



Commissioner John O’Grady · Commissioner Paula Brooks · Commissioner Marilyn Brown
President

Economic Development & Planning Department
James Schimmer, Director

Technical Review Committee Agenda

Franklin County Engineer’s Office
970 Dublin Road
Columbus, OH 43215

Tuesday, October 29, 2013
1:30 p.m.

1. New Business

A. Planning Commission

i. JACK-13-08 – Scott Ulrich

Owner/Agent:	Allen Schoch
Township:	Jackson Township
Site:	4745 South Big Run Road (PID #160-002508)
Acreage:	4.10-acres
Zoning:	Semi-Rural Residential
Utilities:	On-site water and wastewater
Request:	Requesting to rezone from the Semi-Rural Residential district to the Neighborhood Commercial district.

B. Board of Zoning Appeals

i. VA-3804 - Anthony Hray

Applicant/Owner:	TH Midwest Inc. Attn: Christopher Rinehart Weston Town Centre LLC Attn: Nick Vollman
Township:	Franklin Township
Site:	185 Georgesville Road (PID #140-000093)
Acreage:	1.50-acres
Zoning:	Community Service (CS) District
Utilities:	Central water and wastewater
Request:	Requesting a Variance from Sections 670.083(b), 670.083(c),670.083(f), 670.083(h), 670.086(b), 670.086(c(3-5)) 670.086(c(6)), 670.086(c(7)), 670.086(d(1)) and 670.0812 of the Franklin County Zoning Resolution to allow the development of a gas station that fails to meet the building setback, parking lot setback, building width, building façade, prohibited signage, ground sign type, size, setback and height requirements, and to exceed the permitted number of parking spaces using a standard sealed surface on a lot subject to the Smart Growth Overlay in an area zoned Community Service (CS).

ii. VA-3809 – Anthony Hray

Applicant:	Great City Cars, LLC
Owner:	John Stoughton
Township:	Blendon Township
Site:	6147 Westerville Road (PID #110-002118)
Acreage:	0.65-acres
Zoning:	Community Service District
Utilities:	On-site water and wastewater
Request:	Requesting a Variance from Sections 332.042(b) and 531.011 of the Franklin County Zoning Resolution to allow a car sales business that will fail to meet public access and sealed pavement standards on a lot zoned Community Service.

iii. VA-3810 – Scott Ulrich

Applicant:	Juliet Bullock, Architect
Owner:	Carol Ballogg and Gary Kopp
Township:	Sharon Township
Site:	883 Plum Tree Drive (PID's #250-004584, 4585, 4654, 4655)
Acreage:	0.25-acres
Zoning:	Rural District
Utilities:	Public water and on-site wastewater
Request:	Requesting a Variance from Sections 512.02(2) and 302.041(c) of the Franklin County Zoning Resolution to allow the construction of an accessory building that will exceed the maximum height and square footage allowed and exceed the permitted lot coverage in an area zoned Rural.

2. Adjournment of Meeting to November 26, 2013

APPLICATION FOR ZONING COMMISSION HEARING

(Subject to O.R.C. Section 519.12)

Application # 1-RZ-2013

Jackson Township Zoning Commission

Date Filed: 10/2/2013

3756 Hoover Road
Grove City, OH 43123
(614) 875-0100

Fee Paid: \$ 175.00

Parcel No. 160-002508

Applicant Allen A. Schoch

Property Owner (SAME)
(if different from Applicant)

10759 Big Plain Circleville Rd.

Street Address

Street Address

London Ohio 43140

City State Zip

City State Zip

Phone No. (614) 877-9671

Phone No.

Email: _____

The applicant does hereby apply to the Jackson Township Zoning Commission for a rezoning of the following described property from the existing Rural Residential district to Neighborhood Commercial district located at:

4745 Big Run Rd., Jackson Township (Grove City) Ohio 43123
Street Address City State Zip

*NOTE: If rezoning to Planned District requires (3) copies of a Development Plan (Sec. 106.04)

ATTACH FULL LEGAL DESCRIPTION & SITE PLAN

Nearest intersection to subject property: Big Run Rd. & Holt Rd.

The proposed use of the property (SIC Code TBD):

The property is currently being used for (SIC Code FARM): and contains structures and improvements as shown on the attached site plan.

Has an application for rezoning of the property been denied within the last two (2) years: Yes _____ No If yes, when: _____

ATTACH AS PART OF THE APPLICATION A MAP ACCURATELY DRAWN TO AN APPROPRIATE SCALE (TO FILL A SHEET OF NOT LESS THAN 8-1/2 X 11 AND NOT MORE THAN 16 X 20 INCHES). THE MAP MUST SHOW THE SUBJECT PROPERTY AND ALL LAND WITHIN 500 FEET OF THE EXTERIOR BOUNDARIES OF THE SUBJECT PROPERTY WITH THE PROPERTY OWNERS= FOR EACH PARCEL BEING IDENTIFIED THEREON.

ANY SUBSTANTIAL OMISSION OR MISREPRESENTATION WHETHER INTENDED OR NOT MAY BE CAUSE FOR DISMISSING THE APPLICATION.

JACKSON TOWNSHIP ZONING DEPARTMENT

Office Address
3756 Hoover Road, P.O. Box 517
Grove City, OH 43123

Administrator
Michael Lilly

Phone: (614) 875-0100
Fax: (614) 871-6456
Website: www.jacksononwp.org

Board of Trustees

David E. Burris
Stephen J. Bowshier
Jim Rauck

Fiscal Officer

Ron Grossman

Board of Zoning Appeals

Glen Basler
Jeff Compton
Andy Morbitzer
Richard Paddock
Jack Reber

Alternates

Richard McCormick
Aaron Turrill

Zoning Commission

Ron Cooper
Timothy McGrath
Butch Selvage
Dave Strawser
George Schulz

October 2, 2013

Jackson Township Zoning Commission Public Notice of Re-Zoning Request

Dear Property Owner:

The Jackson Township Zoning Commission received an application requesting to re-zone the property at 4745 Big Run South Road (parcel #160-2508) located at the southeast corner of Big Run South Road and Holt Road as shown on the attached location map. You are receiving this letter because your property may be within 500' feet from 4745 Big Run.

The property is a 4.1 acre vacant farm field presently zoned "Semi-Rural Residential (SR)." The owner, Mr. Allen Schoch, is requesting to re-zone the property to "Neighborhood Commercial (NC)", which is a limited range commercial district allowing various types of commercial activities as summarized on the attached.

The re-zoning process consists of multiple public meetings both at Franklin County and at Jackson Township for the dates and times listed below:

Staff Technical Review Committee	County Planning Commission	Township Zoning Commission	Township Board of Trustees
970 Dublin Road Columbus, Ohio	373 South High Street Columbus, Ohio	3756 Hoover Road Grove City, Ohio	3756 Hoover Road Grove City, Ohio
Tuesday October 29, 2013 1:30 p.m.	Wednesday November 13, 2013 1:30 p.m.	Monday November 18, 2013 7:00 p.m.	Tuesday December 3, 2013 1:30 p.m.

The County Planning Commission and Township Zoning Commission meetings provide recommendation authority on the application while the meeting before the Township Board of Trustees in December is the final approving authority. If unable to attend any meetings, please submit your concerns or comments in writing to the Township Offices or by email to my address below. Re-zoning materials will also be made available on the Township website at www.jacksononwp.org.

Sincerely,

Ron Cooper

Ron Cooper, Chair
Township Zoning Commission
ZONING@Jacksononwp.org

Cc: File

Allen Schoch Rezoning Request #1-RZ-2013

4745 Big Run South Road

Public Meeting Schedules at Jackson Township, 3756 Hoover Road in Grove City.

1. Jackson Township Zoning Commission, **Monday, November 18, 2013 at 7:00 p.m.**
2. Jackson Township Board of Trustees, **Tuesday, December 3, 2013 at 1:30 p.m.**

Parcel #160-002508, located at the southeast corner of Big Run South Road and Holt Road in Jackson Township. The parcel is a 4.1 acre vacant farm field and is presently zoned "Semi-Rural Residential (SR)". The owner is requesting the property be re-zoned to "Neighborhood Cluster Commercial (NC)" to allow for the future potential of limited commercial uses. The tables below list the permitted and conditional uses for the current zoning district (SR) versus the types of uses which could be allowed under the proposed commercial district (NC).

**ALLOWABLE USES – Current Zoning
Semi-Rural Residential District (SR)**

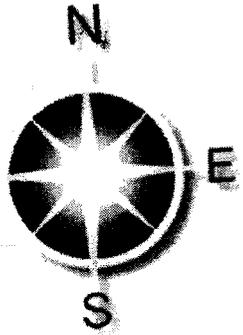
**ALLOWABLE USES – Proposed Zoning
Neighborhood Cluster Commercial (NC)**

Permitted Uses	SIC Code
Agriculture	ORC 519.21
Education Services	82
Home Child Care	
Private Schools	
Religious Organizations	866
Residential Group Home	
Single Family Residential	
Vocation Schools	824
Conditional Uses	SIC Code
Bed & Breakfast Inns	
Rooming & Boarding Houses	
Cellular Towers	ORC 519.211
Cemeteries	
Child Care Centers	
Elderly Care	
In-Law Suites	

Permitted Uses	SIC Code
Barber Shop	724
Beauty Shop	723
Cemeteries	
Coin-operated laundry & dry cleaning	7215
Drug store	591
Farm Markets	
Florists	5992
Food stores	54
Garment pressing and agents	7212
Hardware stores	525
Insurance carriers	63
Laundry not otherwise classified	7219
Offices of dentists	802
Offices of doctors	801
Offices and clinics of osteopathy	803
Offices and clinics of other health services	804
Paint, glass and wallpaper stores	523
Photographic studios, portrait	722
Real estate agents	6531
Religious organizations	866
Shoe repair shops	725
Tax return preparation services	7291
Video rental	784
Conditional Uses	SIC Code
Business services	73
Eating & Drinking places	581
Finance & Insurance	Div. H
Gasoline Service stations	554
Health services	80
Hospitals	
Legal Services	81
Misc. Shopping Goods	594
Personal Services	72
Retail stores, other	599
Social Services	83
Used Merchandise	593

Permitted and Conditional Uses shall meet the applicable development requirements provided within the Township Zoning Resolution or as otherwise required by law. The Standard Industrial Classifications (SIC) or North American Industry Classification System (NAICS) is provided to assist in interpretation of uses.

Conditional Uses require further hearings before the Township Board of Zoning Appeals in accordance with Chapter 107 for Conditional Uses and/or Chapter 108 for Variances.



