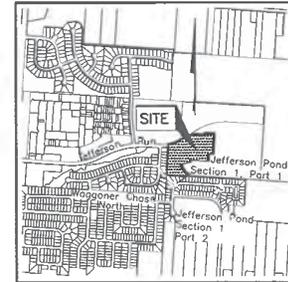
Deputy Auditor, Franklin County, Ohio

Filed for record this _____ day of _____, 20____ at _____ M. Fee \$ _____
Recorder, Franklin County, Ohio

File No. _____

Recorded this _____ day of _____, 20____
Deputy Recorder, Franklin County, Ohio

Plat Book _____ Pages _____



LOCATION MAP AND BACKGROUND DRAWING

SCALE: 1" = 1000'

SURVEY DATA:

BASIS OF BEARINGS: The bearings shown hereon are based on the bearing of North 03° 44' 12" West for the easterly line of "Waggoner Chase North", a subdivision of record in Plat Book 100, Page 35.

SOURCE OF DATA: The source of recorded survey data referenced in the plan and text of this plat are the records of the Recorder's Office, Franklin County, Ohio.

IRON PINS: Iron pins, where indicated hereon, unless otherwise noted, are to be set and are iron pins, thirteen sixteenths inch inside diameter, thirty inches long with a plastic plug placed in the top and bearing the initials EMHT INC.

PERMANENT MARKERS: Permanent markers, where indicated hereon in the public street centerline, are to be one-inch diameter, thirty-inch long, solid iron pins, are to be set to monument the points indicated, are to be set after the construction/installation of the street pavement and are to be set with the top and one-fourth inch below the top of the pavement. Once installed, the top of the pin shall be marked (punch) to record the actual location of the point.

RECEIVED

SEP 25 2015

Franklin County Planning Department
Franklin County, OH
667-FP(b)

SURVEYED & PLATTED BY



We do hereby certify that we have surveyed the above premises, prepared the attached plat, and that said plat is correct. All dimensions are in feet and decimal parts thereof.

- = Iron Pin (See Survey Data)
- = MAG Nail to be set
- ⊙ = Permanent Marker (See Survey Data)

By _____ Professional Surveyor No. 7865 Date _____

VILLAGES AT JEFFERSON RUN PHASE 2

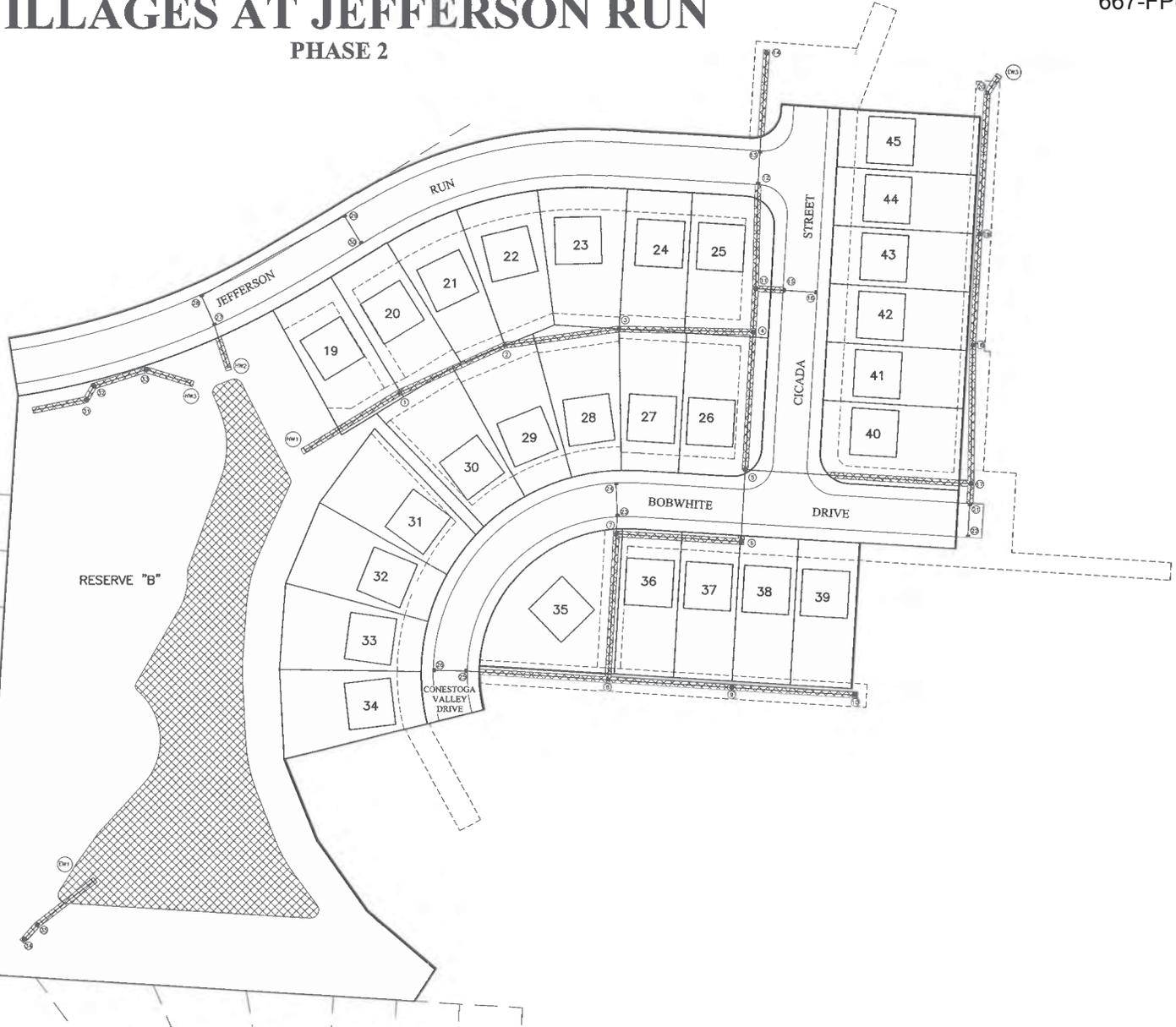
**DRAINAGE EASEMENT
FRANKLIN COUNTY DRAINAGE ENGINEER**

1. The shaded area (designated the Storm Water Maintenance Easement) has been granted to the Franklin County Commissioners so that the Franklin County Drainage Engineer can maintain the Storm Sewers, Subsurface Drains, Structures and Outlets.
2. No structure or improvements of any kind, including sheds, fences, flower beds, rock gardens and trees (but excluding grass and approved back protection), shall be erected or planted within the easement provided for the watercourse unless reviewed and approved by the Franklin County Drainage Engineer.
3. Every owner of property within the storm water maintenance easement shall maintain the portion of said storm water easement in their property and keep the same free of debris and obstruction of all kinds. Said maintenance shall be limited to mowing, removal of debris and turf maintenance. All other maintenance of the grassed waterways, drainage channels, subsurface drains and storm sewers shall be performed at the direction of the Franklin County Drainage Engineer.
4. The property owner will maintain the drainage structures, swales, underdrains and storm sewers along the side and back lot lines.
5. These restrictions and agreements shall run with the land and shall bind the owner, his successors and assigns unless and until a modification or change thereto is agreed to and approved by Franklin County.
6. All areas disturbed during maintenance operations will be reestablished with grass; tree removal will not be replanted.

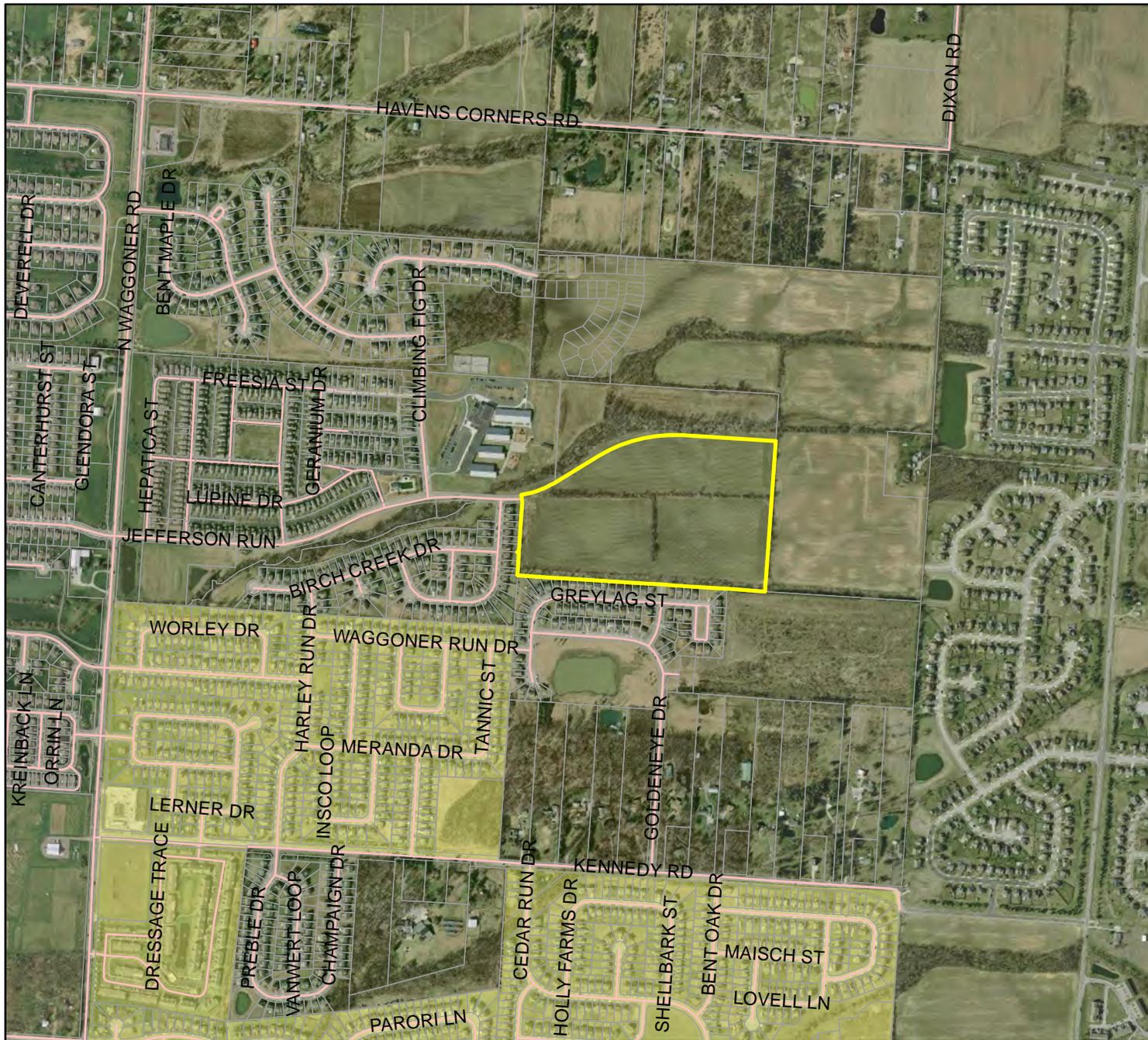
This sheet is for information purposes only and is not intended to create plat restrictions. More information required regarding the Ditch Maintenance Plan can be acquired by a competent examination of the then current public records, including those in the Recorder's Office, Franklin County, Ohio.

HATCH LEGEND

Hatching for ditch maintenance areas are shown here at constant widths. However actual widths of allowable maintenance areas vary based on size of pipe and easement. Ditch maintenance allows ingress/egress to all areas requiring maintenance and will require funding sufficient to maintain adequate drainage.



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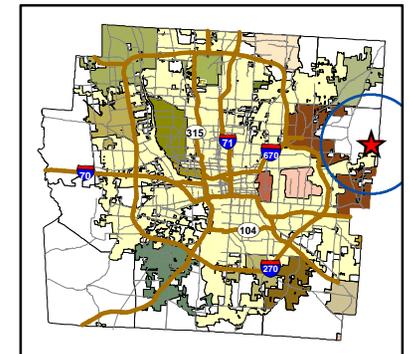


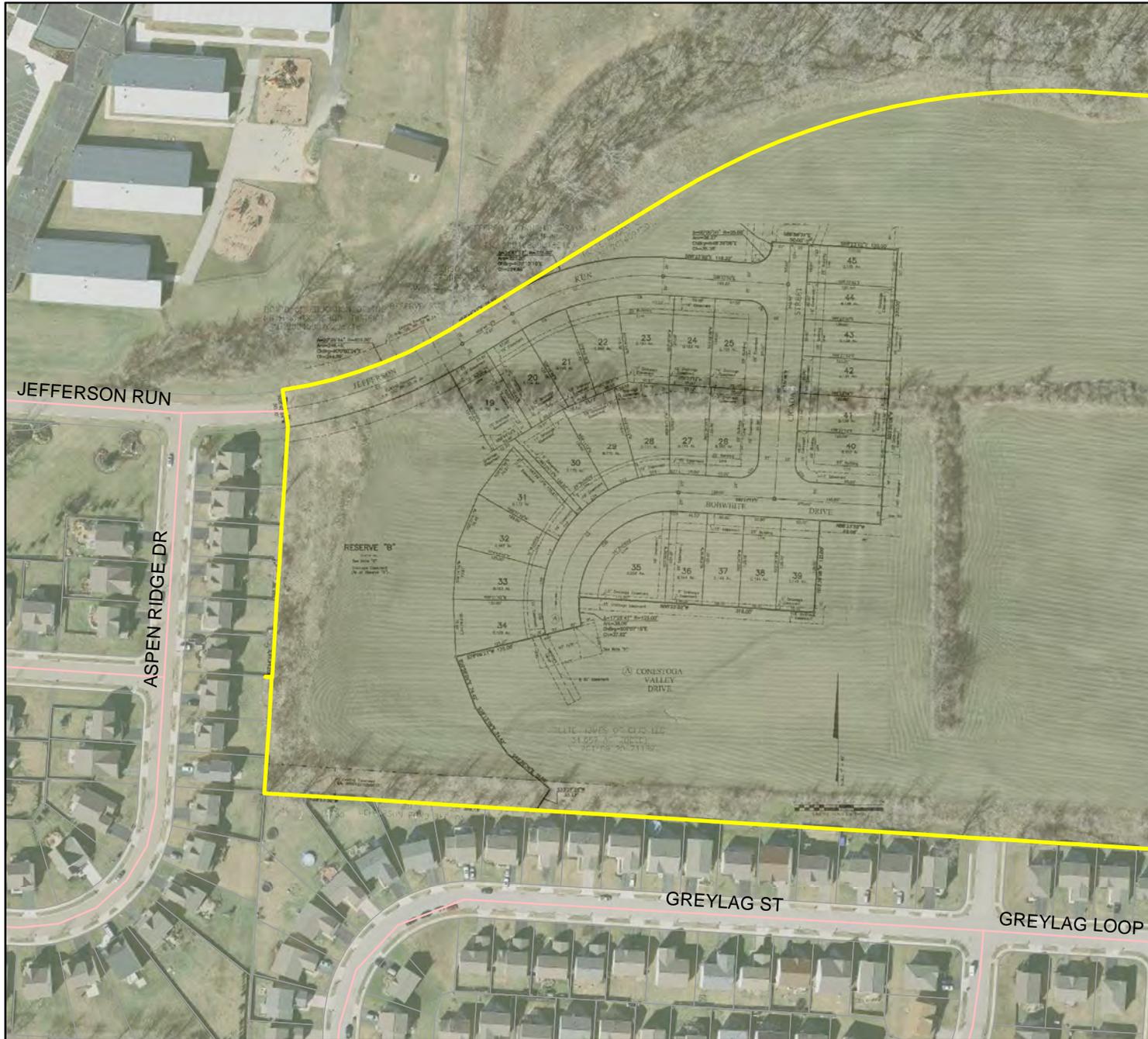
667-FP(b)

Requesting Final Plat approval to allow the creation of 27 single-family lots and 1 reserve with 3.41 acres of open space.

9.62 Acres
Jefferson Township

-  1290 Waggoner Road
-  Parcels
-  Streets
-  Columbus





667-FP(b)

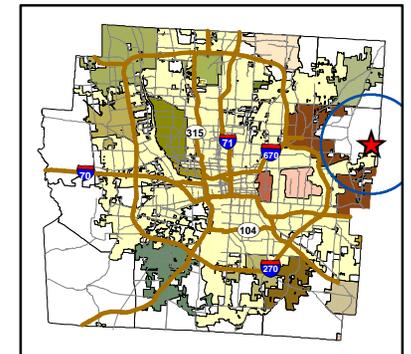
Requesting Final Plat approval to allow the creation of 27 single-family lots and 1 reserve with 3.41 acres of open space.

9.62 Acres
Jefferson Township

 1290 Waggoner Road

 Parcels

 Streets





Commissioner Marilyn Brown • Commissioner Paula Brooks • Commissioner John O'Grady
 President

Economic Development & Planning Department
 James Schimmer, Director

STAFF REPORT

Planning Commission
 October 14, 2015

Case #JEFF-15-06
 Prepared by: Matt Brown

Applicant:	M/I Homes of Central Ohio LLC
Owners	Linda L. Holliday TR - 2865 Darling Road (PID #170-000010) Barry W. Smith - 2631 Reynoldsburg-New Albany Road (PID # 170-000746) Gary R. Kitsmiller TR - 0 Darling Road (PID#170-000767) Forrest A. Lines - 0 Reynoldsburg-New Albany Road (PID# 170-001851) Diana L. Garvey - 2635 Reynoldsburg-New Albany Road (PID# 170-001910) Linda L. Holliday TR - 0 Darling Road (PID# 170-002307) Ryan G. Kitsmiller - 2860 Darling Road (PID# 170-003876)
Agent:	Jeffrey Strung, EMH&T
Township:	Jefferson Township
Acreage:	62.8-acres
Utilities:	Public water and wastewater
Zoning:	Restricted Suburban Residential (RSR)
Request:	Requesting to rezone to the Planned Suburban Residential District (PSRD).

Summary

The applicant is requesting to rezone from the Restricted Suburban Residential district to the Planned Suburban Residential District (PSRD) to allow the property to develop as a single-family subdivision. The proposal does not comply with the intent of the Jefferson Township Zoning Resolution and does not keep with the township land use plan or Scenic Byways Plan. Staff recommends denial.

Project overview

The request is to rezone seven properties totaling 62.8 acres to allow the applicant to develop a 106 lot single-family residential subdivision. The development will include 29.9 acres of open space in 5 reserves with a gross density of 1.69 dwelling units per acre. The proposed development area is located west of Reynoldsburg New Albany Road and north of Havens Road, on both the east and west side of Darling Road.

Surrounding Zoning and Land Use

Direction	Zoning	Land Use
North	Restricted Suburban Residential (Jefferson Township)(1 du/ac) ER-1 Estate Residential (Gahanna) SF-3 Residential (Gahanna)(~4 du/ac)	Single-family Public Park Single-family subdivision
East	Restricted Suburban Residential	Single-family
South	Restricted Suburban Residential	Single-family
West	Planned Suburban Residential (~1.22 du/ac)	Single-Family Subdivision

Existing Zoning District

The property is currently located in the Restricted Suburban Residential (RSR) District. This district is for low density residential developments that are intended to promote attractiveness, order and efficiency and a healthful, safe environment.

Permitted uses in the district include single-family dwellings, Home Occupations, Accessory Uses and Non-Commercial Guest Houses. The minimum lot size in the RSR district is 1 acre and the lot must be of sufficient size to meet sanitation requirements. Based on the minimum lot size of the RSR district the maximum density is 1 dwelling unit per acre.

Proposed Zoning District

The request is for approval of a development plan in the Planned Suburban Residential District (PSRD). The development plan will allow the development of a 106 lot residential subdivision with a gross density of 1.69 dwelling units per acre and a minimum lot size of approximately 8,750 square feet, or 0.2 acres.

Planned Suburban Residential District Requirements

Permitted Uses

The applicant has proposed all uses identified in Section 620.02 of the Jefferson Township Zoning Resolution as permitted uses in the area proposed to be rezoned. The uses include:

- detached single-family
- attached twin-singles and townhouses
- home occupations
- accessory buildings and uses
- schools
- parks, playgrounds, and playfields
- golf courses
- places of worship
- daycare or childcare facilities

Tract and Density Criteria

The minimum area to be considered for a rezoning to the Planned Suburban Residential District is 10 acres. The proposed area for rezoning is 62.8 acres in size.

The maximum density 2.5 dwelling units per gross acre. The proposed development has a gross density of 1.69 dwelling units per acre.

Development Plan

A development plan must be submitted in support of an application to rezone to the Planned Suburban Residential District. The development plan must address a number of items detailed in Section 620.04 of the Jefferson Township Zoning Resolution. Staff identified the omission of one development plan requirement – evidence was not provided that the applicant has sufficient control over the land to effectuate the proposed development plan. The owners of all properties proposed to be rezoned did not sign or otherwise authorize the submission of the rezoning application as presented to Franklin County staff.

Development Standards

1. Open Space

- 20 percent of the gross tract area must be designated as open space, 21.98 acres for this specific development area
 - The proposal includes 29.9 acres of open space to be placed in platted reserves and owned and maintained by a Home Owners Association

2. Lot and Yard Areas

- Minimum lot area is 7,000 square feet
 - Proposed minimum lot area is 8,750 square feet
- Minimum lot width is 60 feet
 - Proposed minimum lot width is 70 feet
- Minimum front setback is 25 feet from right-of-way
 - Proposed front setback is 25 feet

- Minimum side yard is 5 feet
 - Proposed minimum side yard is 7.5 feet
 - Minimum rear yard is 20% of lot depth
 - Proposed minimum rear yard is 25 feet
3. *Private Roads*
- No private roads are proposed; all roads will be public and designed to meet Franklin County Engineer and Franklin County Subdivision standards.
 - The proposed development will have one access point to Reynoldsburg-New Albany Road. The north-south portion of Darling Road through the development will be eliminated with an appropriate turn-around provided at the terminus of the east-west portion and a connection to Rovilla Road maintained. Roadways within the development will be 28 feet wide located in a right-of-way 50 feet wide.
4. *Parking*
- The proposed development will comply with parking standards of the Township Zoning Resolution
5. *Buffer Area*
- The Township Zoning Commission has discretion to require buffer areas where the particular location causes the necessity of buffering. The zoning commission when deemed necessary shall define size, location, type and density of buffering.
 - The proposed development plan indicates landscape buffering in Reserve “E” but no details are provided.

Natural Resource Protection

1. *Wetlands*

- 100 percent of all wetland areas must be protected except as follows:
 - Where disturbance is necessary for access to buildable portions of the property, if no alternative exists.
 - Where required to provide access to water-related use.
 - Where a street crossing the wetland is essential to the establishment of a permitted use.
- All development proposals that disrupt wetlands must provide proof of approval by the U.S. Army Corp of Engineers.
 - The area proposed to be rezoned includes two identified wetlands. One will be located in a reserve; the other wetland has been proposed to be removed to allow the creation of two subdivision lots.

2. *Drainage Ways*

- 100 percent of all drainage ways as defined by Section 620.06(2(A)) of the Township Zoning Resolution must be protected per said section as permanent open space.
 - No drainage ways were identified in the development plan

3. *Floodplains*

- 100 percent of all floodplain areas must be protected as permanent open space
 - No floodplain areas exist within the development area

4. *Steep Slopes*

- No steep slopes have been identified in the development area

5. *Woodlands*

- No woodlands have been identified in the development area

Comprehensive Plan

Jefferson Township’s land use plan was adopted in 1996. The township’s future land use map recommends the subject property for Low Density Residential uses which is described as 0.2-0.33 dwelling units per acre, or a minimum lot size of 3-5 acres. Jefferson Township also adopted Core Values in 1996 to describe the community’s vision for the future. One Core Value is to adhere to the following principles:

- Protect and nurture the Township’s exceptional natural landscape.

- Prevent inappropriately located, poorly planned and/or extremely high density development because of its negative impact on Jefferson Township’s rural beauty, natural resources, infrastructure and “Green Community” character.
- Identify areas where growth is likely and provide the means to accommodate that growth in ways that do not diminish the Green Community Character of the Township.
- Promote and enhance the Township’s economic viability

The proposed development plan does not keep with the future land use plan density recommendation or Core Values.

Jefferson Township Scenic Byways Management Plan

The Scenic Byways Management Plan, adopted by the Township Trustees in 2003 and updated in 2015, helps to protect the character and nature of major corridors in Jefferson Township, giving particular emphasis to the protection of scenic vistas for the benefit of all byways travelers. All public roadways adjacent to the proposed development are classified as Scenic Byways; this includes Reynoldsburg-New Albany Road, Darling Road and Rovilla Road. The Management Plan identifies two scenic vistas from Darling Road that would be impacted by the proposed development. Based on the 2003 plan there are also two historic structures that would be removed for the proposed development.

The Management Plan makes numerous recommendations, including:

- Proposed subdivisions along the byways should match the traditional rural setbacks and prevent the massing of structures close to the roadway. The plan indicates that the township requires 250 foot building setbacks for subdivisions.
- When the side or back of structures are placed in a manner that would be visible from the byway it must be heavily screened by vegetation.
- When using fencing, use post on board or split rail styles no higher than 42 inches in height
- Preserve fence rows, hedges, pastures, wooded lots, and open fields.
- Use native plants and natural planting schemes in new developments
- Discourages planting schemes that obscure scenic vistas
- Encourage the protection of views of historic structures

The Management Plan includes a checklist to be used by Township and County Boards and Commissions reviewing development proposals along byway corridors. The checklist includes:

1. Is the project within the viewshed (1,000 feet) of a Jefferson Township Scenic Byway?
2. Does the project site include historic or significant structures or landscape features? If yes, what measures are being taken to preserve and enhance the historic/significant integrity of the structure or feature? Are additional measures warranted?
3. What is the quality of the existing landscape on the site and does the proposed project take adequate measures to preserve and protect portions of existing trees, tree rows, shrubs, and native vegetation?
4. Does the proposed landscaping for the project fit the existing landscape character of the project site and its surroundings and does it follow recommendations of the Management Plan? There should be a follow up check for compliance with approved plans.
5. Are there special landscape features (rock outcroppings, wetlands, riparian corridors, wooded hillsides, landmark trees, etc.) on the project site and will these features be protected as part of the proposed plan?
6. Are grading changes proposed as part of the project? If yes, does the grading fit the surrounding landscape character?
7. Is storm water detention/retention part of the project? If yes, will the proposed landscaping enhance the detention/retention area as a natural feature?
8. Is fencing proposed as part of the project? If yes, is the fence design appropriate for the setting? If no, select from an appropriate alternative.
9. Does the proposed project conform to the recommendations of the Jefferson Township regulations?
10. Is lighting proposed as part of the project? If yes, what will be the impact of the light on adjacent properties and is the proposed intensity of the light appropriate for the Scenic Byway corridors?

11. Are proposed parking, service, and storage areas appropriately screened?
12. Is signage proposed as part of the project? If yes, is the sign design appropriate in scale, location, colors, materials, and lighting?

Staff review

Water supply and Wastewater disposal: The Jefferson Water and Sewer District (JWSD) provided a letter indicating the ability to service the proposed development.

Development Plan and Text: Franklin County Economic Development and Planning staff identified the following items:

- The open area to the rear of lots 3-9 should be located in a separate reserve based on the boundary between Phases 1 and 2 or all of Reserve “A” should be included in Phase 1.
- The boundary between Phases 2 and 3 should be revised to include the emergency access in Phase 2.
- All existing wells and septic systems need to be properly abandoned to the satisfaction of Franklin County Public Health.
- It should be considered to shift the proposed pedestrian path in Phase 3 and lots 64-67 to avoid the proposed wetland disturbance.
- The development plan does not provide for the recommended building setback of 250 feet from Scenic Byways.
- Numerous lots in the proposed development are located in soils identified as being poorly drained. The Franklin County Subdivision Regulations prohibits the construction of basements in these soils. A note identifying lots impacted by these soils must be included on the Preliminary Plan.
- No details are provided for the landscape buffer shown in Reserve “E”
- The list of permitted uses should be revised to include only those uses that would be appropriate for the lot sizes proposed.
- Sidewalks should be 5 feet in width
- The rear yard setback should be revised to be 20% of the lot depth as opposed to the 25 feet proposed.
- Fencing should be used along the rear of lots abutting open space as opposed to the proposed bollards.
- The construction timeframe should be revised to account for the necessary subdivision plan approvals

Franklin County Engineer

A number of comments were provided by the Traffic Department of the Franklin County Engineer’s office related to the proposed development which should be addressed in the zoning layout and need to be addressed at the time of filing for a Preliminary Plan.