**Rezoning Application
#1-RZ-13
Allen Schoch
4745 Big Run South**

**Requesting Change
From Semi-Rural
Residential (SR) to
Neighborhood Cluster
Commercial (NC)**

**4745
Big**

LAKE GEORGE PL

**Approximate
500' foot
notification
boundary**

**SWCS Career
Academy**

BIG RUN SOUTH RD

HOLT RD

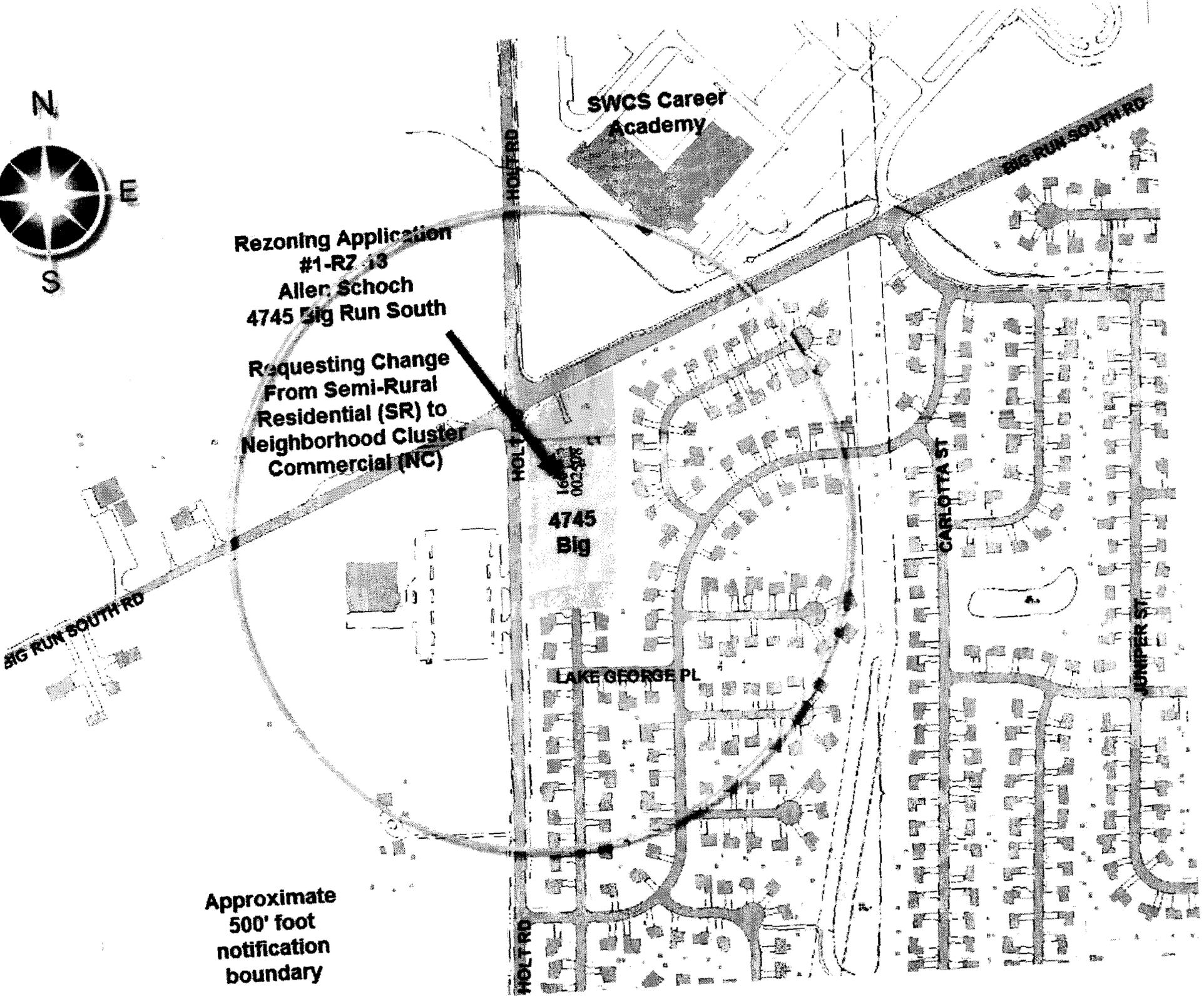
BIG RUN SOUTH RD

HOLT RD

CARLOTTA ST

JUNIPER ST

HOLT RD





Commissioners
 Marilyn Brown, President
 Paula Brooks
 John O'Grady

Economic Development & Planning Department
 James Schimmer, Director

Application for Zoning Variance

Revised January 1, 2009

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AUG 15 2013

Franklin County Planning Department
 Franklin County, OH



Property Information	
Site Address 185 Georgesville Road, Columbus, Ohio, 43228	
Parcel ID(s) 140-000093-00 / Part of 140-003370-00	Zoning CS
Township Franklin	Acreage Approx. 1.50
Water Supply <input checked="" type="checkbox"/> Public (Central) <input type="checkbox"/> Private (Onsite)	Wastewater Treatment <input checked="" type="checkbox"/> Public (Central) <input type="checkbox"/> Private (Onsite)

Staff Use Only
Case # VA - 3804
Date filed: 8.15.13
Fee paid 650.00
Receipt # 1246
Received by: DAH
Hearing date: 9.16.13
Zoning Compliance: 2C-13-4321

Applicant Information	
Name/Company Name TH Midwest, Inc.	
Address ATTN: Christopher A. Rinehart / Rinehart Legal Services, Ltd. 300 East Broad Street, Suite 450 Columbus, Ohio 43215	
Phone # 614-221-1244	Fax # 614-343-1549
Email crinehart@rinehartlegal.com	

Document Submission
The following documents must accompany this application:
<input checked="" type="checkbox"/> Completed application
<input checked="" type="checkbox"/> Fee Payment (Checks only)
<input type="checkbox"/> Auditor's map (8 1/2" x 11")
<input checked="" type="checkbox"/> Site Map (max 11" x 17")
<input checked="" type="checkbox"/> Covenants and deed
<input checked="" type="checkbox"/> Notarized signatures
<input checked="" type="checkbox"/> Proof of water & waste water supply
Please see the Application Instructions for complete details

Property Owner Information	
Name/Company Name Weston Town Centre LLC	
Address ATTN: Nick Vollman 3016 Maryland Avenue Columbus, Ohio 43209	
Phone # 614-238-2001	Fax # 614-231-0642
Email nickv@plazaproperties.com	

Agent Information (if applicable)	
Name/Company Name	
Address	
Phone #	Fax #
Email	

RECEIVED

Case #
VA - 3804

Variance(s) Requested	
Section See attached.	AUG 15 2013
Description	
Section	Franklin County Planning Department Franklin County, OH
Description	
Section	
Description	

Describe the project
See attached.

NOTE: To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.

For answers to all of the questions herein, please see attached.

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

Aug 16 2015

Franklin County Planning Commission
Franklin County, Va

Case #
VA-3304

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

6. Can there be any beneficial use of the property without the variance?

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

9. How would the variance adversely affect the delivery of governmental services?
(e.g., water, sewer, garbage, fire, police - Verification from local authorities - i.e. fire might be required)

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

**FRANKLIN COUNTY
APPLICATION FOR ZONING VARIANCE**

**Applicant: TH Midwest, Inc. (Turkey Hill)
Owner: Weston Town Centre LLC**

Parcel IDs: 140-000093-00; Part of 140-003370-00

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AUG 15 2013

Franklin County Planning Department
Franklin County, OH

VA-3804

Variations Requested

All of the variations requested relate to the application of the Smart Growth Overlay and and more fully detailed as follows:

1. Section 670.083(b)

The applicant requests that the setback requirement for the building or structure be as shown on the attached site plan.

2. Section 670.083(c)

The applicant requests that the parking lot setback requirement for this development be as shown on the attached site plan.

3. Section 670.083(f)

The applicant requests that the principal building width requirement for this development be as shown on the attached site plan.

4. Section 670.083(h)

The applicant requests that the façade requirement be waived for this development.

5. Section 670.086(b)

The applicant requests that the signs depicted on the attached sign plan be permitted.

6. Section 670.086(c)(3 - 5)

The applicant requests that the canopy sign depicted on the attached sign plan be permitted for this development.

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AUG 15 2013

VA-3804

Franklin County Planning Department
Franklin County, OH

7. Section 670.086(c)(6)

The applicant requests that the setback for the proposed pylon sign be as shown on the attached sign plan.

8. Section 670.086(c)(7)

The applicant requests that the height of the proposed pylon sign be approved as depicted on the attached sign plan.

9. Section 670.086(d)(1)

The applicant requests that the walls signs as depicted on the attached sign plan be approved as shown.

10. Section 670.0812

The applicant requests that the subject development as depicted on the attached sign plan be permitted.

ANSWERS TO VARIANCE QUESTIONS CONTAINED WITHIN APPLICATION

1. The subject property is the site of a former mall and high-traffic commercial operations. In addition, the Hollywood Casino is located directly adjacent to this site which is also a high-traffic commercial operation. Given these circumstances, there is limited pedestrian activity in the area which defeats the purpose for the full application of the Smart Growth Overlay, which is designed to apply standards for corridors that typically include a mix of pedestrian and vehicle-oriented development patterns. Given this property's location, history and the surrounding uses, these are special conditions or circumstances that would not apply to other properties subject to the Smart Growth Overlay.
2. Given the circumstances described above, a literal interpretation of the requirements of the Smart Growth Overlay would deprive the applicant of rights of other surrounding properties zoned in the CS district that do not need to conform to the Smart Growth Overlay.
3. The special conditions listed in Item 1 are not the result of actions by the Applicant. The Applicant does not yet own the subject site.
4. Approving the variance would not grant a special privilege to the applicant that is denied in the Zoning Resolution to other lands or structures in the same zoning district, particularly where the CS district permits the contemplated use.

5. Approving the granted variances would not adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity. As already discussed, there is limited pedestrian activity in the area given the high-traffic nature of this corridor, there are very limited residents living in the adjacent area, and most individuals working in the area are traveling by vehicle. In addition, the subject sites are either currently vacant or soon to be vacant. Thus, this project will redevelop properties and provide needed services to the community.
6. While there may be other uses for the subject site, there are none contemplated if this project does not move forward.
7. The requested variances are not substantial given the circumstances surrounding the requested variances as described previously.
8. Given the proximity of the Hollywood Casino, the essential character of the neighborhood would not be substantially altered and adjoining properties would not suffer substantial harm as a result of the granting of the variances. The redevelopment of this site will benefit the surrounding properties and the neighborhood.
9. The requested variances would not adversely affect the delivery of government services.
10. The applicant has not purchased the subject property to date.
11. Due to the nature of the proposed development involving fuel, the development could not be feasibly developed through some method other than through variances to the Smart Growth Overlay.
12. While full implementation of the Smart Growth Overlay is not feasible at this site, the spirit and intent of the zoning requirement will be observed and substantial justice will be done in granting the variance because portions of the Smart Growth Overlay will be implemented at this site, which as surrounding properties are redeveloped, will result in more full implementation of the Smart Growth Overlay, which will achieve the more pedestrian-friendly environment the overlay seeks to achieve.

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AUG 15 2013

VA - 3804

Franklin County Planning Department
Franklin County, OH

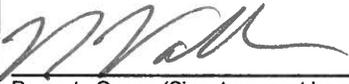
Case # VA-3804

Affidavit

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form.

Applicant

Date



8/15/13

Property Owner (Signature must be notarized)

Date

NICHOLAS L. VOLLMAN
V.P. PLAZA PROPERTIES, INC.
AGENT FOR PROPERTY OWNER

Property Owner (Signature must be notarized)

Date

*Agent must provide documentation that they are legally representing the property owner.

**Approval does not invalidate any restrictions and/or covenants that are on the property.



CHRISTOPHER A. RINEHART
ATTORNEY AT LAW
NOTARY PUBLIC, STATE OF OHIO
MY COMMISSION HAS NO EXPIRATION DATE

Christy A. Rinehart
8/15/2013

RECEIVED

AUG 15 2013

Franklin County Planning Department
Franklin County, OH

Case # VA-3804

Affidavit

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form.

Al Smith

 Applicant

8/15/13

 Date

 Property Owner (Signature must be notarized)

 Date

 Property Owner (Signature must be notarized)

 Date

*Agent must provide documentation that they are legally representing the property owner.

**Approval does not invalidate any restrictions and/or covenants that are on the property.



CHRISTOPHER A. RINEHART
ATTORNEY AT LAW
NOTARY PUBLIC, STATE OF OHIO
MY COMMISSION HAS NO EXPIRATION DATE

Christopher Rinehart
8/15/2013

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AUG 15 2013

Franklin County Planning Department
Franklin County, OH

Property Report

Generated on 08/15/13 at 08:06:08 AM

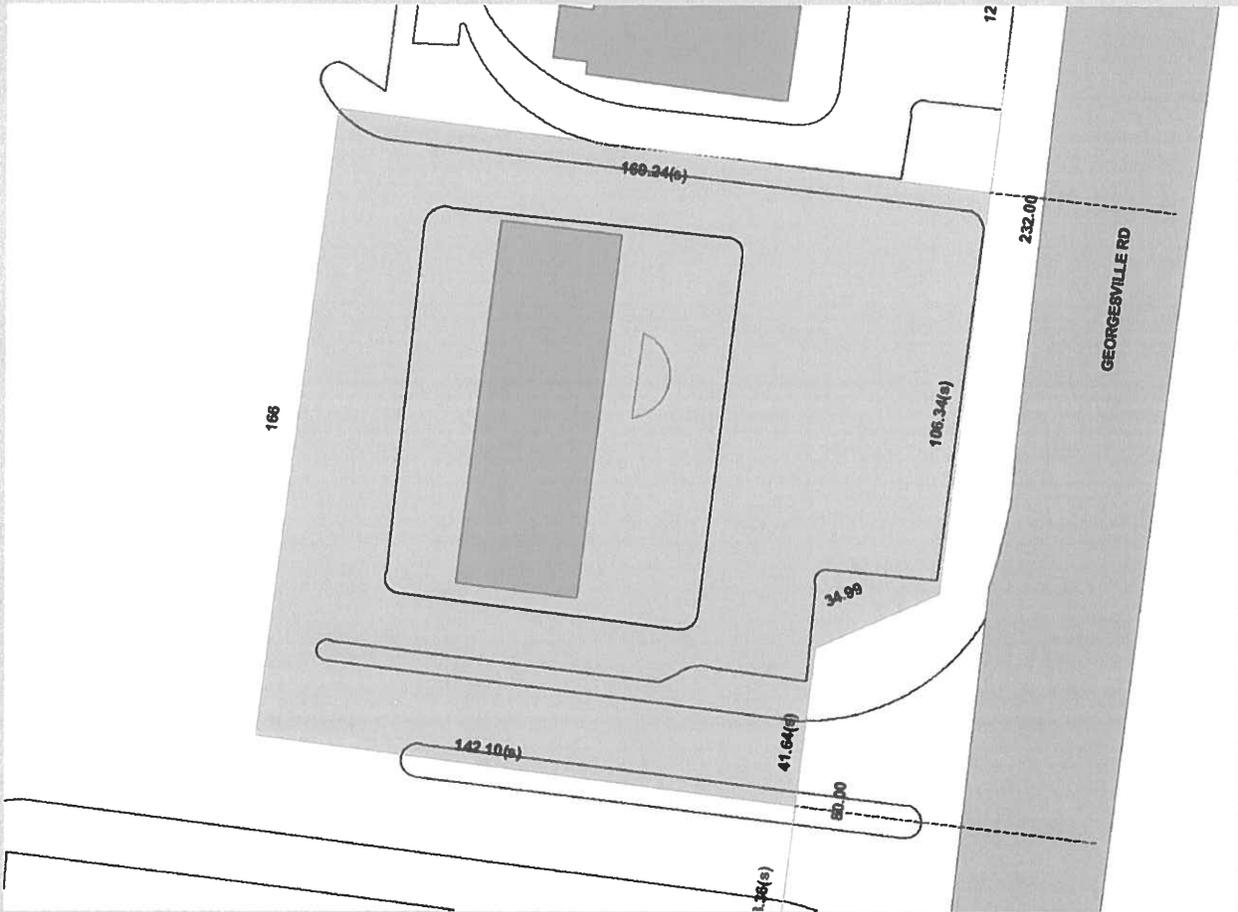
Parcel ID
140-000093-00

Map Routing No
140-0019C -028-00

Card No
1

Location
185 GEORGEVILLE RD

GIS



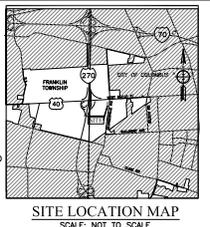
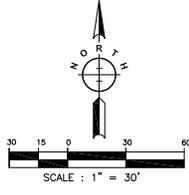
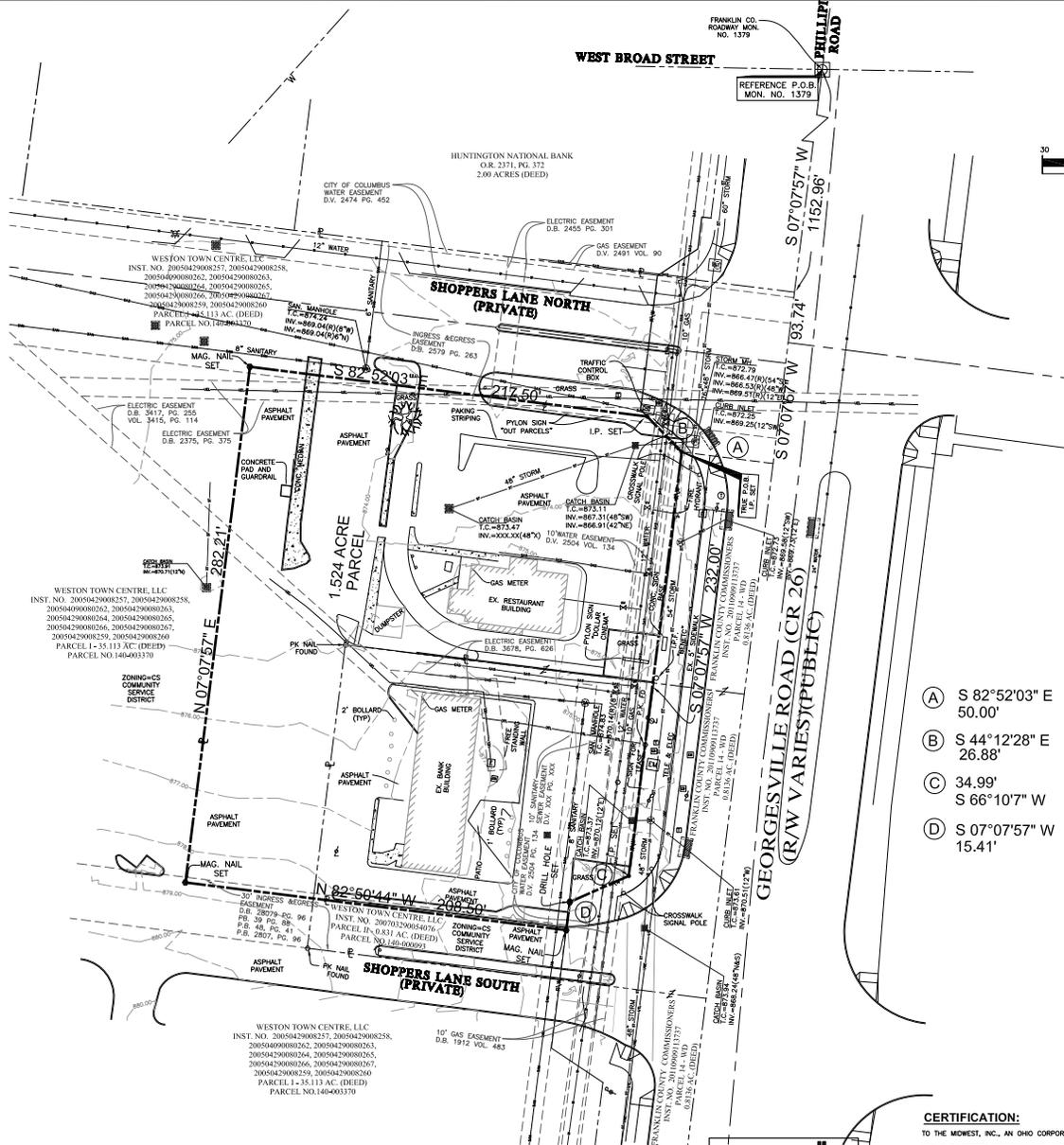
Disclaimer

This drawing is prepared for the real property inventory within this county. It is compiled from recorded deeds, survey plats, and other public records and data. Users of this drawing are notified that the public primary information source should be consulted for verification of the information contained on this drawing. The county and the mapping companies assume no legal responsibilities for the information contained on this drawing. Please notify the Franklin County GIS Division of any discrepancies.

The information on this web site is prepared for the real property inventory within this county. Users of this data are notified that the public primary information source should be consulted for verification of the information contained on this site. The county and vendors assume no legal responsibilities for the information contained on this site. Please notify the Franklin County Auditor's Real Estate Division of any discrepancies.

NOTES:

1. OUPS REFERENCE NUMBER: A-327-002-490 PHYSICAL MARKINGS A 319-802-486 RECORD PLANS
2. PROPERTY IS WITHIN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 1:25 ANNUAL CHANCE FLOODPLAIN), PER FEMA FLOOD INSURANCE RATE MAP NO. 39049 C 0311 X, EFFECTIVE DATE JUNE 17, 2008.
3. THIS ALTA SURVEY IS BASED UPON RECORDED DATA, AN ACTUAL FIELD SURVEY OF THE SITE, AND INFORMATION FURNISHED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, AS LISTED IN TITLE COMMITMENT NUMBER 13-46228, EFFECTIVE DATE: MARCH 08, 2013 @ 659 A.M.
4. THE LOCATIONS OF EXISTING UTILITIES HAVE BEEN SHOWN ON THIS PLAN IN ACCORDANCE WITH AVAILABLE RECORDS. IF IT IS BELIEVED THAT THESE LOCATIONS ARE ESSENTIALLY CORRECT, HOWEVER THE CONTRACTOR SHALL INVESTIGATE AND LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OHIO UTILITIES PROTECTION SERVICE AT 1-800-362-2764 AT LEAST TWO WORKING DAYS PRIOR TO BEGINNING WORK. NON-MEMBERS MUST BE CALLED DIRECTLY.
5. THIS ALTA SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSONS OR ENTITY NAMED IN THE TITLE BLOCK OR CERTIFICATION HEREON. SAID CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PERSONS OR ENTITY WITHOUT AN EXPRESS RECERTIFICATION BY THE SURVEYOR NAMED SAID ENTITY.
6. BENCHMARKS:
REFERENCE BENCHMARK -
7. UTILITY CONTACTS:
ELECTRIC: AMERICAN ELECTRIC POWER
850 TECH CENTER DRIVE
SHAWAN, OHIO 43220-4605
(614) 277-2177
GAS: COLUMBIA GAS OF OHIO-COLUMBUS
1600 DUBLIN ROAD-2ND FLOOR
COLUMBUS, OHIO 43215
(614) 481-1056
TELEPHONE: AT&T
111 NORTH FORTH STREET, 8TH FLOOR
COLUMBUS, OHIO 43215
(614) 223-6985
WATER: CITY OF COLUMBUS
DIVISION OF WATER
910 AUBURN ROAD
COLUMBUS, OHIO 43215
(614) 645-1677
SANITARY AND STORM SEWER: CITY OF COLUMBUS
DIVISION OF SEWER & DRAINAGE
910 AUBURN ROAD
COLUMBUS, OHIO 43215
(614) 645-1775
CABLE: TIME WARNER CABLE NOW INTERNET-CABLE
1266 DUBLIN ROAD
COLUMBUS, OHIO 43215
(614) 481-5000
3675 CORPORATE DRIVE
COLUMBUS, OHIO 43231
(614) 848-4653
8. ZONING: THE SUBJECT PROPERTY PLOTTED HEREON IS CURRENTLY ZONED CS, COMMUNITY SERVICE DISTRICT.



LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE LINE
- OVERHEAD TELEPHONE LINE
- FIBER OPTIC CABLE LINE
- CABLE LINE
- EX. CURB
- UNDERGROUND ELECTRIC AND TELEPHONE
- EX. RAILROAD TRACK
- EX. FENCE
- EX. GUARDRAIL
- CENTERLINE OF ROAD
- EX. EDGE OF PAVEMENT
- IRON PIN (FOUND)
- IRON PIN ESTABLISHED
- PK NAIL (FOUND)
- PK NAIL (SET)
- BENCHMARK
- EX. GRADE ELEVATION
- POWER POLE
- LIGHT POLE
- TELEPHONE POLE
- TELEPHONE MARKER
- UTILITY POLE
- TRAFFIC BOX
- GUY POLE
- GUY WIRE
- ELECTRIC METER
- ELECTRIC BOX
- WATER VALVE
- GAS VALVE
- TELEPHONE PEDESTAL
- EX. CURB INLET
- EX. CATCH BASIN
- EX. SANITARY MANHOLE
- EX. STORM MANHOLE
- SIGN
- EX. TREE
- CLEAN OUT
- MALBOX
- CONCRETE SURFACE
- EXIST. BUILDING
- (M) MEASURED DIMENSION
- (R) RECORD DIMENSION

- (A) S 82°52'03" E 50.00'
- (B) S 44°12'28" E 26.88'
- (C) 34.99'
- (D) S 07°07'57" W 15.41'

VA-3804- Received 10.8.13

PRELIMINARY

BASIS OF BEARINGS:
THE BEARING SHOWN HEREON ARE BASED UPON THE CENTERLINE OF GEORGESVILLE ROAD, BEING S 07°07'57" W, AS INDICATED IN THE DESCRIPTION OF THE 0.8136 ACRE PARCEL, 14-000 CONVEYED TO THE FRANKLIN COUNTY COMMISSIONERS IN INSTRUMENT NUMBER 201109090113737, FRANKLIN COUNTY RECORDER'S OFFICE, COLUMBUS, OHIO.



CERTIFICATION:

TO THE MOSTEST, INC., AN OHIO CORPORATION, AND FIDELITY NATIONAL TITLE INSURANCE COMPANY:
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005 AND INCLUDE ITEMS 1.2, 1.3, 1.4, 1.5, 1.6, 1.7, 1.8, 1.9, 2.0, 2.1, 2.2, 2.3, 2.4, 2.5, 2.6, 2.7, 2.8, 2.9, 3.0, 3.1, 3.2, 3.3, 3.4, 3.5, 3.6, 3.7, 3.8, 3.9, 4.0, 4.1, 4.2, 4.3, 4.4, 4.5, 4.6, 4.7, 4.8, 4.9, 5.0, 5.1, 5.2, 5.3, 5.4, 5.5, 5.6, 5.7, 5.8, 5.9, 6.0, 6.1, 6.2, 6.3, 6.4, 6.5, 6.6, 6.7, 6.8, 6.9, 7.0, 7.1, 7.2, 7.3, 7.4, 7.5, 7.6, 7.7, 7.8, 7.9, 8.0, 8.1, 8.2, 8.3, 8.4, 8.5, 8.6, 8.7, 8.8, 8.9, 9.0, 9.1, 9.2, 9.3, 9.4, 9.5, 9.6, 9.7, 9.8, 9.9, 10.0, 10.1, 10.2, 10.3, 10.4, 10.5, 10.6, 10.7, 10.8, 10.9, 11.0, 11.1, 11.2, 11.3, 11.4, 11.5, 11.6, 11.7, 11.8, 11.9, 12.0, 12.1, 12.2, 12.3, 12.4, 12.5, 12.6, 12.7, 12.8, 12.9, 13.0, 13.1, 13.2, 13.3, 13.4, 13.5, 13.6, 13.7, 13.8, 13.9, 14.0, 14.1, 14.2, 14.3, 14.4, 14.5, 14.6, 14.7, 14.8, 14.9, 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Project Description

The current site is 1.52-acres of the Westland Shopping Center located on the western side of Georgesville Road, between Shoppers Lane North and Shoppers Lane South, Columbus, Ohio, Franklin County. A Turkey Hill fuel station with mini-mart and canopy is proposed for the site in place of the existing structures, occupying all of the 1.52 acres. The site contains two parcels, ID numbers for which are located in *Existing Site Conditions* below, consisting of asphalt paved parking and vacant buildings. The first parcel on the south end of the site contains the superstructure of a vacant bank and the second parcel, on the north and west of the site, contains the superstructure of a vacant restaurant. These existing features will be demolished in preparation for the new construction and addition of both storm water and sanitary sewer systems before the proposed structures are built.