1. A Traffic Impact Study will need to be completed. The study parameters must be agreed upon and spelled out in a Memorandum of Understanding with the Engineer’s office and the developer’s consultant.
2. The pavement width (along the unnamed east-west roadway) will need to be 36’, from the access point along Reynoldsburg-New Albany Road, to the (unnamed north-south roadway) at the T-Intersection.
3. The developer and Engineer’s office need to further investigate the proposed turn-around point on Darling Road on the north side of the project.
4. The R/W of Darling Road will need to be vacated, and then rededicated for each appropriate use:
 - a. The new road in the subdivision
 - b. The new walking path
5. The Engineer’s office will need to further investigate how to handle the intersection of the new pedestrian path and Darling Road.

6. The Engineer's office will need more information related to the new intersection of Darling and Rovilla Roads which may include but not be limited to:
 - a. Widening of the turning radius
 - b. New signage

Franklin County Drainage Engineer

The Franklin County Drainage Engineer has expressed concerns with the limited elevation change from the southern portion of the development area to the location of the proposed retention basin along the west edge of the site. An existing drainage pipe has been identified as needing repaired in the southeastern portion of the site and the developer needs to look at the elevation of that pipe and the elevation of the intended outlet tile to ensure sufficient drainage. Full engineering plans have not been produced at this time to determine if all storm water requirements will be met. However, at the time of applying for a Preliminary Plan, Construction Plans and Final Plat, the development will need to comply with the Franklin County Storm Water Drainage Manual and Subdivision Regulations to ensure storm water is properly addressed.

Franklin Soil and Water Conservation District

The Franklin Soil and Water Conservation District has indicated no concerns with the proposed rezoning.

Staff analysis

Basis of Approval: The basis for approving a Planned Suburban Residential (PSR) District application shall be the following, but not limited to the following:

1. *That the proposed development is consistent in all respects with the purpose, intent, and applicable standards of this zoning resolution;*
 - The development plan and text as submitted is not a complete application as it does not include signatures of all property owners. The proposed minimum rear yard of 25 feet will not meet the zoning district standard of 20% of lot depth for lots greater than 125 in depth and also results in a larger percentage of the lot devoted to rear yard space for shallower lots than is required by the zoning district.
2. *That the proposed development is in conformity with a comprehensive plan or portion thereof as it may apply;*
 - The proposed development does not conform to the Jefferson Township land use plan or the Scenic Byways Management Plan.
3. *That the proposed development advances the general welfare of the Township and the immediate vicinity;*
 - The development as proposed does not conform to the Comprehensive Plan and Scenic Byways Plan that are adopted to advance the general welfare.
4. *The benefits, improved arrangement, and the design of the proposed development justify the deviation from standard residential development requirements included in the zoning resolution.*
 - The development as proposed does not justify the deviation from the standard development requirements as many recommendations of adopted policies are unmet.

Staff Recommendation

Staff recommends denial of the request to rezone from the Restricted Suburban Residential District to the Planned Suburban Residential District. The reason for recommending denial is that the request fails to satisfy the criteria for approving a rezoning to the Planned Suburban Residential District as outlined above.

**PLANNED SUBURBAN RESIDENTIAL DISTRICT
DEVELOPMENT PLAN TEXT
62.8 ACRES**

BACKGROUND

This application is for zoning approval for a 62.8 ± acre tract in the Planned Suburban Residential District (PSRD) zoning district of Jefferson Township. The property is located west of Reynoldsburg-New Albany Road. The property to the north is Hannah Park and Hannah Farms subdivision in Gahanna. The property to the west is developed as a single-family residential subdivision (Kitsmiller Crossing) in Jefferson Township. Property to the east and south are single family residential uses in Jefferson Township.

The applicant is M/I Homes of Central Ohio, LLC, who is the contract purchaser and will be the developer. The applicant seeks Planned Suburban Residential District (PSRD) zoning to develop for the property for a residential subdivision. The Development Plan is a conservation development which preserves and sets aside considerable open spaces, minimizes additional traffic demand on existing township roads, buffers adjacent neighbors, and provides additional public park space.

DEVELOPMENT PLAN SUBMISSION

Applicant proposes to construct 106 single-family dwelling units on the property for an overall density of approximately 1.69 unit per acre. The lots sizes have been aggregated in the center of the property surrounding a central green, with considerable open space around the perimeter, as shown on the plan. The minimum lot area is approximately 8,750 square feet. The size and location of open spaces within the subdivision are shown on the development plan. The total open space consists of approximately 29.9± acres and represents 47.6%± of the gross site, which exceeds the minimum open space requirement in the district.

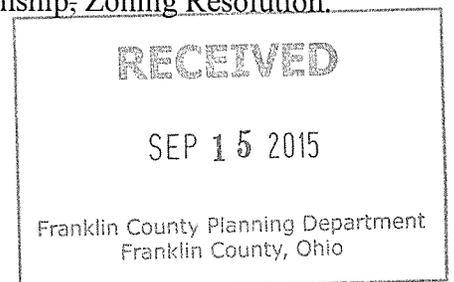
1. INTRODUCTION

a. DESCRIPTION AND LOCATION

The subject site is located on the west side of Reynoldsburg-New Albany Road as depicted on the attached Development Plan. The proposed development consists of approximately 62.8± acres.

2. PERMITTED USES/DEVELOPMENT STANDARDS

- a. Permitted uses shall be those uses set forth as of this date in Section 620.02 Planned Suburban Residential District, Jefferson Township; Zoning Resolution.



- b. Unless otherwise noted in this Development Text, the applicable development standards of the Planned Suburban Residential District of the Jefferson Township Zoning Resolution shall apply.

3. YARD AND SETBACK REQUIREMENTS

- a. Setbacks from Reynoldsburg-New Albany Road are planned to preserve the rural nature of the roadways, and are consistent with adjacent properties, as indicated on the Development Plan.
- b. The minimum lot size shall be approximately 8,750 square feet.
- c. The minimum building setback shall be 25 feet from the street right-of-way line.
- d. The rear yard setback shall be 25'.
- e. The minimum side yard for all lots shall be 7.5'.

4. TRAFFIC AND CIRCULATION

- a. Subject to the review and approval of the Franklin County Engineer, access to the property shall be from one full service curb-cut from Reynoldsburg-New Albany Road as depicted on the Development Plan.
- b. Darling Road north of Rovilla Road will be converted to a pedestrian right-of way which shall be an emergency access only right of way immediately south of the ninety degree turn in Darling Road as shown on the Development Plan. This emergency access shall be designed and approved by the Jefferson Township Fire Department, and as approved by the Franklin County Engineer. The development shall be served with public roads having a dedicated right-of-way width of 50 feet and pavement width of 28 feet.
- c. No access from the development shall be to/from Darling Road or Rovilla Road other than as set forth in paragraph b. above.
- d. There shall be curbs and gutters along roadways as well as sidewalks, which will be 4 feet wide within the right-of-way area.
- e. Off-street parking shall be provided in accordance with the requirements of the Jefferson Township Zoning Resolution.

5. OPEN SPACE AND LANDSCAPING

- a. Subject to final engineering, there shall be 29.9+ acres of open space which represents 47.6%± of the gross area, which is in excess of the Zoning Resolution requirement. Perimeter open space shall be used as passive park/open space which shall be planted with meadow grasses and owned and maintained by a forced and funded subdivision Home Owners Association. Detention may also be constructed within this perimeter open space as generally shown on the Development Plan. This perimeter open space shall be mowed 2-3 times per growing season, and shall not contain organized activities.
- b. To provide connectivity between this subdivision and the existing Gahanna city park, to the north, an 8 foot asphalt path shall be installed from the northern right of way of Darling Road to the north boundary of the property. In the event the city of Gahanna consents, this path shall be extended north to the path currently located in the park, as indicated on the Development Plan. This path shall be field located to minimize disruption within the Property or within Hanna Park.
- c. The 2.4+ acre central green shall be planted as a lawn and is intended to be used used as a neighborhood gathering space with amenities such as park benches, tot lot, fountain, a gazebo, and other similar structures, which shall be installed by the Developer but owned, governed and maintained by the Home Owners Association.
- d. Where perimeter open space areas are adjacent to rear yard lot lines, the Developer shall install a 36" tall dark colored bollard at the corner pin of every other lot to demarcate open space areas and distinguish it from private lot ownership.
- e. The 5.6+ acre open space located at the northernmost portion of the site shall dedicated at the time of final plat by the developer to the Township for use as a passive public park, at the option of the Township.

6. ARCHITECTURAL DESIGN

All buildings shall be designed to be substantially similar to the building elevations and renderings submitted herewith, which are compatible, enjoy similar roof pitches and architectural details, and are constructed of exterior building materials as approved by the Jefferson Township Zoning Commission and Township Trustees.

- a. Color Palette: Earth Tones
- b. Façade Materials: Brick, cultured stone, stucco, hardy plank, and any natural material.
- c. Windows: Atria, single-hung vinyl.

- d. Roof: Thirty year dimensional shingles.

7. **MISCELLANEOUS**

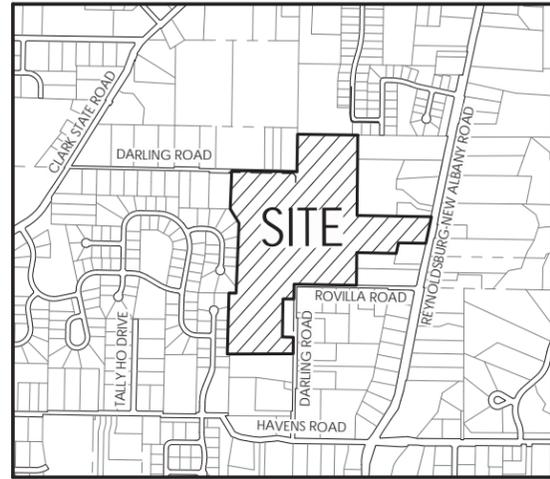
- a. Development Schedule: It is anticipated that the property will be developed in three (3) phases of approximately 35 lots each, with the construction of the first phase beginning with six months after completion of the zoning process.
- b. Utility Considerations: Assurances have been given by the Jefferson Water and Sewer District that capacity is available to service the homes proposed to be constructed within the subdivision.
- c. Retention Ponds: Retention ponds shown on the Development Plan are preliminary and subject to final engineering. All ponds shall be designed in compliance with the Franklin County Subdivision Regulations.
- d. Model Home: Notwithstanding anything to the contrary in the Jefferson Township Zoning Resolution, upon approval of the final plat by Franklin County, the Developer may commence construction of a model home to be located in the first phase of the development. Model home construction may occur in advance of or in conjunction with installation of infrastructure, including roads, so long as the Developer improves an access to the model home from Reynoldsburg-New Albany Road.

JEFF-15-06
Received 9-15-2015

WELDON

JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO

DEVELOPMENT PLAN



LOCATION MAP

NO SCALE

NOTES

1. ALL OF THE WELDON PROPERTY IS IN THE FLOOD HAZARD ZONE X AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP - MAP NUMBER 39049C0212K AND 39049C0216K, EFFECTIVE DATE JUNE 17, 2008.
2. RESERVE "A"- "D" SHALL BE OWNED AND MAINTAINED BY THE WELDON HOMEOWNERS ASSOCIATION FOR THE PURPOSE OF OPEN SPACE AND STORMWATER FACILITIES. RESERVE "E" WILL BE OWNED AND MAINTAINED BY THE JEFFERSON TOWNSHIP AS A PASSIVE PUBLIC PARK.
3. SIDEWALKS WILL BE PROVIDED ON BOTH SIDES OF ALL STREETS.
4. PAVEMENT WIDTHS SHOWN HEREON ARE FROM FACE OF CURB TO FACE OF CURB.
5. A 4"x4" POST SHALL BE LOCATED AT THE REAR LOT LINE AND THE SIDE PROPERTY LINE ON EVERY OTHER LOT LINE ADJACENT WITH THE OPEN SPACE. THE POST WILL HAVE LOCATED ON IT "OPEN SPACE". SEE SHEET 6 FOR DETAILS.