Existing Site Conditions

The site consists of primarily developed grounds resting on a Uv classified soil system. The site contains two parcels of land of which will be developed. The first parcel, ID: 140-000093, is 0.605 acres and contains a vacant building, formerly used as a bank, that occupies approximately 3017 SF. This structure is surrounded by a free-standing wall that retains landscaping features and is further surrounded by asphalt paved parking. There is green space located between the roadway and parking lot surface on the eastern and southern ends of the lot with entrances on the west and north ends of the parcel. The second parcel, ID: 140-003370, is 51.309 acres in which the remaining 0.915 acres will be leased or purchased. The portion of this parcel to be utilized is located to the north and west of parcel 140-000093 and contains a vacant building, formerly used as a restaurant, of approximately 1971 SF. Surrounding this building is asphalt paved parking with some landscaping to the western side of the building. There is green space between the parking and roadway on the north and east ends of the lot and entrances on the north, west and south ends of the portion to be utilized.

Construction Sequence

The construction sequence contains the following milestones for which must take place prior, during, and post construction. These practices include but are not limited to the following:

1. Inspection of the plans and specifications to be submitted
2. Obtaining any and all permits required to complete the construction on the proposed site
3. The identification of all utilities on site and the proper support and protection of these utilities
4. Installation of temporary signage and drums as necessary as well as construction fencing surrounding the site
5. Inspection and stripping of the current superstructures and their demolition
6. Saw-cutting of pavements as directed
7. Excavations and embankment constructions as needed to achieve elevations required for sub-grade installations
8. Performance of proof rolling of the prepared sub-grade
9. Installation of proposed sanitary and storm sewers and utilities
10. Installation of proposed mini-mart and canopy foundations
11. Installation of proposed mini-mart and canopy
12. Installation of proposed pavement, sidewalks, and curbs
13. Installation of proposed landscaping
14. Removal of all signage, drums, and fencing.

Critical Areas

Due to the existing access to storm and sanitary sewers, and the construction of additional storm and sanitary management features, there are no critical areas foreseen on this site at this time. Temporary uses of dandy bags, beaver dams, straw wattles and sediment fence will be used to control storm water quality and flows for the duration of the construction on site.

Permanent Stabilization

During construction, the use of dandy bags and beaver dams will be used to temporarily control water quality into the storm and sanitary sewer systems. Straw waddles and sediment fence will be used to ensure that storm water flow as well as any sediment flow from any storm events that occurs during construction period will be controlled. Post construction, the site will contain an oil separator to maintain the water quality to the sanitary sewer system. The site will also contain a Downstream Defender system, which follows the ODOT Type I water quality structure guidelines, on the property to maintain the water quality into the storm sewer system.

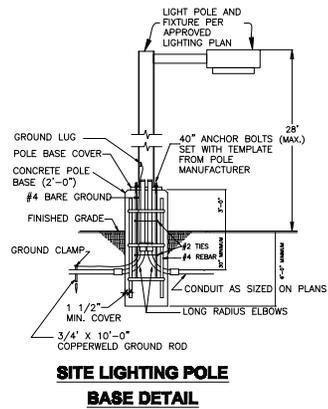
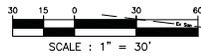
Maintenance

Maintenance schedules should include but are not limited to the following items and follow the proposed outlined schedule:

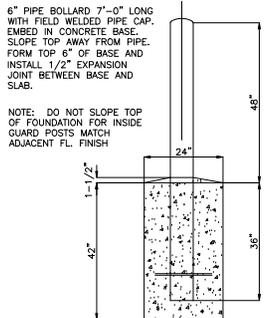
Activity	Schedule
-Removal and Clean-up of and debris from inlet structures and orifice plates	Monthly
-Mowing and maintenance of grassed side slopes	Monthly
Inspection for damage and replacement of damaged regions	Bi-Annual / After Heavy Storm Events
-Monitor for sediment accumulation, removal of sediment accumulating more than 6" and repair of detention basins	Bi-Annual / After Heavy Storm Events
-Examination of devices to insure clear of debris	Bi-Annual / After Heavy Storm Events
-Repair of undercut and eroded areas	Bi-Annual / After Heavy Storm Events
-Inspection of collection systems and storm water control facilities and recording of repairs	Bi-Annual / After Heavy Storm Events

NOTES:

1. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (DATED JUNE 17, 2008), THE SITE IS LOCATED WITHIN FLOOD ZONE X₁ (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN) PER F.E.M.A. FIRM MAP NUMBER 39049C 303K.
2. THE INFORMATION SHOWN CONCERNING EXISTING UTILITIES IS NOT REPRESENTED, WARRANTED OR GUARANTEED TO BE COMPLETE OR ACCURATE. INVESTIGATION, LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, PRIOR TO CONSTRUCTION TO DETERMINE IN THE FIELD THE ACTUAL LOCATION AND ELEVATIONS OF ALL EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL THE OHIO UTILITIES PROTECTION SERVICES, DUPS, AT 1-800-362-2764 TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
3. THE SUBJECT PROPERTY SHOWN HEREON IS LOCATED WITHIN FRANKLIN TOWNSHIP, FRANKLIN COUNTY, OHIO.



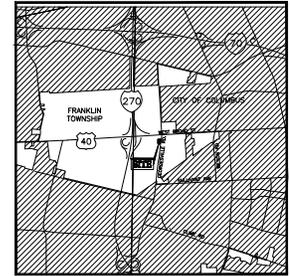
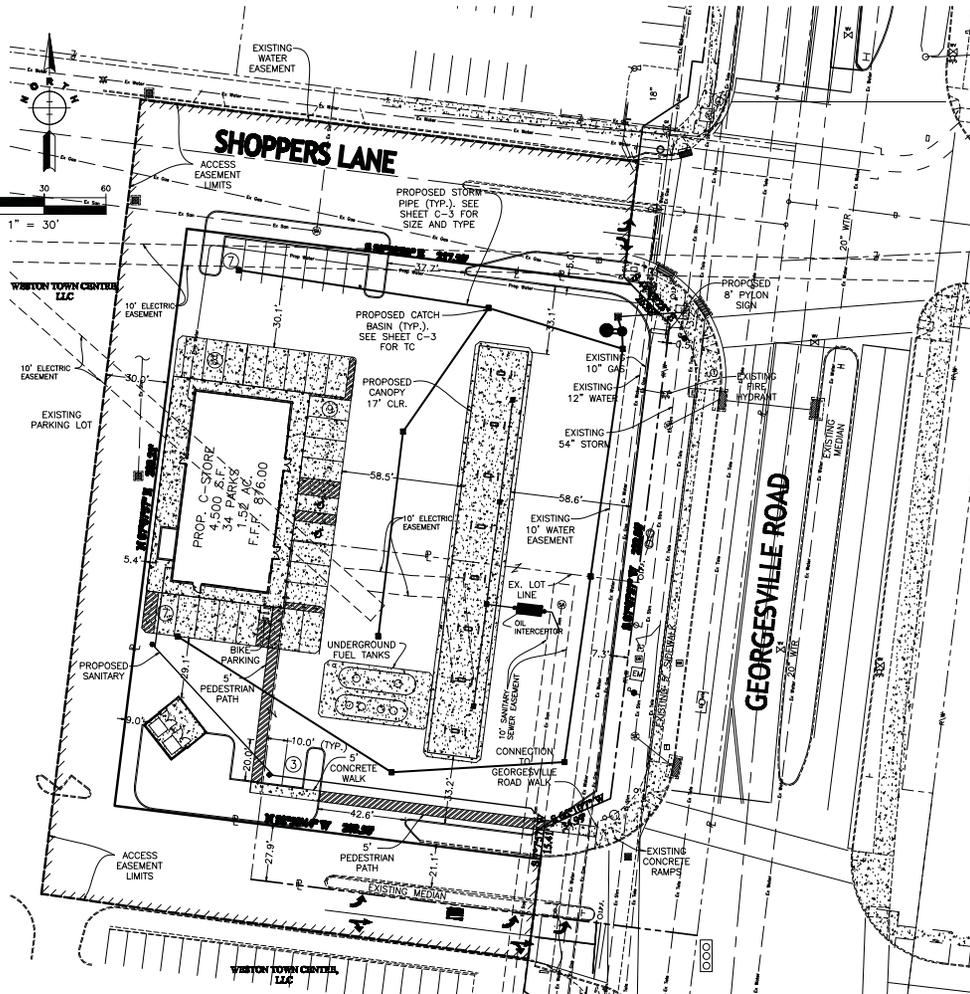
**SITE LIGHTING POLE
BASE DETAIL**



PIPE BOLLARD
SCALE: NONE



BIKE RACK DETAIL
SCALE: NONE



SITE LOCATION MAP
SCALE: NOT TO SCALE

LEGEND

- P/E --- PROPERTY LINE
- R/W --- RIGHT-OF-WAY
- EX. WATER --- EX. WATER
- EX. ELECTRIC --- EX. ELECTRIC
- EX. STORM --- EX. STORM
- EX. SANITARY --- EX. SANITARY
- EX. GAS --- EX. GAS
- EX. TELEPHONE --- EX. TELEPHONE
- ⊕ POWER POLE
- ⊙ LIGHT POLE
- ⊕ UTILITY POLE
- ⊕ TRAFFIC BOX
- ⊕ FIRE HYDRANT
- ⊕ EX. CURB INLET
- ⊕ EX. CATCH BASIN
- ⊕ EX. SANITARY MANHOLE
- ⊕ EX. STORM MANHOLE