INDEX OF DRAWINGS

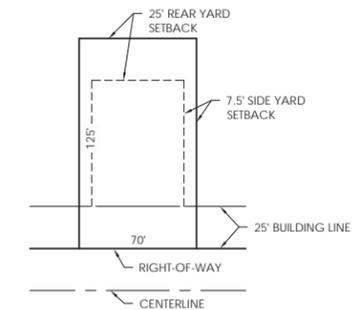
REGIONAL CONTEXT MAP:	1 of 7
EXISTING CONDITIONS PLAN:	2 of 7
SITE PLAN:	3 of 7
UTILITY PLAN:	4 of 7
LANDSCAPE PLAN:	5 of 7
LANDSCAPE DETAILS:	6 of 7
ILLUSTRATIVE SITE PLAN:	7 of 7

SITE STATISTICS:

TOTAL ACREAGE:	±62.8 ACRES
NUMBER OF LOTS:	106
GROSS DENSITY:	±1.69 LOT\ACRE
OPEN SPACE:	
REQUIRED:	±21.98 ACRES (35%)
PROVIDED:	±29.9 ACRES (47.6%)
RESERVE "A":	±21.0 ACRES
RESERVE "B":	±2.4 ACRES
RESERVE "C":	±0.4 ACRES
RESERVE "D":	±0.5 ACRES
RESERVE "E":	±5.6 ACRES
ZONING:	PSRD

DESIGN STANDARDS

LOT WIDTH:	70' (MINIMUM)
LOT AREA:	8,750 S.F.
BUILDING LINE:	25' MINIMUM
SIDE YARD SETBACK:	7.5' MINIMUM (TOTAL OF 15')
REAR YARD SETBACK:	25' MINIMUM



TYPICAL LOT

NOT TO SCALE

PREPARED FOR:

M/I HOMES

3 Easton Oval Loop, Suite 500
Columbus Ohio 43219
Ph. 888-644-4111



SUBMITTAL: SEPTEMBER 10, 2015

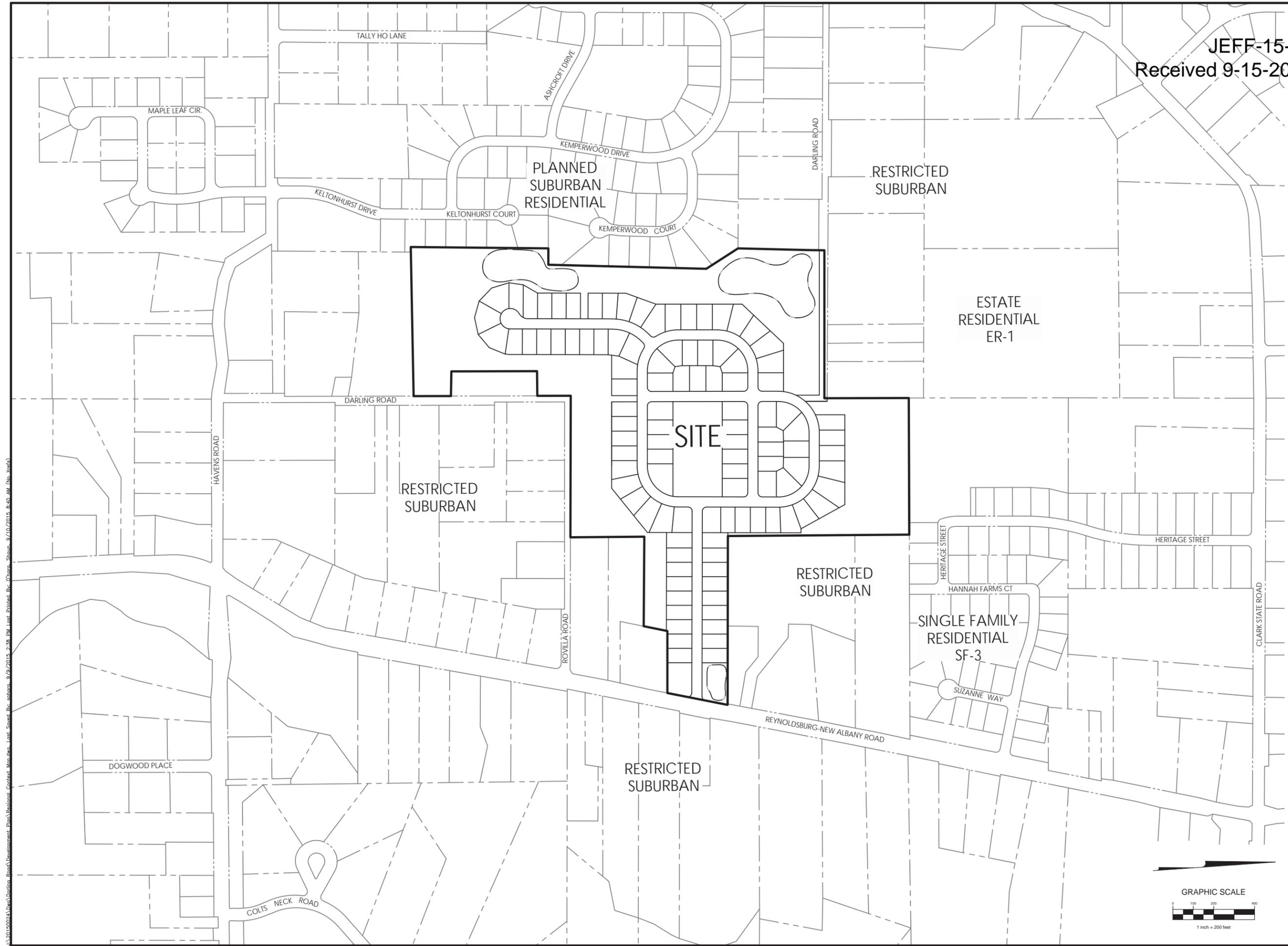
CIVIL ENGINEER &
LANDSCAPE ARCHITECT



Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4500 Toll Free: 888.775.3648

emht.com

JEFF-15-06
Received 9-15-2015



MARK	DATE	DESCRIPTION

M/I HOMES
 mihomes.com
 3 Easton Oval Loop, Suite 500
 Columbus, Ohio 43219
 Ph: 614-444-4111

JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
 DEVELOPMENT PLAN
 FOR
WELDON
 REGIONAL CONTEXT MAP

EMHT
 Earth, Mechanical, Horizontal & Trench, Inc.
 Engineers • Surveyors • Planners • Scientists
 6775 E. Main Street, Columbus, OH 43230
 Phone: 614.775.6500 Fax: 614.775.8348
 emht.com

DATE
 September 10, 2015

SCALE
 1" = 200'

JOB NO.
 20150024

SHEET
 1/7

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JEFF-15-06
Received 9-15-2015



MARK	DATE	DESCRIPTION

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 mihomes.com
 3 Easton Oval Loop, Suite 800
 Columbus, Ohio 43219
 Ph: 614-444-4111

JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
 DEVELOPMENT PLAN
 FOR
WELDON
 EXISTING CONDITIONS PLAN

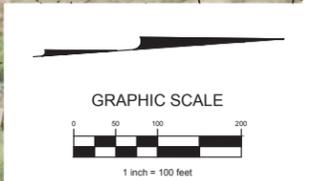
EMHT
 Eric M. Heston, Inc.
 10000 Northridge Blvd., Suite 100
 Columbus, Ohio 43240
 Phone: 614-444-4111 Fax: 614-444-4112
 www.emht.com

DATE
 September 10, 2015

SCALE
 1" = 100'

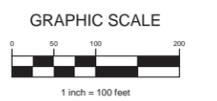
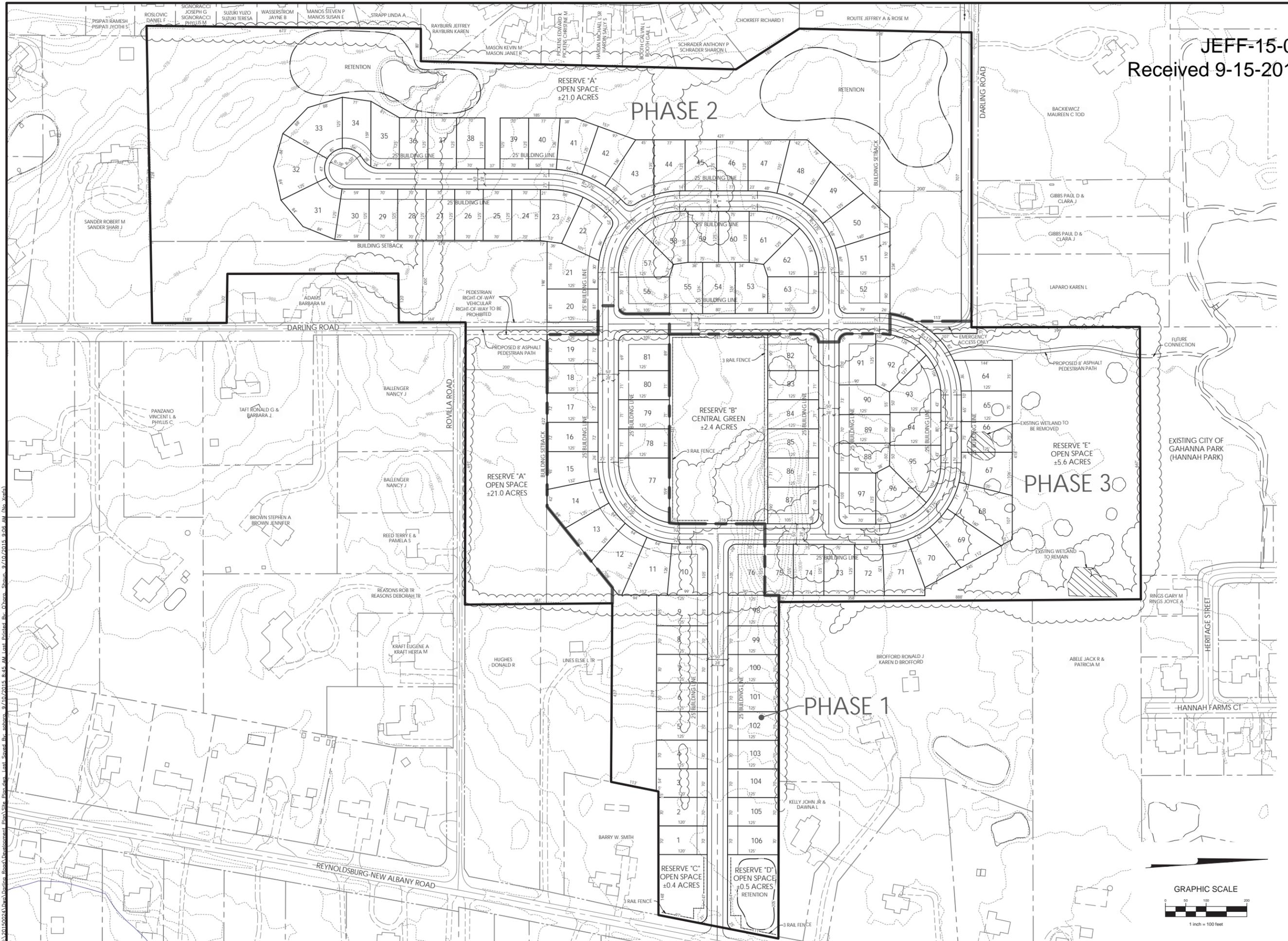
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Received 9-15-2015



MARK	DATE	DESCRIPTION

M/I HOMES
 mihomes.com
 3 Easton Oval Loop, Suite 500
 Columbus, Ohio 43219
 Ph. 614-444-4111

JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
 DEVELOPMENT PLAN
 FOR
WELDON
 SITE PLAN

EMHT
 Evans, Mackay, Hamilton & Tison, Inc.
 Engineers • Surveyors • Planners • Scientists
 10000 North Central Expressway, Suite 100
 Columbus, Ohio 43240
 Phone: 614.775.6500 Fax: 614.775.6501
 emht.com

DATE
September 10, 2015

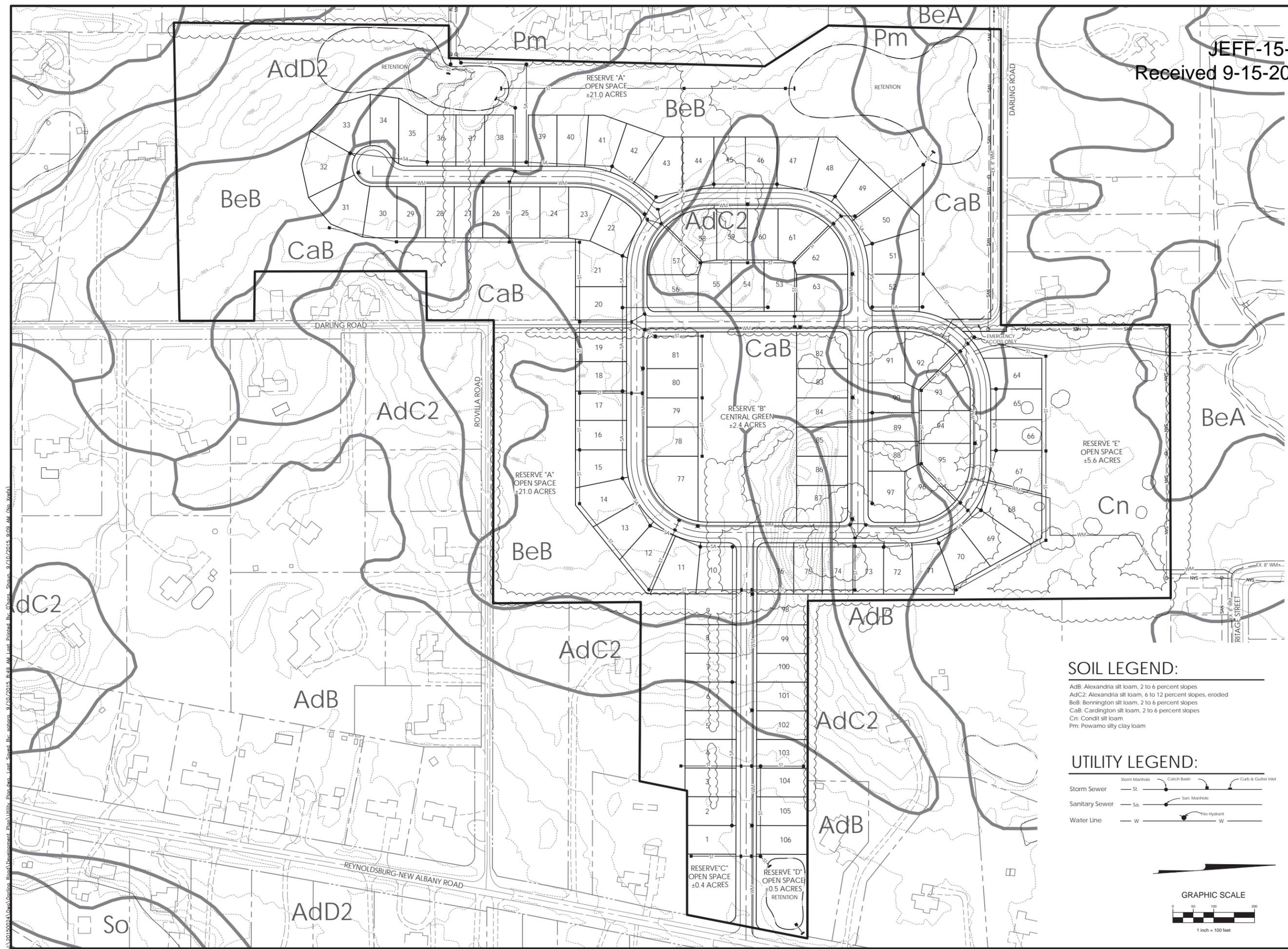
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MARK	DATE	DESCRIPTION

M/I HOMES
 mihomes.com
 3 Easton Oval Loop, Suite 500
 Columbus, Ohio 43219
 Ph: 614-444-4111

JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
 DEVELOPMENT PLAN
 FOR
WELDON
 UTILITY PLAN

EMHT
 Earth, Mechanical, Hydrological & Topical, Inc.
 Engineers • Surveyors • Planners • Scientists
 10000 N. High Street, Columbus, OH 43240
 Phone: 614.752.6500 Cell: 614.444.7348
 emht.com

DATE
 September 10, 2015

SCALE
 1" = 100'

JOB NO.
 20150024

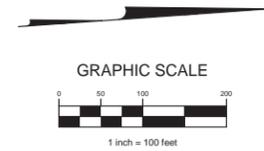
SHEET
 4/7

SOIL LEGEND:

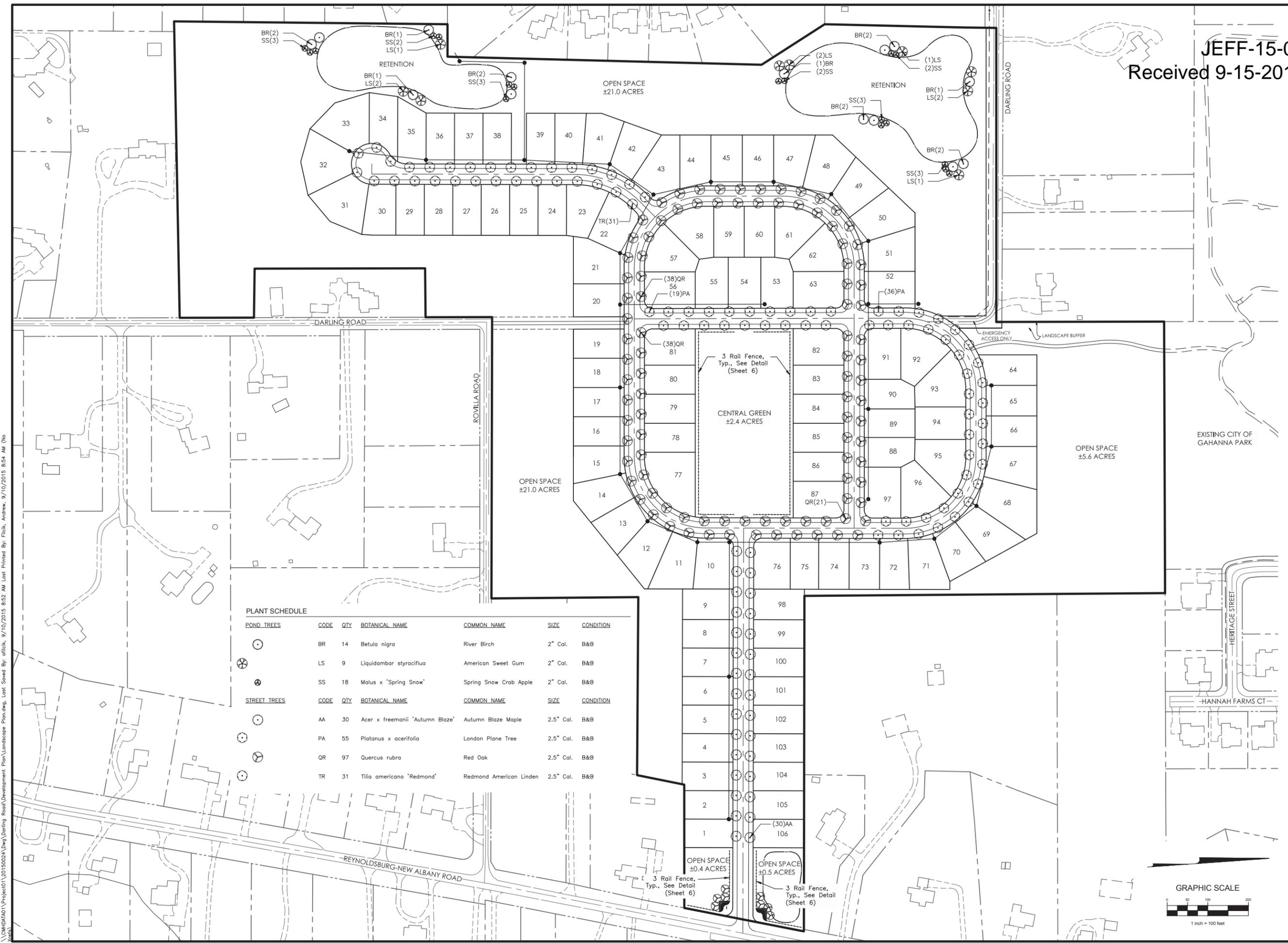
- AdB: Alexandria silt loam, 2 to 6 percent slopes
- AdC2: Alexandria silt loam, 6 to 12 percent slopes, eroded
- BeB: Bennington silt loam, 2 to 6 percent slopes
- CaB: Cardington silt loam, 2 to 6 percent slopes
- Cn: Condit silt loam
- Pm: Pewamo silty clay loam

UTILITY LEGEND:

- Storm Sewer: — ST — Storm Manhole, Catch Basin, Curb & Gutter Inlet
- Sanitary Sewer: — SA — San. Manhole
- Water Line: — W — Fire Hydrant



JEFF-15-06
Received 9-15-2015



PLANT SCHEDULE

POND TREES		CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
	BR	14	Betula nigra	River Birch	2" Cal.	B&B	
	LS	9	Liquidambar styraciflua	American Sweet Gum	2" Cal.	B&B	
	SS	18	Malus x 'Spring Snow'	Spring Snow Crab Apple	2" Cal.	B&B	
STREET TREES		CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
	AA	30	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	2.5" Cal.	B&B	
	PA	55	Platanus x acerifolia	London Plane Tree	2.5" Cal.	B&B	
	QR	97	Quercus rubra	Red Oak	2.5" Cal.	B&B	
	TR	31	Tilia americana 'Redmond'	Redmond American Linden	2.5" Cal.	B&B	

MARK	DATE	DESCRIPTION

M/I HOMES
mihomes.com
3 Easton Oval Loop, Suite 500
Columbus, Ohio 43219
Ph. 888-644-1111

JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
DEVELOPMENT PLAN
FOR
WELDON
LANDSCAPE PLAN

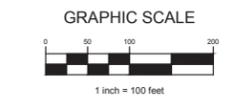
EMHT
Erik M. Hunsicker, Landscape Architect, Inc.
10000 Northpark Drive, Columbus, OH 43240
614.291.1111
www.emht.com

DATE
September 10, 2015

SCALE
1" = 100'

JOB NO.
20150024

SHEET
5 / 7



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Received 9/15-2015

REVISIONS

M/I HOMES
3 Earton Oval Loop, Suite 900
Columbus, Ohio 43219
Ph. 614-886-4111

JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
DEVELOPMENT PLAN
FOR
WELDON
LANDSCAPE DETAILS

EMHT
Engineering, Mechanical, Electrical, Plumbing & Thermal
Systems, Inc.
1775 North High Street, Columbus, Ohio 43204
Tel: 614-291-7700

DATE
September 10, 2015

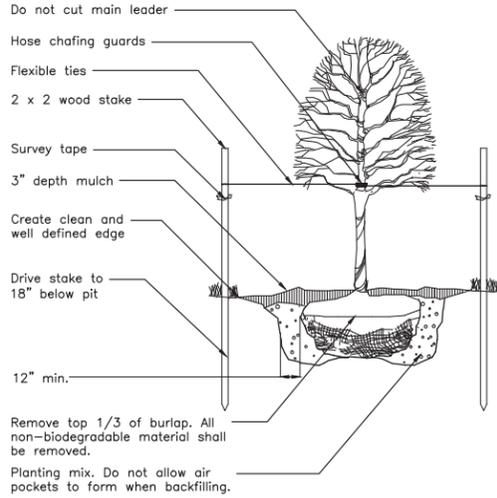
SCALE
1" = 100'

JOB NO.
20150024

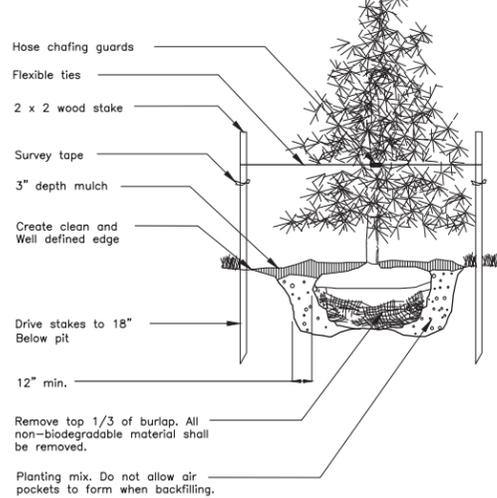
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GENERAL NOTES

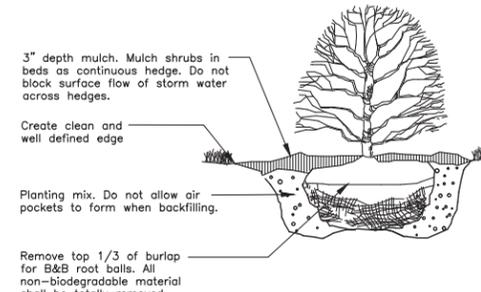
- Prior to installation, the landscape contractor shall inspect the site conditions and verify the subgrade, elevations, utility locations, and soil provided by general contractor. The landscape contractor shall notify the general contractor of any unsatisfactory conditions and work shall not proceed until such conditions have been corrected by the general contractor.
- All plants shall meet or exceed standards set in the American Standard for Nursery Stock, ANSI Z60.1, current edition. All plants shall equal or exceed the measurements and sizes specified in the schedule.
- Substitutions shall be permitted with notification and written approval from the Landscape Architect. Substituted material shall be equivalent or greater in size than the specified plant. Substituted plants shall have the same essential characteristics and growth habit of the specified plant.
- Confirm location of all utilities and subsurface drain lines prior to plant installation.
- A pre-installation conference shall be conducted prior to planting operations with Owner, Contractor, and Landscape Architect present.
- Contractor may slightly field adjust plant locations as necessary to avoid utilities. Finished planting beds shall be graded to provide positive drainage. Irrigation system, if applicable, shall be complete and operational prior to landscape planting.
- Contractor shall repair all lawn areas disturbed during construction with seed and warrant a healthy, weed free lawn prior to project acceptance.
- Seed all areas within contract limits that are not covered by paving, buildings or planting beds unless otherwise noted. Seeding shall not begin until area has received topsoil and finished grade.
- Mulch planting beds with shredded hardwood mulch of uniform dark brown color. It shall be free of twigs, leaves, disease, pest or other material unsightly or injurious to plants. Average applied thickness shall be 3" depth. Mulch hedges in a continuous bed.
- Planting beds shall be covered with pre-emergent herbicide applied at product specified rate unless otherwise noted.
- Bed edge shall be smooth, consistent, hand trenched 6" deep and "V" shaped unless otherwise noted. All excavated material shall be removed from the bed edge and planting bed.
- All planting bed edges to be smooth flowing arcs or straight lines as shown on plan. Plant locations and layout of beds shall be located by Contractor and approved by Landscape Architect prior to planting.
- Install all plants in accordance with planting details and specifications.
- Parking lot and street trees shall have a clear canopy height of 6' min.
- Trees shall be placed a minimum of 3' from sidewalks and curbs.
- Planting Mix shall be blended, manufactured soil consisting of three (3) parts topsoil, one (1) part compost, one (1) part sand. Topsoil shall be per ASTM D5268, pH range of 5.5 to 7, min. 4 percent organic material, free of stones and soil clumps 3/4 inch and larger. Compost shall be yard waste compost from an EPA rated Class IV compost facility or Com-til compost from City of Columbus Department of Public Utilities. Sand shall be per Item ASTM C33. Proprietary manufactured Planting Mix such as Kurtz Bros. Professional Blend or Jones SuperSoil may be used. Submit product data for review by Owner. Place Planting Mix in settled 6 inch lifts.
- Mix Mycorrhizal Fungi into Planting Mix during placement of Planting Mix. Application rate shall be according to manufacturer's written recommendations. Mycorrhizal Fungi shall be a dry, granular inoculant containing at least 5300 spores per lb (0.45 kg) of vesicular-arbuscular mycorrhizal fungi and 95 million spores per lb (0.45 kg) of ectomycorrhizal fungi, 33 percent hydrogel, and a maximum of 5.5 percent inert material.
- Roto-Till subgrade below Planting Mix to a depth of 4 inches prior to placement of Planting Mix.
- Raised beds, including mulch, shall be no higher than 6 inches above adjacent grade.
- Lawn areas to be backfilled with topsoil to a minimum settled thickness of 6 inches.
- All trees, shrubs, groundcover, and lawns to be fertilized with a commercial grade fertilizer consisting of fast and slow release nitrogen.
- Composition and application rate of fertilizer shall be sufficient to amend soil according to recommendations of a qualified soil testing agency. Submit test results and amendment recommendations to Landscape Architect. Fertilizer shall be in a dry granular form for lawns and granular or tablet form for plants.
- Contractor to determine plant list quantities from the plan. Graphic representation on plan supersedes in case of discrepancy with quantities on schedule.
- Any item or areas damaged during construction shall be repaired or replaced to its original condition at the contractor expense.
- Contractor shall thoroughly water all plants at time of installation and as needed until project acceptance by owner. Contractor shall guarantee all plants installed for one full year from date of acceptance by the Owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period.
- All annuals to be provided by Owner.
- Lawn seed mix shall be proportioned by weight as follows: 10 percent NuBlue or Blue Chip Kentucky Bluegrass; 10 percent Coddieshack or GoalKeeper Perennial Ryegrass; 80 percent Quest, Inferno, Arid 3 and/or Pixie Tall Fescue (select 2). Sodded lawns shall match seeded lawns.
- Lawn seed shall not have less than 95 percent germination, not less than 85 percent pure seed, and not more than 0.5 percent weed seed.