Turkey Hill

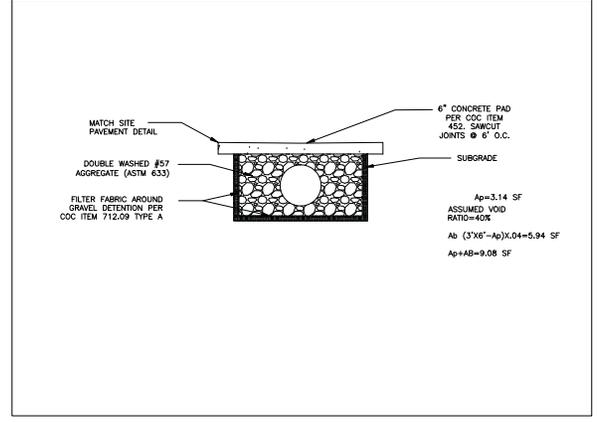
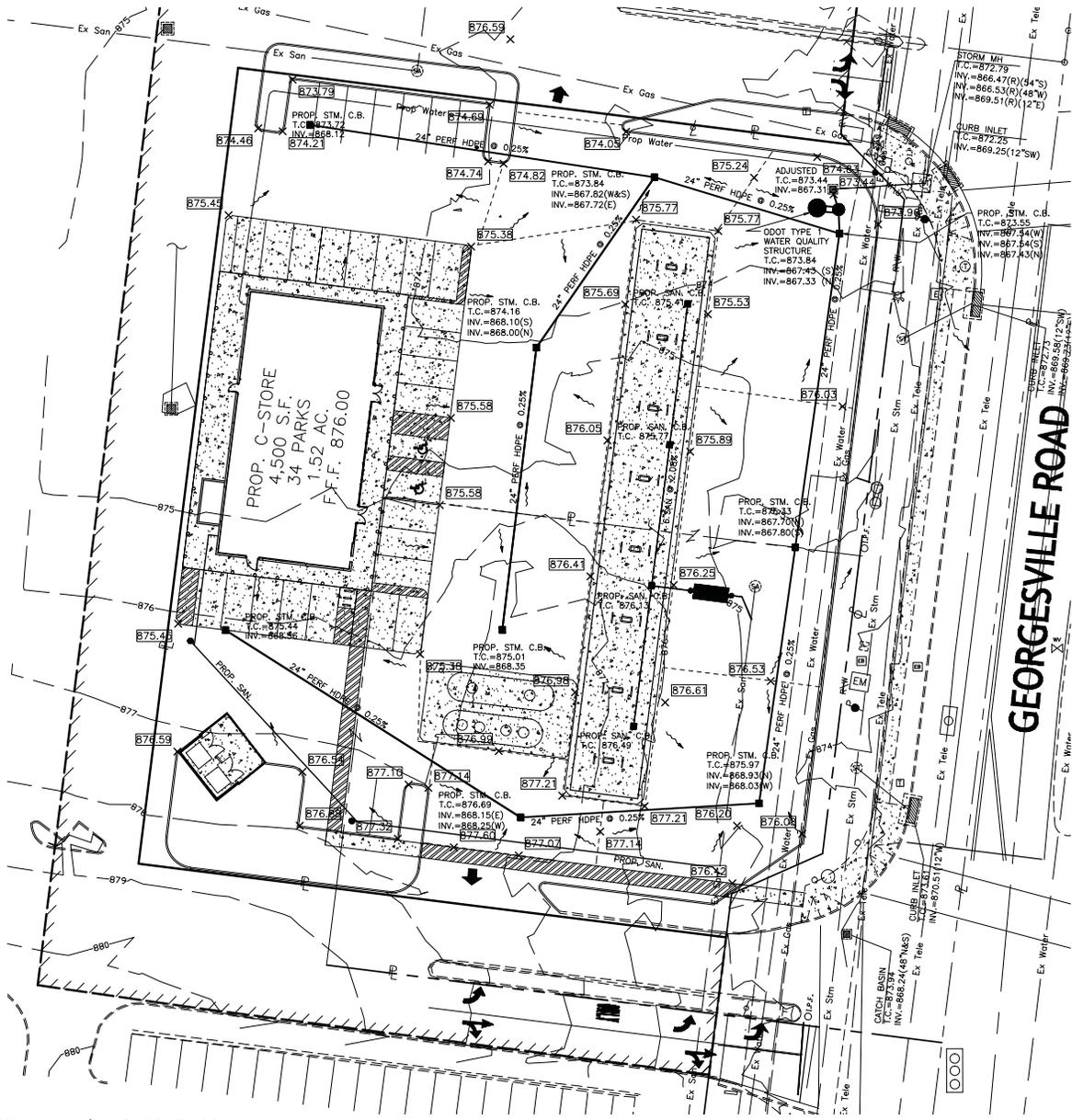
P & L Systems, Inc.
125 Columbus Blvd., Columbus, OH 43215
614.291.1111

NO.	DATE	REVISIONS

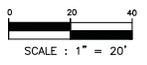
SITE PLAN AND DETAILS
TURKEY HILL #719
GEORGEVILLE ROAD
COLUMBUS, OHIO

DESIGN TEAM	DATE
DRAWN BY: JS	
CHECKED BY: MC	
SCALE: 1' = 30'	
STORE # 719	
SHEET C-1	
DATE 09-30-13	

**OHIO
Utilities Protection
SERVICE**
811 or 1-800-362-2764
Call Before You Dig



- LEGEND**
- ↓ MAJOR STORM ROUTING
 - DRAINAGE ARROWS
 - 875.53 SPOT GRADE WITH PAVEMENT ELEVATION AND TOP OF CURB/SIDEWALK
 - 875.0 SPOT GRADE PAVEMENT ELEVATION
 - MEP 887.1 MEET EX. PAVEMENT ELEVATION
 - PROP. CURB
 - - - EX. CURB
 - - - 710' EX. CONTOUR
 - - - 712' PROP. CONTOUR
 - - - 88.0' ~ 12' @ 0.45% PROP. STORM LINE
 - - - 0' R.I.D. PROP. ROOF DRAIN AT 2.0% MIN. SLOPE
 - - - EX. ELECTRIC/TELEPHONE LINE
 - - - EX. GAS LINE
 - - - EX. WATER LINE
 - - - EX. SANITARY LINE
 - - - EX. STORM LINE
 - - - EX. FENCE
 - ⑤ EX. STRUCTURE NUMBER
 - ② PROP. STRUCTURE NUMBER
 - ⊕ EX. SANITARY MANHOLE
 - ⊕ EX. CURB INLET
 - ⊕ EX. STORM MANHOLE
 - ⊕ EX. WATER VALVE
 - ⊕ EX. FIRE HYDRANT
 - ⊕ PROP. STORM CATCH BASIN
 - ⊕ PROP. MANHOLE
 - ⊕ EX. POWER POLE
 - ⊕ EX. POWER POLE/TELEPHONE POL
 - ⊕ PROP. FIRE HYDRANT W/ VALVE
 - ⊕ PROP. ELECTRIC TRANSFORMER
 - ⊕ PROP. CONCRETE SURFACE
 - ⊕ PROP. STORMWATER PONDING



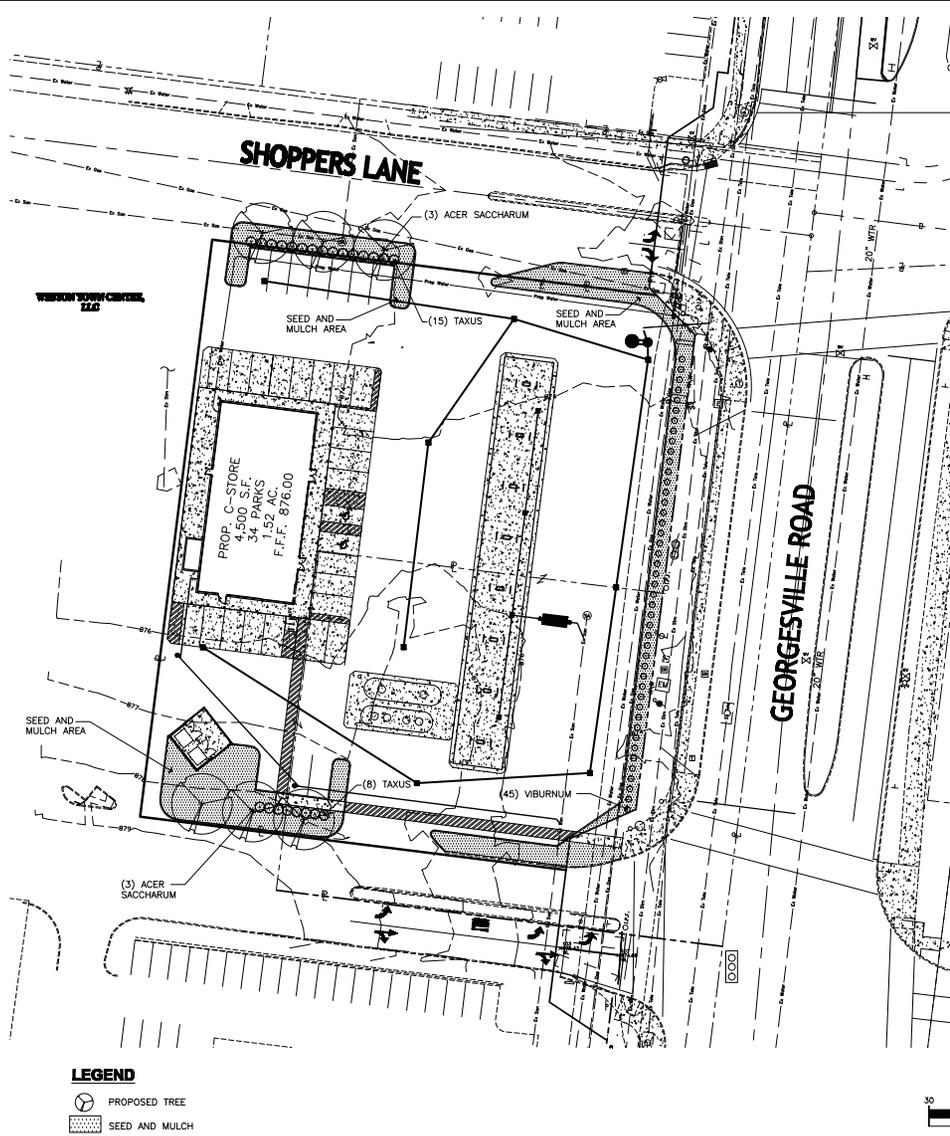
P. & L. Systems, Inc.
 11500 W. STATE ST. SUITE 100
 COLUMBUS, OH 43240
 (614) 891-1111

NO.	REVISIONS	DATE

GRADING PLAN
 TURKEY HILL #719
 GEORGESVILLE ROAD
 COLUMBUS, OHIO

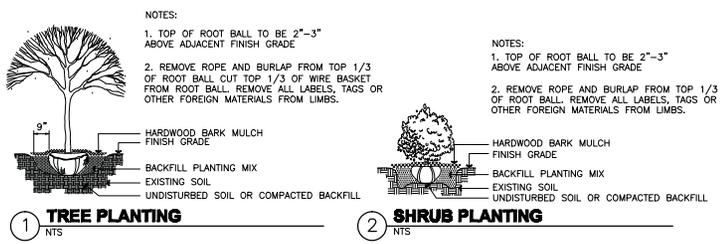
DESIGN TEAM	DATE
DRAWN BY: JS	
CHECKED BY: MC	
SCALE: 1" = 20'	
STORE # 719	
SHEET C-2	
DATE 09-30-13	

P:\Land Projects\TURKEY HILL\719_Georgesville Road and Shoppers Lane\719_Georgesville Road and Shoppers Lane.dwg (C:\Landscape from Georgesville Road and Shoppers Lane.dwg) on 09/30/2013 @ 05:15:00 pm... for P. & L. Systems, Inc.



LEGEND

PROPOSED TREE
 SEED AND MULCH



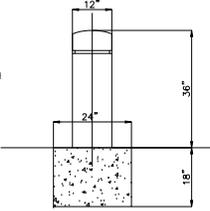
PLANT MATERIALS LIST

TREES	SIZE	ROOT	REMARKS
6 ACER SACCHARUM	SUGAR MAPLE	2" CAL.	B&B
SHRUBS			
45 VIBURNUM ACERFOLIUM	MAPLE LEAF VIBURNUM	30" HT.	B&B
23 TAXUS CANADENSIS	CANADIAN YEW	30" HT.	B&B

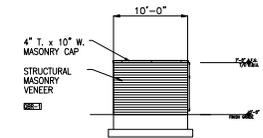
PRECAST CONCRETE BOLLARDS, SEE SPECS. CONTRACTOR SUPPLIED AND INSTALLED.

PRECAST CONCRETE BOLLARDS TO INCLUDE DOMED TOP, 1" REVEAL, SAND BLAST FINISH WITH 2" PVC INSERT FOR REBAR DOWEL.

PRECAST CONCRETE BOLLARDS TO BE INSTALLED IN MASTIC INCLUDING 24" #8 REBAR DOWEL. INSTALLED WITH 17" EXPOSED, GULF BASE TO SIDEWALK.

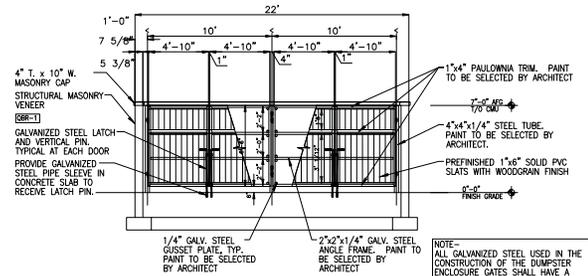


CONCRETE BOLLARD AROUND BUILDING
SCALE: NONE

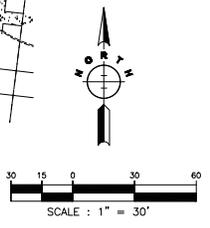


DUMPSTER ENCLOSURE SIDE ELEVATION
SCALE: NONE

NOTE - ALL GALVANIZED STEEL USED IN THE CONSTRUCTION OF THE DUMPSTER ENCLOSURE GATES SHALL HAVE A PAINT GRIP FINISH.