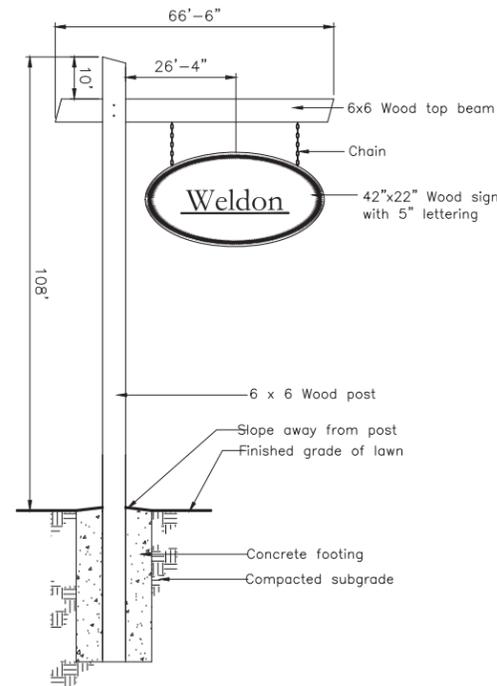
Deciduous Tree Planting
No Scale



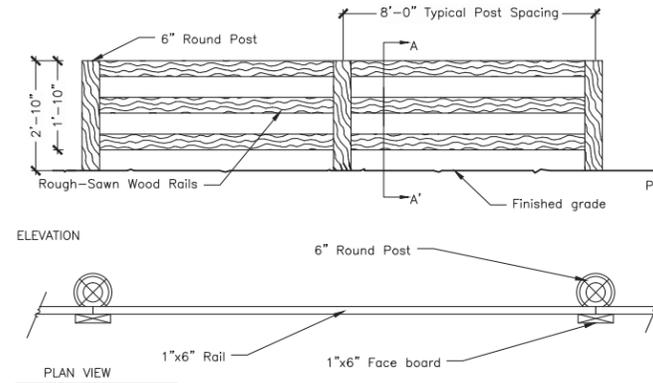
Evergreen Tree Planting
No Scale



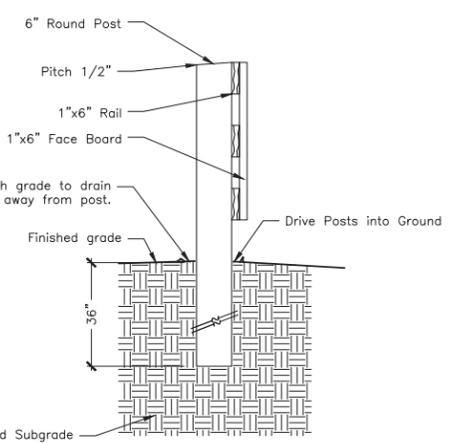
Shrub Planting
No Scale



Entry Sign Detail
No Scale

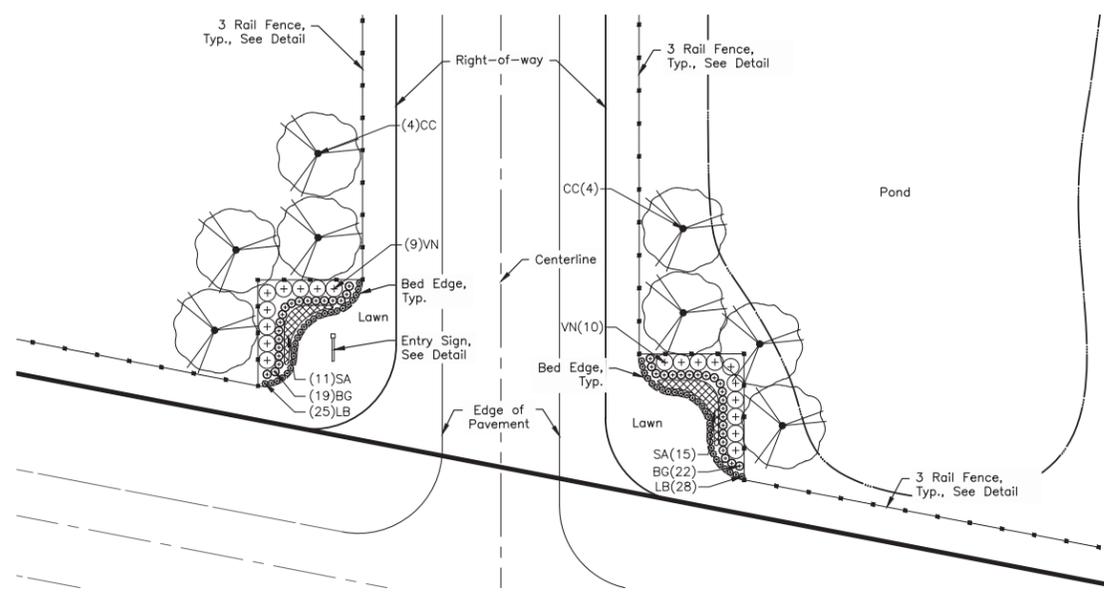


3 Rail Fence Detail
No Scale

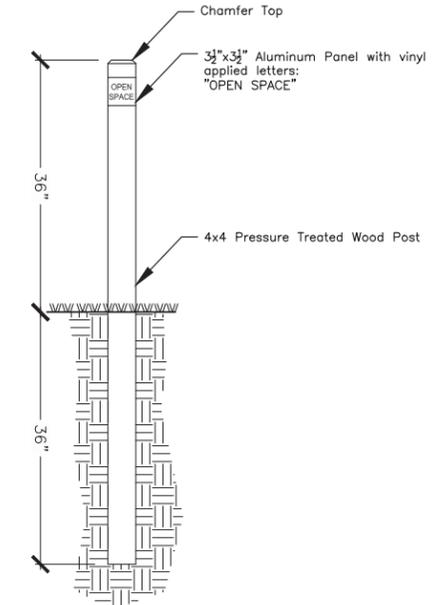


Section "A-A"
No Scale

- NOTE:
- All fence rails and face boards to be attached to post with 3 1/2" hot dipped galvanized fence nails.
 - Fence to be sprayed with Cabots Old Virginia White oil stain.



Entry Detail
Scale: 1"=20'



Open Space Sign
No Scale

PLANT SCHEDULE ENTRY FEATURE					
TREES	QTY	BOTANICAL NAME	SIZE	CONDITION	
CC	8	Cercis canadensis Eastern Redbud	1.5" Cal.	B&B	
SHRUBS	QTY	BOTANICAL NAME	SIZE	CONDITION	
BG	41	Buxus x 'Green Gem' Green Gem Boxwood	24" Ht.	Cont.	
LB	53	Liriope muscari 'Big Blue' Big Blue Liriope	#1	Cont.	
VN	19	Viburnum nudum 'Winterthur' Winterthur Viburnum	24" Ht.	B&B or Cont.	
SHRUB AREAS	QTY	BOTANICAL NAME	SIZE	CONDITION	SPACING
SA	26	Sedum x 'Autumn Joy' Autumn Joy Sedum	#2	Cont.	24" o.c.

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JEFF-15-06
Received 9-15-2015



TASK	DATE	DESCRIPTION

M/I HOMES
mihomes.com
3 Easton Oval Loop, Suite 500
Columbus Ohio 43219
Ph. 688-444-1111

JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO
DEVELOPMENT PLAN
FOR
WELDON
ILLUSTRATIVE SITE PLAN

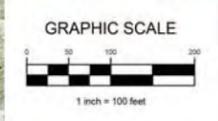
EMIT
ENGINEERS, ARCHITECTS, PLANNERS & DESIGNERS
2500 Highway 60, Columbus, Ohio 43260
Phone: 614.277.4500
www.emit.com

DATE
September 10, 2015

SCALE
1" = 100'

JOB NO.
20150024

SHEET
7 / 7



The Vernon



RECEIVED

SEP 15 2015

Franklin County Planning Department
Franklin County, Ohio

The Harriett



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SEP 15 2015

Franklin County Planning Department
Franklin County, Ohio

The Savannah

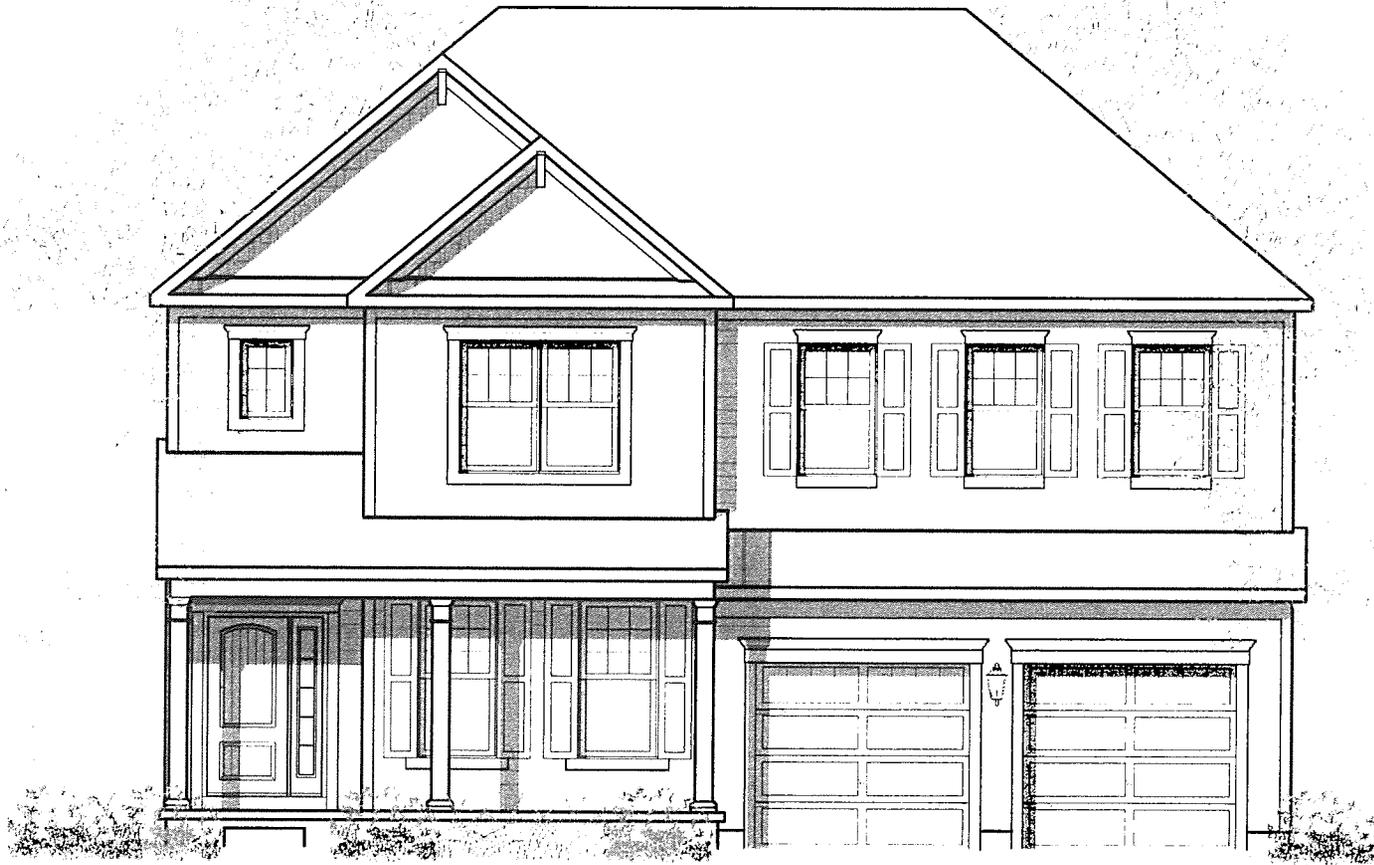


RECEIVED

SEP 15 2015

Franklin County Planning Department
Franklin County, Ohio

The Savannah B



RECEIVED

SEP 15 2015

Franklin County Planning Department
Franklin County, Ohio

The Hamilton C



RECEIVED

SEP 15 2015

Franklin County Planning Department
Franklin County, Ohio

The Hamilton A



RECEIVED

SEP 15 2015

Franklin County Planning Department
Franklin County, Ohio

The Hamilton B



RECEIVED

SEP 15 2015

Franklin County Planning Department
Franklin County, Ohio

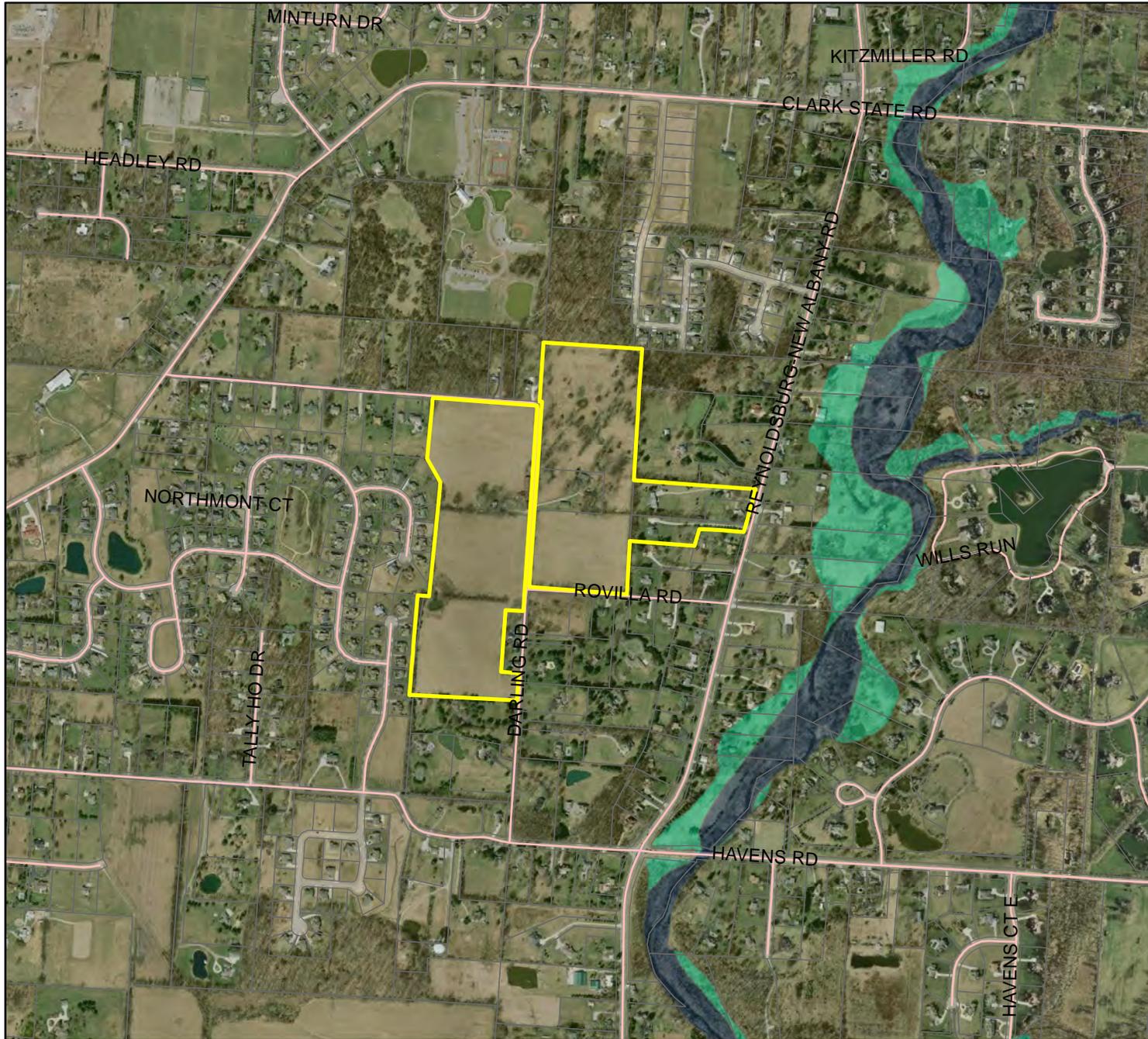
The Annabelle



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SEP 15 2015

Franklin County Planning Department
Franklin County, Ohio

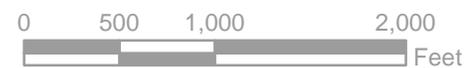
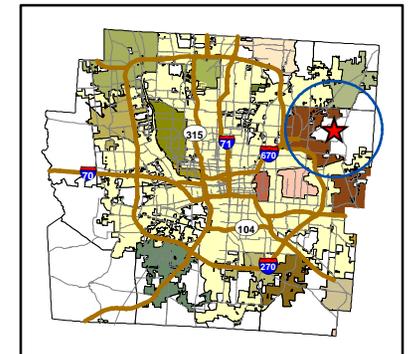


JEFF-15-06

Requesting to rezone to the
Planned Suburban
Residential District (PSRD).

62.8 Acres
Jefferson Township

-  Weldon Development
-  Parcels
-  Streets
-  Floodway Fringe
-  Floodway



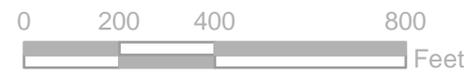
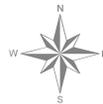
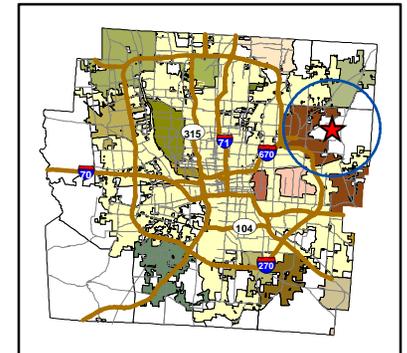


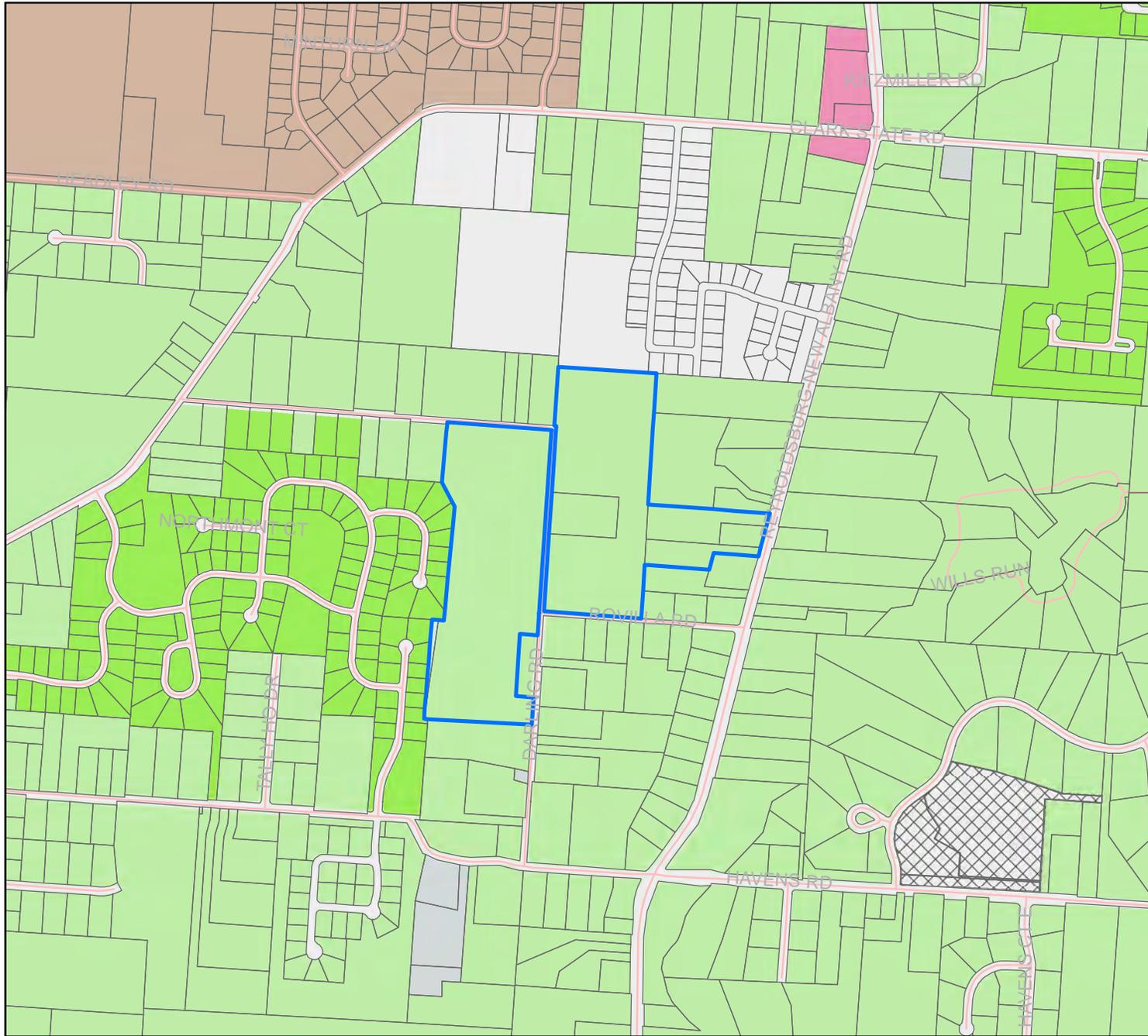
JEFF-15-06

Requesting to rezone to the
Planned Suburban
Residential District (PSRD).

62.8 Acres
Jefferson Township

-  Weldon Development
-  Parcels
-  Streets



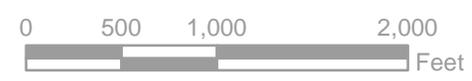
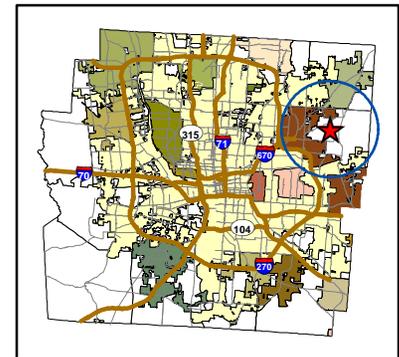


JEFF-15-06

Requesting to rezone to the
**Planned Suburban
 Residential District (PSRD).**

62.8 Acres
 Jefferson Township

- Weldon Development
- Parcels
- Streets
- Corporate Boundaries**
- Gahanna
- Jefferson
- Jefferson Zoning**
- Countryside Residential
- Restricted Suburban
- Planned Suburban Res.
- Neighborhood Commercial
- Exceptional Use
- Government





Commissioner Marilyn Brown • Commissioner Paula Brooks • Commissioner John O'Grady
President

Economic Development & Planning Department
James Schimmer, Director

STAFF REPORT

Planning Commission
October 14, 2015

Case #ZON-15-03
Prepared by: Matt Brown

Applicant:	Franklin County Rural Zoning Commission
Township:	Franklin Township
Request:	Requesting to rezone all lots and reserves within the Westbrook Subdivision, with the exception of lots 74-91, 107-112, 176-186, and Reserve A, from the Suburban Apartment Residential (R-24) and Rural Districts to the Urban Residential (R-12) district.

Summary:

Staff is seeking a rezoning of the Westbrook Subdivision from the Suburban Apartment Residential (R-24) and Rural Districts to the Urban Residential (R-12) District. Staff recommends approval.

Background:

The proposed rezoning area is comprised of single-family residences located in Franklin Township accessed from Frank Road, between Brown Road and Harrisburg Pike. The area to be rezoned consists of 259 lots, one reserve and one park platted as part of the Westbrook Subdivision. Approximately half of the area to be rezoned is zoned R-24 and the other half is zoned Rural. The average lot size of the single-family lots is approximately 6,900 square feet. Per the Franklin County Sanitary Engineer, all lots have access to public water and sewer service. The area was platted in 1954.

Existing Zoning District:

The Rural District is intended for agriculture and large lot development. Lots are required to have a minimum area of 2.5 acres to 5 acres or more and do not have access to centralized water and sanitary services. The principal permitted uses in the Rural District are agriculture, residential subdivisions and farm dwellings. The intent of the Rural District is to protect farmland, lands in current agricultural use valuation, prime agricultural soils, open land and residential land from the intrusion and premature development of urban uses.

The Suburban Apartment Residential (R-24) District is intended for areas of the County served by public water and sewer that were previously developed for high-density apartment structures.

Proposed Zoning District:

The Urban Residential (R-12) District is intended for urban neighborhoods of the County with high density single-family residential development that is urban in character. This zoning district requires access to public water and sewer. Densities are approximately 12 units per acre.

Rural, R-12 and R-24 District Comparisons:

Development Standards	Rural District	R-24 District	R-12 District
Lot Area (in acres)	2.5-5 acres	0.17 acres	0.14 acres
Lot Area (in square feet)	109,000 sq ft	7,200 sq ft	6,000 sq ft
Lot Coverage maximum	20%	35%	35%
Minimum Lot Width	150 feet	60 feet	55 feet
Total Side Yard	20 feet	16 feet	10 feet
Minimum Side Yard	8 feet	8 feet	5 feet
Rear Yard	20% of lot depth	20% of lot depth	20% of lot depth
Maximum Height	38 feet	38 feet	38 feet
PERMITTED USES			
Single-family	✓		✓
Two-family		✓	✓
Town Homes		✓	✓
Apartments		✓	
Home Occupation	✓	✓	✓
Accessory Uses	✓	✓	✓
Religious Uses	✓	✓	✓
Schools and Parks	✓		✓
Adult Family Homes	✓		✓
Child Day Care	✓	✓	✓

Land Use Plans:

The Southwest Area Plan was adopted by the Board of Commissioners in April 2009. The plan recommends the subject area for low density residential uses with a density of 3-6 units per acre. The corresponding zoning districts to this land use category include the Suburban Residential (R-4) and Restricted Urban Residential (R-8) zoning districts.

The proposed zoning district does not keep with the land use plan recommendation. However, the proposed zoning district is more consistent with the existing development in regards to lot sizes and widths in the area than the land use plan recommendation.

Staff Analysis:

The average lot size in the area proposed to be rezoned is approximately 6,900 square feet in size. The lots are of varying width and geometry, with a minimum width of 50 feet. The proposed R-12 District requires a minimum lot size of 6,000 square feet and 55 feet of road frontage. The R-12 District is the most appropriate zoning based on the size of the developed parcels, access to public utilities and the fact that the permitted uses within the R-12 District allows for the uses existing in the area.

Staff Recommendation:

Staff recommends approval of the proposed rezoning.