DUMPSTER ENCLOSURE FRONT ELEVATION
SCALE: NONE



Turkey Hill

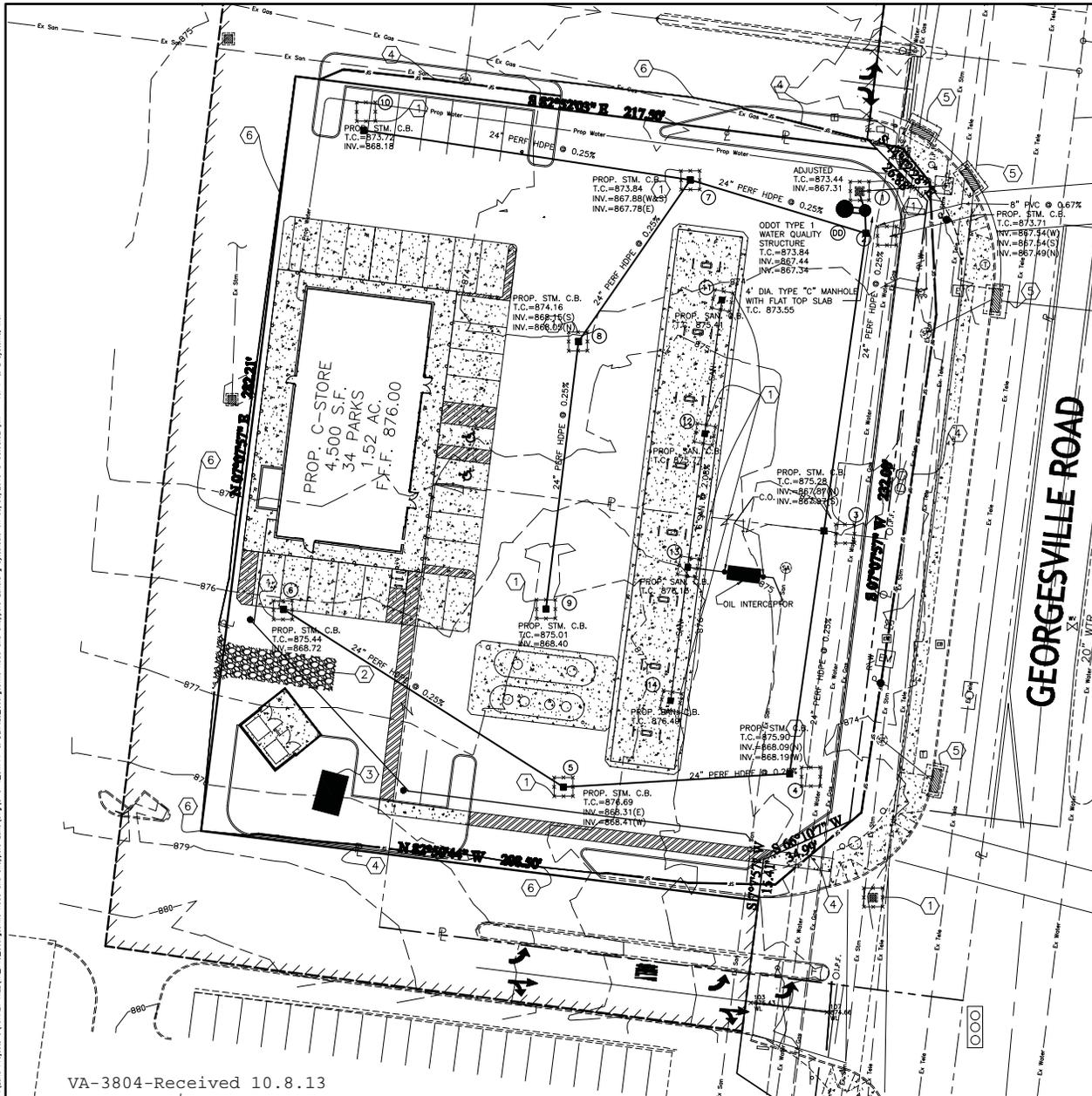
DATE: _____
 REVISIONS: _____
 NO. _____

LANDSCAPE PLAN AND DETAILS

TURKEY HILL #719
GEORGESVILLE ROAD
COLUMBUS, OHIO

DESIGN TEAM	DATE
DRAWN BY: JS	
CHECKED BY: MC	
SCALE: 1' = 30'	
STORE #	719
SHEET	C-6
DATE	09-30-13

Planned Projects 3\TURKEY HILL\719_Georgesville Road and Shoppers Lane\719_C-3_Swppr & Details_Georgesville Road and Shoppers Lane.dwg (last modified on 09/20/2013 @ 02:08:32 pm) - Mr. P. L. Systems, Inc.



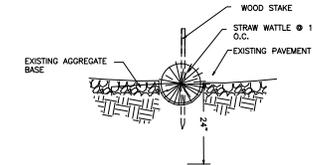
VA-3804-Received 10.8.13

KEYED NOTES

- 1 ADD DANDY BAGS ON CATCH BASINS.
- 2 STABILIZED CONSTRUCTION ENTRANCE. SEE DETAIL & CONSTRUCTION SEQUENCE, SHEET 4.
- 3 CONCRETE WASH OUT AREA. SEE DETAIL, SHEET 4.
- 4 SEDIMENT FENCE. SEE DETAIL, SHEET 4.
- 5 ADD BEAVER DAM. SEE DETAIL, SHEET 4.
- 6 STRAW WATTLE. SEE DETAIL, THIS SHEET

LEGEND

- (SA) SANITARY MANHOLE (EXISTING)
- (ST) STORM MANHOLE (EXISTING)
- (S) CATCH BASIN WITH DANDY BAG (PROPOSED)
- PROPOSED MANHOLE
- PROPOSED BEAVER DAM



STRAW WATTLE DETAIL
NTS

PROPOSED POST CONSTRUCTION STORM SEWER INSPECTION AND MAINTENANCE SCHEDULE	
ACTIVITY	SCHEDULE
<ul style="list-style-type: none"> -CLEAN AND REMOVE DEBRIS FROM INLET STRUCTURES AND ORIFICE PLATES -MOW GRASS SIDE SLOPES 	<ul style="list-style-type: none"> -MONTHLY
<ul style="list-style-type: none"> -INSPECT FOR DAMAGE, PAYING PARTICULAR ATTENTION TO THE CONTROL ORIFICE. REPAIR OR REPLACE DAMAGED CONCRETE/METAL STRUCTURES AS NECESSARY. -MONITOR FOR SEDIMENT ACCUMULATION. REMOVE SEDIMENT WHERE ACCUMULATIONS IN THE BOTTOM OF THE DETENTION BASIN EXCEED 6". REPAIR AND RESEED DETENTION BASIN AFTER REMOVAL OF SEDIMENT. -EXAMINE TO INSURE THAT INLET DEVICES ARE FREE OF DEBRIS AND OPERATIONAL. -INSPECT ROOF DRAIN COLLECTION SYSTEM, INSPECT FOR CLOGS. REMOVE DEBRIS AND SEDIMENT AS REQUIRED. -REPAIR ANY UNDERCUT OR ERODED AREAS. -PERIODIC INSPECTIONS OF THE STORM WATER CONTROL FACILITIES AT A FREQUENCY STIPULATED IN THE MAINTENANCE PLAN/SCHEDULE SHALL BE RECORDED ON A REGULAR BASIS. LOGS SHALL BE KEPT FOR THESE INSPECTIONS. SAMPLE LOG SHEETS ARE AVAILABLE IN THE CITY OF COLUMBUS STORM WATER DRAINAGE MANUAL, APPENDIX E. LOGS SHALL BE MADE AVAILABLE TO THE CITY OF COLUMBUS, DIVISION OF SEWERS AND DRAINS, STORMWATER & REGULATORY MANAGEMENT SECTION FOR INSPECTION ON AN AS NEEDED BASIS. 	<ul style="list-style-type: none"> -BI-ANNUAL INSPECTION (NOVEMBER AND MAY) AND AFTER HEAVY RAINS

SAID STORM WATER CONTROL FACILITIES ARE TO BE MAINTAINED, INSPECTED, AND INSPECTION RECORDS LOGGED IN ACCORDANCE WITH THE CITY OF COLUMBUS DIVISION OF SEWERS AND DRAINAGE STORMWATER DRAINAGE MANUAL. SEE SHEET 5/6 FOR DOWNSTREAM DEFENDER MAINTENANCE SCHEDULE. THESE RESPONSIBILITIES CONTINUE WITH ALL FUTURE OWNERS OF SAID PRIVATE STORM SEWER SYSTEM.



P & L Systems, Inc.
 1155 COLUMBUS ROAD
 COLUMBUS, OH 43260
 614.891.1111

NO.	DATE	REVISIONS

SWPPP
 TURKEY HILL #719
 GEORGESVILLE ROAD
 COLUMBUS, OHIO

DESIGN TEAM	DATE
DRAWN BY: JS	
CHECKED BY: MC	
SCALE: 1" = 20'	
STORE # 719	
SHEET C-3	
DATE 09-30-13	

SITE DATA

- PROJECT DESCRIPTION: THE PROPOSED PROJECT WILL DEVELOP APPROXIMATELY 1.5± ACRES OF AN TWO VACANT AND ADJACENT PARCELS WITH EXISTING SUPERSTRUCTURES AND ASPHALT PAVEMENT INTO A FUEL/OIL STATION WITH C-STREET, CANOPY, ASSOCIATED PARKING, DRIVEWAYS AND STORM SEWERS.
- TOTAL SITE AREA: 1.52 ACRES
AREA WITHIN LIMITS OF CONSTRUCTION: PERVIOUS: 0.13 ACRES (8.5%)
PERVIOUS AREAS TO CONSIST OF LAWN, MULCH, SHRUBBERY AND TREES.
IMPERVIOUS: TOTAL IMPERVIOUS = 1.39 ACRES (91.5%)
BUILDINGS/CANOPY: 9276.0 S.F.
0.213 ACRES (15.32%)
SIDEWALKS: 2613.8 S.F.
0.06 ACRES (4.32%)
PAVEMENT: 48656.52 S.F.
1.117 ACRES (80.36%)
- SOIL TYPES: URBAN LAND - CELINA COMPLEX, HYDROLOGICAL SOIL GROUP C
- RUNOFF COEFFICIENTS: PRECONSTRUCTION: C = 97
POST CONSTRUCTION: C = 96
- SITE DRAINS TO: ELEV 873.44
- RECEIVING WATERS: SICOOTO RIVER
- OWNER & SITE CONTACTS: TURKEY HILL MIDWEST
2600 CORPORATE EXCHANGE DRIVE
SUITE 170
COLUMBUS, OHIO 43231
OFFICE: (614) 315-2112
CONTACT: STEVE FULLER
EMAIL: steve.fuller@tmsystems.com
SITE CONTRACTOR: TO BE DETERMINED
- PLAN DESIGNER: P & L SYSTEMS, INC.
171 CHARRING CROSS DRIVE
WESTERVILLE, OH 43081
OFFICE: (614) 891-4970
FAX: (614) 891-4884
CONTACT: MICHAEL P.E.
EMAIL: mcasale@plsystems.com

EROSION CONTROL MEASURES MAINTENANCE REQUIREMENTS

- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE MAINTENANCE REQUIREMENTS:**
- INSPECT ENTRANCE PAD AND SEDIMENT DISPOSAL AREA WEEKLY AND AFTER STORM EVENTS OR HEAVY USE.
 - RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL.
 - TOP DRESS WITH CLEAN STONE AS NEEDED.
 - IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING.
 - REPAIR ANY BROKEN ROAD PAVEMENT IMMEDIATELY.

MAINTENANCE PROGRAM
ALL EROSION AND SEDIMENTATION CONTROL FACILITIES WILL BE MAINTAINED IN GOOD WORKING ORDER (CLEANED, REPAIRED, ETC.) UNTIL ALL DISTURBED TRIBUTARY AREAS ARE STABILIZED. DURING CONSTRUCTION, AND BEFORE THE ESTABLISHMENT OF PERMANENT VEGETATION, INLET PROTECTION, CUT AND FILL SLOPES, THE SEDIMENTATION BASINS, AND SILT FENCES WILL BE CHECKED REGULARLY EVERY WEEK AND AFTER EVERY RAINFALL EVENT GREATER THAN OR EQUAL TO 0.5 INCHES TO MAINTAIN THEIR EFFECTIVENESS.

THE SILT FENCE WILL BE INSPECTED REGULARLY AND AFTER EVERY RAINFALL EVENT. SEDIMENT WILL BE REMOVED WHEN IT REACHES ONE HALF THE GROUND HEIGHT OF THE SILT FENCE. SEDIMENT REMOVED FROM THE SILT FENCE WILL BE SPREAD OUT, ALLOWED TO DRY, AND THEN ADDED TO THE TOPSOIL STOCKPILES.

THE ROCK CONSTRUCTION ENTRANCES WILL BE MAINTAINED AT THE SPECIFIED THICKNESS AT ALL TIMES. A STOCKPILE OF ROCK WILL BE MAINTAINED ON THE SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PUBLIC ROADWAYS WILL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE.

SEEDING AND MULCHING MATERIALS:

PERMANENT SEEDING

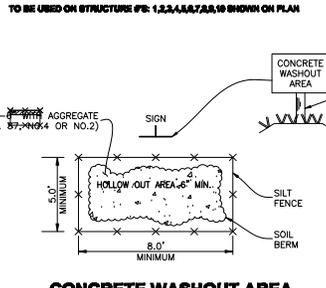
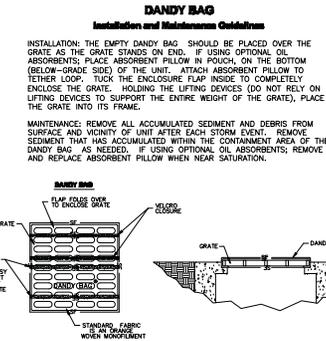
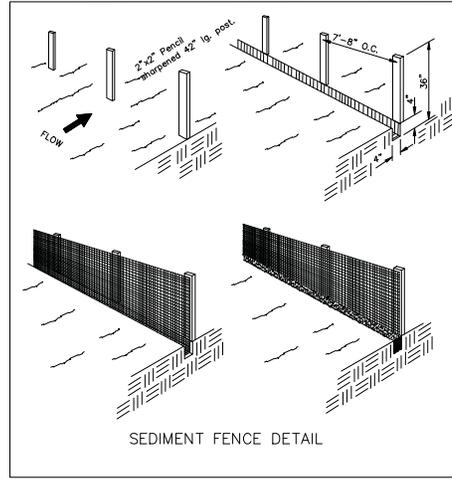
KIND OF SEED	SEEDING DATES	PER 1000 SQ. FT.	PER ACRE
A) CREeping RED FESCUE, PLUS DOMESTIC RYE GRASS	MARCH - MAY AUG. - SEPT.	½ LB.	20 LBS.
B) TALL FESCUE	MARCH - MAY AUG. - SEPT.	2 LBS.	80 LBS.
C) DWARF (TURF-TYPE) FESCUE	MARCH - MAY AUG. - SEPT.	1 LB.	40 LBS.

TEMPORARY SEEDING

KIND OF SEED	SEEDING DATES	PER 1000 SQ. FT.	PER ACRE
A) OATS OR PERENNIAL GRASS	MARCH 1 - AUGUST 15	3 LBS.	2 BU.
B) TALL FESCUE	MARCH 1 - AUGUST 15	1 LB.	40 LBS.
C) RYE OR WHEAT OR PERENNIAL RYEGRASS	AUGUST 16 - NOVEMBER 1	3 LBS.	2 BU.
D) TALL FESCUE	AUGUST 16 - NOVEMBER 1	1 LB.	40 LBS.

- MULCH: SMALL GRASS STRAW, PREFERABLY WHEAT OR RYE
ASPHALT EMULSION: RAPID SETTING, RS1 OR RS2
MULCH NETTING: JUTE, COTTON OR PLASTIC NETTINGS
LIME: AGRICULTURAL GRADE LIMESTONE
FERTILIZER: COMMERCIAL-GRADE COMPLETE FERTILIZER OF NEUTRAL CHARACTER, CONSISTING OF FAST AND SLOW RELEASE NITROGEN, 50% DERIVED FROM NATURAL ORGANIC SOURCES OF UREA-FORM, PHOSPHORUS, AND POTASSIUM. COMPOSITION: 13% NITROGEN, 26% PHOSPHORUS, AND 12% POTASSIUM BY WEIGHT, OR IN AMOUNTS RECOMMENDED IN SOIL REPORTS FROM A TESTING AGENCY. APPLY AT 6 LBS. PER 1,000 SQUARE FEET.

- THE CONTRACTOR SHALL ESTABLISH A STABILIZED CONSTRUCTION ENTRANCE.
- THE CONTRACTOR SHALL PLACE THE REQUIRED SEDIMENT FENCE AND INLET PROTECTION ON ANY EXISTING INLETS IN ACCORDANCE WITH THE PLAN DETAILS.
- THE CONTRACTOR SHALL PERFORM SITE EARTHWORK OPERATIONS IN ACCORDANCE WITH THE PLAN DETAILS AND NOTES INCLUDING INSTALLATION OF STORM SEWERS. PROVISIONS FOR INLET PROTECTION SHALL BE ESTABLISHED AS REFERENCED BY THE DETAILS SHOWN ON THIS SHEET. THE CONTRACTOR SHALL APPLY WATER OR DUST PALLIATIVE ON DISTURBED AREAS DURING CONSTRUCTION TO ALLEVIATE OR PREVENT DUST NUISANCE PER ITEM 616. DUST PALLIATIVE SHALL CONSIST OF CALCIUM CHLORIDE MEETING THE REQUIREMENTS OF SECTION 712.02. THE WATER OR CALCIUM CHLORIDE SHALL BE SPREAD UNIFORMLY OVER THE SURFACE OF THE DISTURBED AREA.
- EXPOSED SLOPES SHALL BE STABILIZED AS SOON AS THEY ARE ENCOUNTERED.
- THE CONTRACTOR SHALL PLACE SEEDING AND MULCHING AS NECESSARY TO STABILIZE ALL DENUDATED AREAS. ALL DENUDATED AREAS SHALL HAVE SOIL STABILIZATION APPLIED WITHIN SEVEN (7) DAYS OF DISTURBANCE IF THEY ARE TO BE SUBSTANTIALLY UNWORKED FOR MORE THAN 21 DAYS OR IF THEY ARE AT FINAL GRADE.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE ESTABLISHED VEGETATIVE COVER AND UPON APPROVAL FROM THE CITY OF URBANCREST.
- AFTER REMOVAL OF EROSION CONTROL DEVICES, THE CONTRACTOR SHALL CLEAN ALL INLETS AND STORM PIPES OF ALL SEDIMENT INCURRED DURING CONSTRUCTION.



SILT FENCE: THIS SEDIMENT BARRIER UTILIZES STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS. IT IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED.

- THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36-INCHES (HIGHER FENCES MAY INCREASE VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE).
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER FABRIC SHALL BE SPICED THROUGH ONLY AT A SUPPORT POST, WITH A MINIMUM OF A 6 INCH OVERLAP, AND SECURELY SEALED.
- POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVE FREELY INTO THE GROUND (MINIMUM OF 12-INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POSTS SHALL NOT EXCEED 8 FEET.
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4-INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSTREAM FROM THE BARRIER.
- WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1-INCH LONG. THE WIRES OR HOOD RINGS SHALL NOT EXTEND MORE THAN 36-INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8-INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36-INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
- WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED, IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF ITEM NO. 6 APPLYING.
- THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE FILTER FABRIC.
- SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

MAINTENANCE
SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE IMMEDIATE.

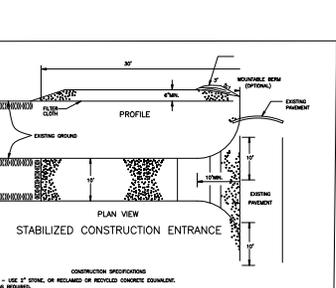
SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NEEDED, THE FABRIC SHALL BE REPLACED PROMPTLY. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRAD, PREPARED AND SEED.

BEAVER DAM
INSTALLATION: THE EMPTY BEAVER DAM SHOULD BE PLACED OVER THE GRATE AS THE GRATE STANDS ON END. IF USING OPTIONAL OIL ABSORBENTS, PLACE ABSORBENT PILLOW IN POUCH, ON THE BOTTOM (BELOW-GRADE SIDE) OF THE UNIT. ATTACH ABSORBENT PILLOW TO TETHER LOOP. TUCK THE ENCLOSURE FLAP INSIDE TO COMPLETELY ENCLOSE THE GRATE. HOLDING THE LIFTING DEVICES (DO NOT RELY ON LIFTING DEVICES TO SUPPORT THE ENTIRE WEIGHT OF THE GRATE), PLACE THE GRATE INTO ITS FRAME (STREET SIDE FIRST), THEN LOWER BACK EDGE WITH DAM IN PLACE. THE BEAVER DAM SHOULD BE PARTIALLY BLOCKING THE CURB HOOD WHEN INSTALLED. PROTECT.

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND VICINITY OF UNIT AFTER EACH STORM EVENT. REMOVE SEDIMENT THAT HAS ACCUMULATED WITHIN THE CONTAINMENT AREA OF THE DANDY BAG AS NEEDED. IF USING OPTIONAL OIL ABSORBENTS, REMOVE AND REPLACE ABSORBENT PILLOW WHEN NEAR SATURATION.

BEHAVIOR
STANDARD FABRIC IS AN OVERFLOW GAP. WIRE MESH FABRIC IS AN OVERFLOW GAP. DESIGN CONFORMING TO ALL CITIES OF CONCRETE CURB AND OUTER INLET.



- CONSTRUCTION MEASUREMENTS**
- STONE SIZE - USE #1 STONE, OR REGRANULATED OR RECYCLED CONCRETE COURSE.
 - MINIMUMS - NOT LESS THAN 8" IN HEIGHT.
 - MINIMUMS - NOT LESS THAN 10" IN WIDTH.
 - MINIMUMS - NOT LESS THAN 10" IN DEPTH.
 - MINIMUMS - NOT LESS THAN 10" IN DEPTH.
 - MINIMUMS - NOT LESS THAN 10" IN DEPTH.
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 - MINIMUMS - NOT LESS THAN 10" IN DEPTH.

EROSION CONTROL NOTES

- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REGULATIONS, WHICHEVER HAS JURISDICTION.
- PER THE NPDES CONSTRUCTION GENERAL PERMIT OH000003, ALL CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED BY THE OHIO EPA TO OBTAIN CO-PERMITS.
- LAND ALTERATION WHICH STRIPS THE LAND OF VEGETATION, INCLUDING REGRADING, SHALL BE DONE IN A WAY THAT WILL MINIMIZE EROSION.
- THIS PLAN SHALL NOT BE CONSIDERED INCLUSIVE AS THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
- SEDIMENT LADEN WATER SHALL BE DETAINED BY EROSION CONTROL PRACTICES AS NEEDED TO MINIMIZE SEDIMENTATION IN THE RECEIVING STREAM. NO STORM WATER SHALL BE DISCHARGED FROM THE SITE IN A MANNER THAT CAUSES EROSION AT THE POINT OF DISCHARGE.
- WASTES AND UNUSED BUILDING MATERIALS SHALL NOT BE ALLOWED TO BE CARRIED FROM THE SITE BY STORM WATER RUNOFF. PROPER DISPOSAL OF ALL WASTES AND UNUSED BUILDING MATERIALS IS REQUIRED.
- SEDIMENT BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS SHALL BE MINIMIZED. CLEARING OF ACCUMULATED SEDIMENT SHALL NOT INCLUDE FLUSHING WITH WATER. CLEARED SEDIMENT SHALL BE RETURNED TO THE SITE FOR DISPOSAL.
- SOIL WHICH HAS ACCUMULATED NEXT TO EROSION CONTROL DEVICES SHALL BE COLLECTED AND REDISTRIBUTED ON SITE AFTER EACH RAINFALL EVENT, AND AT LEAST ONCE A WEEK.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- ALL EXISTING STRUCTURES, FENCES, TREES AND ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF SITE. BURNING IS NOT ALLOWED ON-SITE.
- SCHEDULE OF EARTHWORK ACTIVITIES:
a) THE DURATION OF TIME WHICH AN AREA REMAINS EXPOSED SHALL BE KEPT TO A PRACTICAL MINIMUM. THE AREA SHALL BE STABILIZED AS SOON AS POSSIBLE. TEMPORARY VEGETATION OR MULCHING SHALL BE USED TO PROTECT EXPOSED AREAS IF PERMANENT VEGETATION CANNOT BE SEEDING WITHIN 14 DAYS OR ACTIVITY CEASES FOR MORE THAN 21 DAYS OR AS DIRECTED BY THE ENGINEER.
b) TOPSOIL REPLACEMENT SHALL TAKE PLACE FROM MARCH 1 TO OCTOBER 31. STOCKPILE TOPSOIL AT ALL OTHER TIMES OF THE YEAR. PERMANENT AND FINAL VEGETATION AND STRUCTURAL EROSION CONTROL DEVICES SHALL BE INSTALLED WITHIN SEVEN (7) DAYS AFTER FINAL GRADING OR AS SOON AS POSSIBLE.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF THE VILLAGE OF OBETZ, OHIO DEPARTMENT OF TRANSPORTATION AND/OR THE OHIO EPA.