Commissioners

Marilyn Brown, President
 Paula Brooks
 John O'Grady

Economic Development & Planning Department
 James Schimmer, Director

Proposal for
Map Amendment
 Franklin County Zoning Resolution

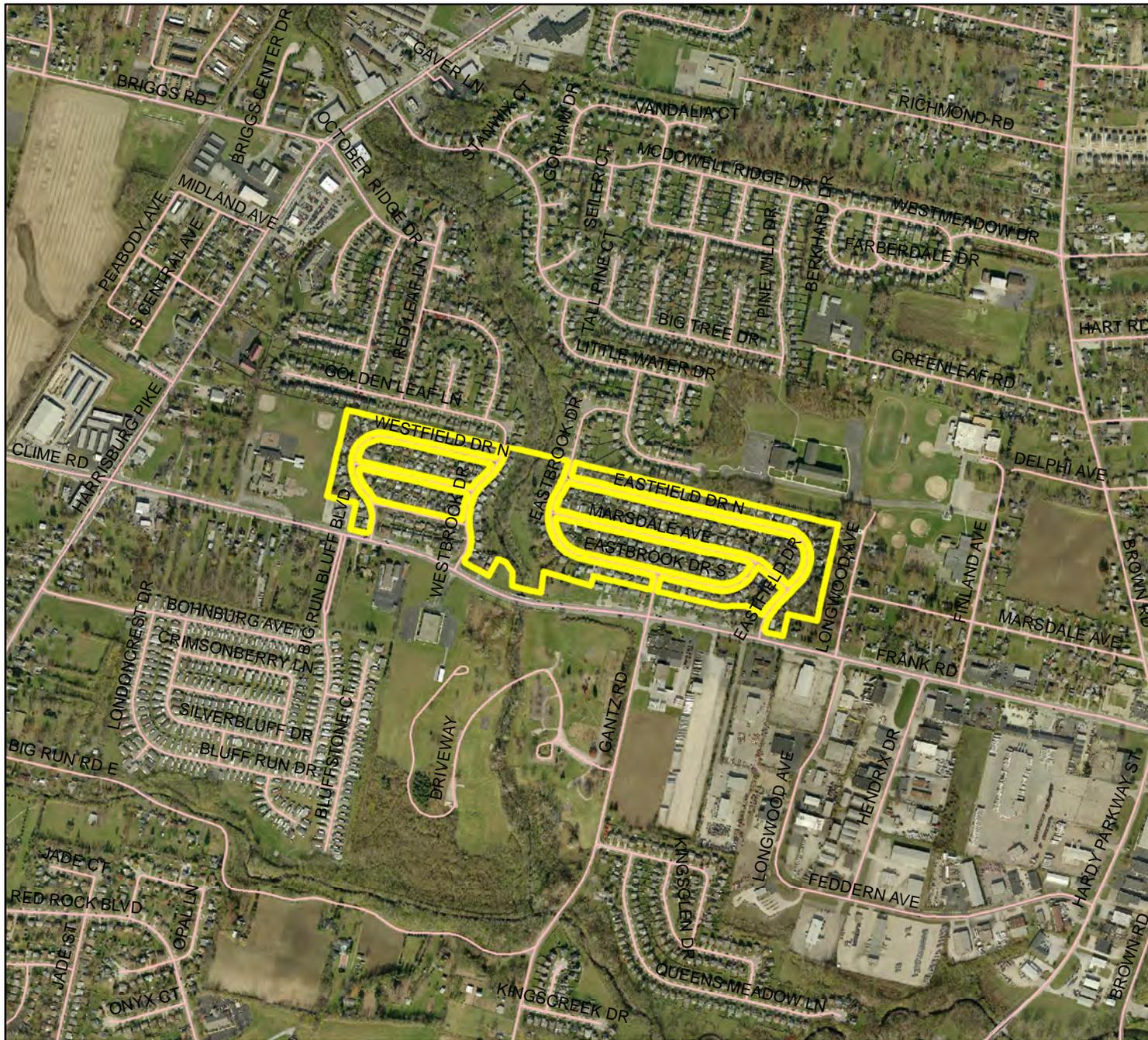
Origin of Amendment	
<input checked="" type="checkbox"/>	Motion by the Rural Zoning Commission
<input type="checkbox"/>	Resolution by the Board of County Commissioners
<input type="checkbox"/>	Application by land owner

Case Number
ZON-15-03

Applicability	
<input type="checkbox"/>	All townships under Franklin County Zoning
<input type="checkbox"/>	The following townships only:

Meeting Dates	
Review Body	Date
Planning Commission	10/14/15
Rural Zoning Commission	10/22/15
Board of Commissioners:	11/10/15

Area to be rezoned	
	All lots and reserves within the Westbrook Subdivision in Franklin Township, with the exception of lots 74-91, 107-112, 176-186, and Reserve A, from the Suburban Apartment Residential (R-24) and Rural Districts to the Urban Residential (R-12) district.
Reason for amendment	
<p>The subdivision is located within both the Rural and Suburban Apartment Residential (R-24) zoning districts. The subdivision developed with lots that do not meet development standards of the Rural District and with uses, single- and two-family residential, which are not permitted uses within the R-24 district. The rezoning will ensure that the existing uses are permitted uses within the new zoning district and that the lots more closely match the development standards of the new zoning district.</p>	

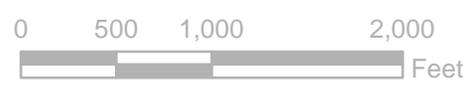
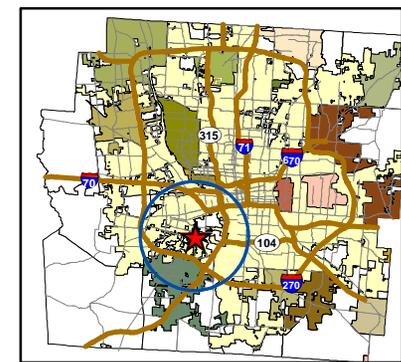


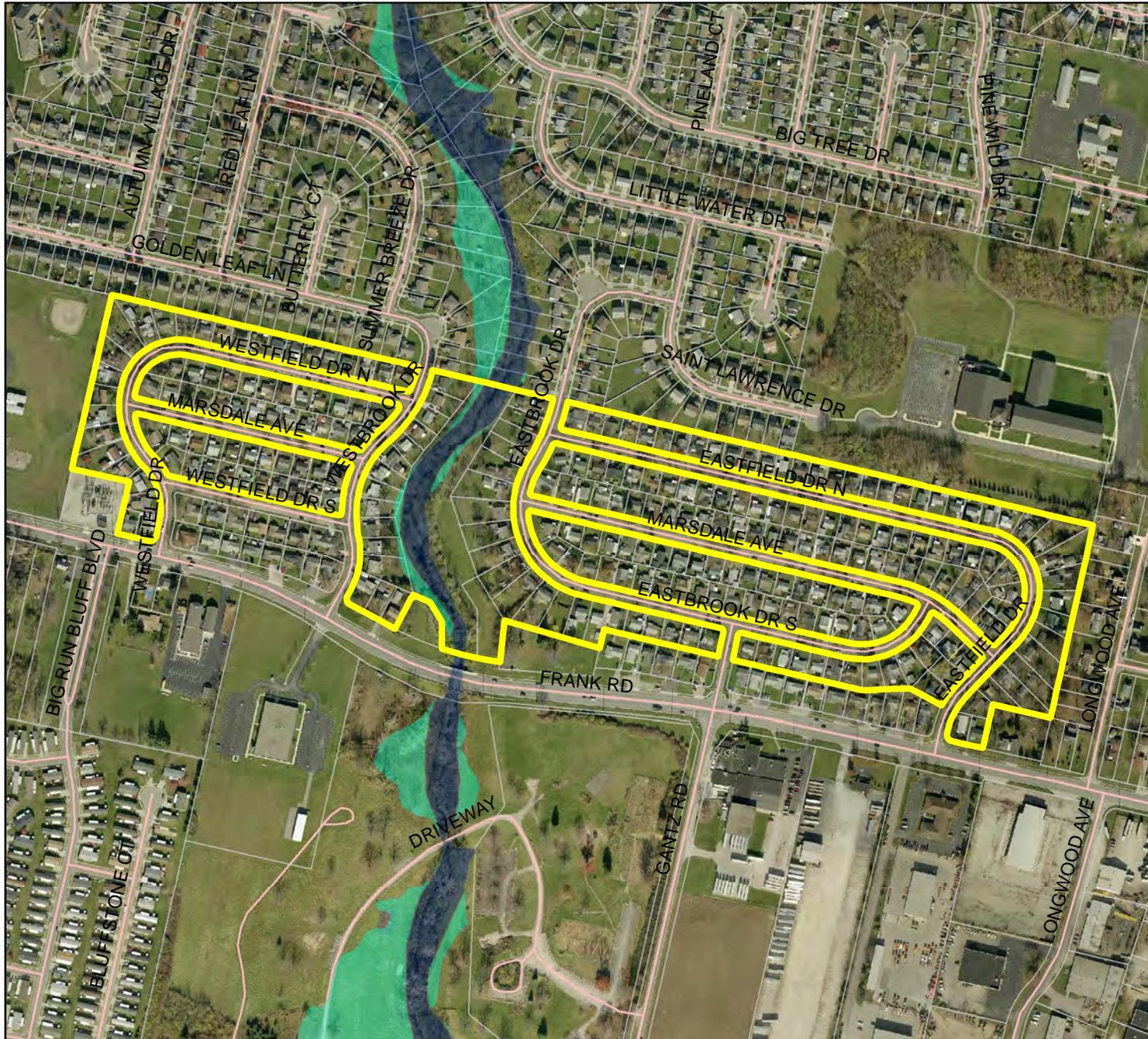
ZON-15-03

Requesting to rezone all lots and reserves within the Westbrook Subdivision, with the exception of lots 74-91, 107-112, 176-186, and Reserve A, from the Suburban Apartment Residential (R-24) and Rural Districts to the Urban Residential (R-12) district.

Franklin Township

-  Proposed Rezoning
-  Parcels
-  Streets
- Floodplain**
-  1% Annual Chance Flood
-  Floodway





ZON-15-03

Requesting to rezone all lots and reserves within the Westbrook Subdivision, with the exception of lots 74-91, 107-112, 176-186, and Reserve A, from the Suburban Apartment Residential (R-24) and Rural Districts to the Urban Residential (R-12) district.

Franklin Township

 Proposed Rezoning

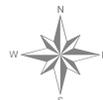
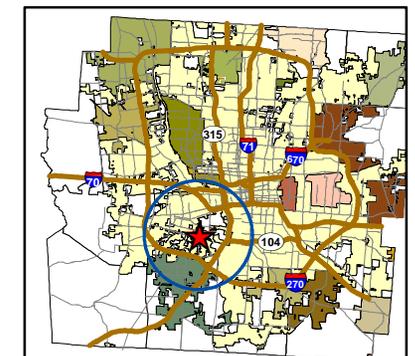
 Parcels

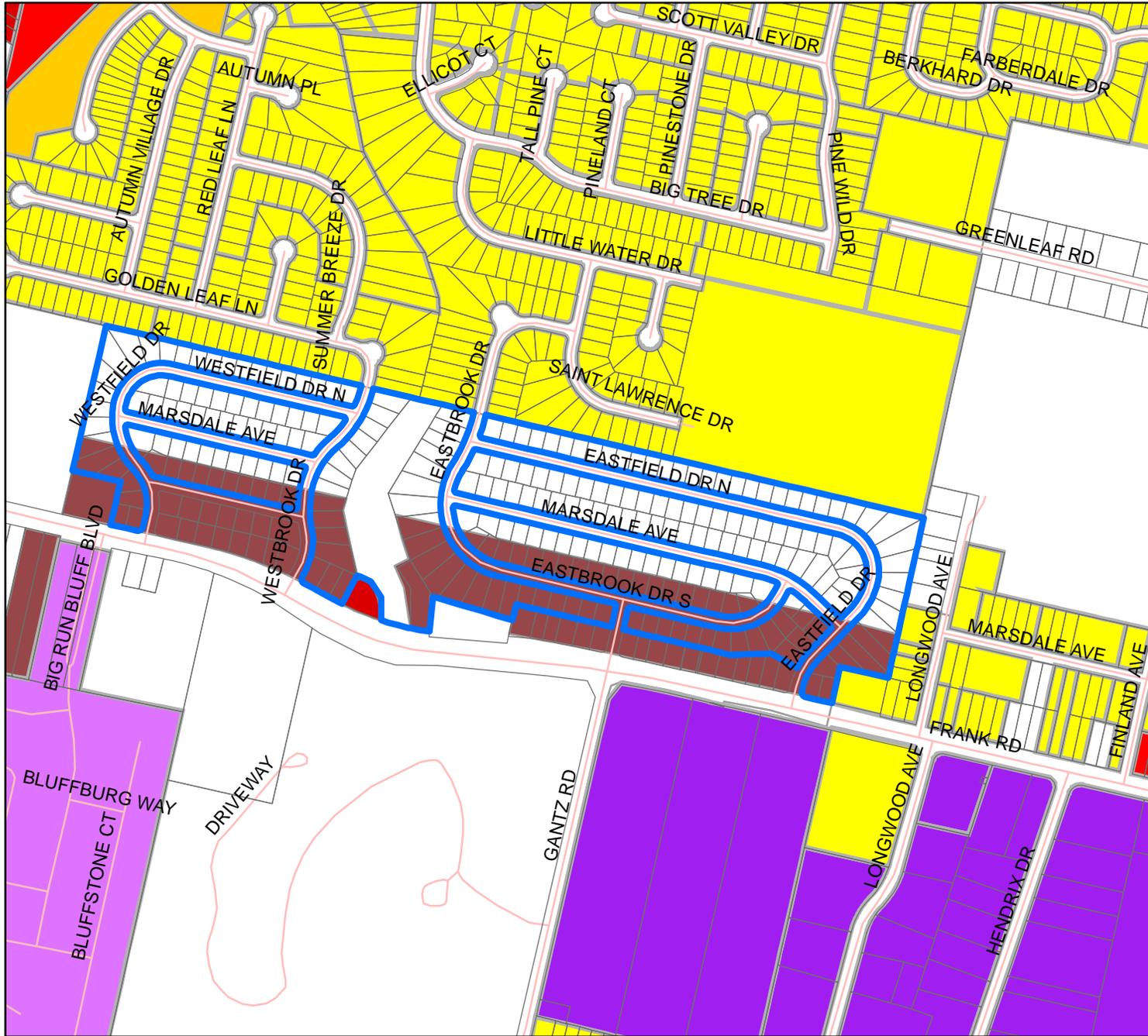
 Streets

Floodplain

 1% Annual Chance Flood

 Floodway





ZON-15-03

Requesting to rezone all lots and reserves within the Westbrook Subdivision, with the exception of lots 74-91, 107-112, 176-186, and Reserve A, from the Suburban Apartment Residential (R-24) and Rural Districts to the Urban Residential (R-12) district.

Franklin Township

- Proposed Rezoning
 - Parcels
 - Streets
- City of Columbus Zoning**
- Commercial
 - Manufactured Home
 - Manufacturing
 - Multi-family
 - Residential
- County Zoning**
- Rural
 - Suburban Apt. Res.
 - Community Service