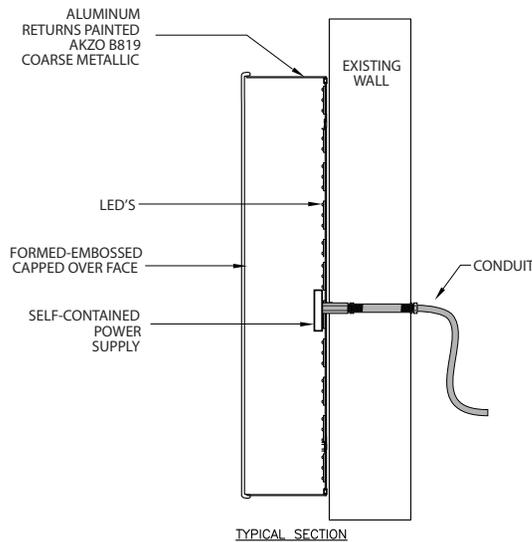
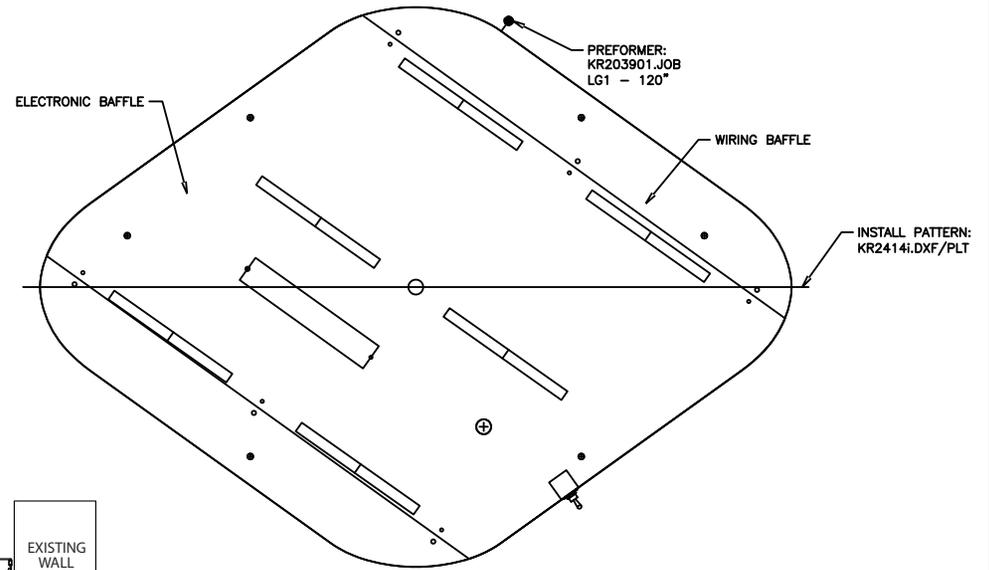
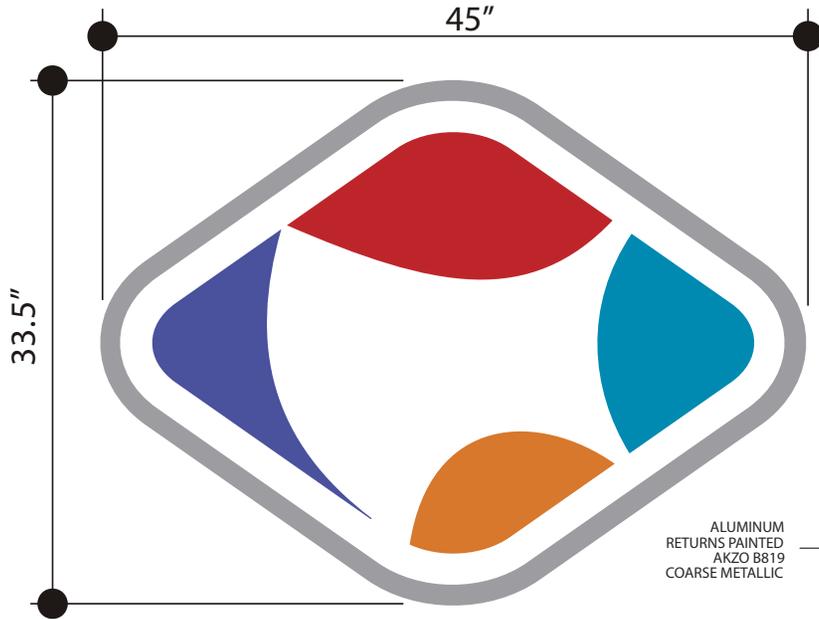
VA-3804-Received 10.8.13

TurkeyHill

P & L Systems, Inc.
171 CHARRING CROSS DRIVE
WESTERVILLE, OHIO 43081
OFFICE: (614) 891-4970
FAX: (614) 891-4884
CONTACT: MICHAEL P.E.
EMAIL: mcasale@plsystems.com

SWPPP DETAILS
TURKEY HILL #719
GEORGESVILLE ROAD
COLUMBUS, OHIO

DESIGN TEAM: JS
CHECKED BY: MC
SCALE: NTS
STORE # 719
SHEET C-4
DATE: 09-30-13



COLORS



VA-3804 Received 10.8.13

BOXED SQ.FT.: 10.47
ACTUAL SQ.FT.: 6.70

403-LOGO-33X45-LED



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CUSTOMER APPROVAL:

DATE: _____

Rev. #	DATE	BY	Rev. #	DATE	BY
Rev. #1	12-15-2011	S.H.	Rev. #4	_____	_____
Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____



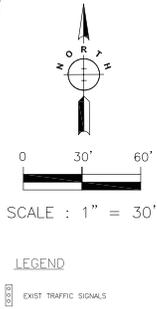
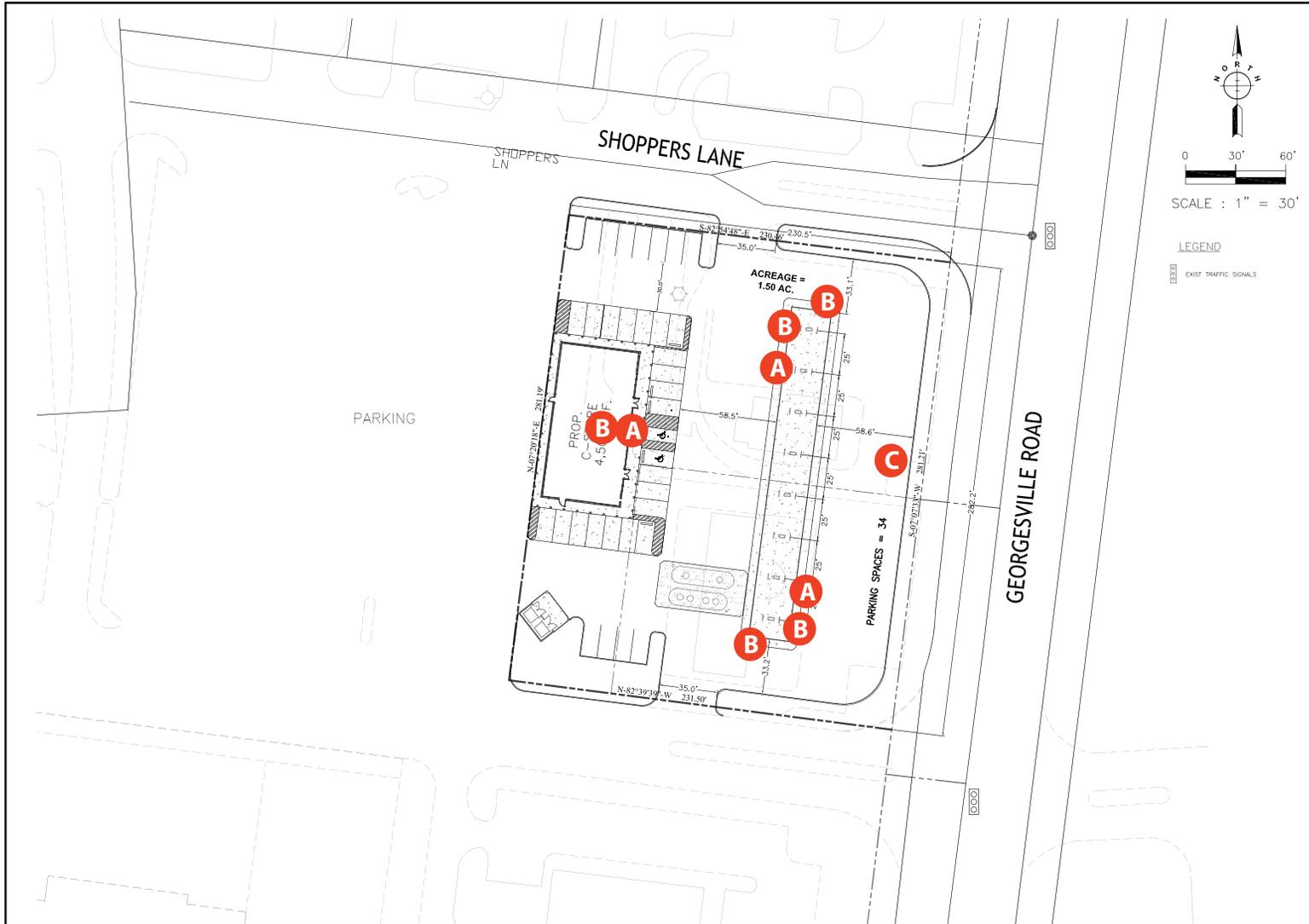
DRAWING NO:

67291

DATE: 11-17-2011

S. Hawke

TURKEY HILL MARKET #719 - Shoppers Lane & Georgesville Road - Columbus, OH



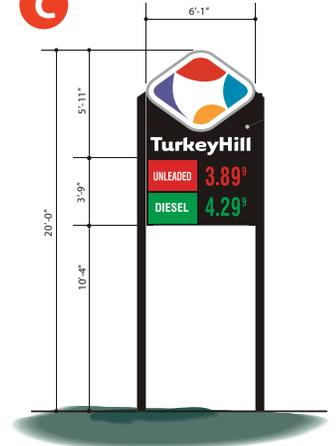
TurkeyHill

A 15" LETTER SET



B 33" X 45" LED LOGO

C PYLON SIGN



Note: price digits always face the street side. ▶

VA-3804

Received 10.8.13



THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT PLANNED FOR YOU BY CUMMINGS SIGNS. IT IS NOT TO BE SHOWN OUTSIDE YOUR ORGANIZATION NOR USED, REPRODUCED, COPIED, OR EXHIBITED IN ANY FASHION UNLESS AUTHORIZED IN WRITING BY AN OFFICER OF CUMMINGS SIGNS.

CUSTOMER APPROVAL: _____

DATE: _____

Rev. #	DATE	BY	Rev. #	DATE	BY
Rev. #1	_____	_____	Rev. #4	_____	_____
Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____



DRAWING NO:
73331.025
DATE: 9-23-2013
S. Hawke



Commissioners
 Marilyn Brown, President
 Paula Brooks
 John O'Grady

Economic Development & Planning Department
 James Schimmer, Director

Application for Zoning Variance

Revised January 1, 2009

RECEIVED

OCT 15 2013

Franklin County Planning Department
 Franklin County, Ohio



Property Information	
Site Address	6147 Westerville Road
Parcel ID(s)	110-00218
Zoning	CS Community Service
Township	Blendon
Acreage	1.03
Water Supply	<input type="checkbox"/> Public (Central) <input checked="" type="checkbox"/> Private (Onsite)
Wastewater Treatment	<input type="checkbox"/> Public (Central) <input checked="" type="checkbox"/> Private (Onsite)

Applicant Information	
Name/Company Name	Great City Cars, LLC
Address	6147 Westerville Road
	Westerville, OH 43081
Phone #	(614) 419-8357
Fax #	(267) 350-9077
Email	GreatCityJane@gmail.com

Property Owner Information	
Name/Company Name	John Stoughton
Address	145 Linabary Avenue
	Westerville, OH 43081
Phone #	(614) 440-2332
Fax #	
Email	

Agent Information (if applicable)	
Name/Company Name	
Address	
Phone #	
Fax #	
Email	

Staff Use Only	
Case #	VA-3809
Date filed:	10/15/2013
Fee paid	\$650.00
Receipt #	1822
Received by:	S. Ulrich
Hearing date:	11/18/2013
Zoning Compliance:	

Document Submission
The following documents must accompany this application:
<input checked="" type="checkbox"/> Completed application
<input checked="" type="checkbox"/> Fee Payment (Checks only)
<input checked="" type="checkbox"/> Auditor's map (8 1/2" x 11")
<input checked="" type="checkbox"/> Site Map (max 11" x 17")
<input checked="" type="checkbox"/> Covenants and deed
<input checked="" type="checkbox"/> Notarized signatures
<input type="checkbox"/> Proof of water & waste water supply
Please see the Application Instructions for complete details

Case #
VA-3809

Variance(s) Requested	
Section	332.041(b)
Description	access to public street right of way ← should be 332.042(b)
Section	531.011
Description	sealed surface pavement ← should be 531.011 (2)
Section	
Description	

Describe the project

Applicant needs variance to allow access via Emrick Road as access to Westerville Road is not possible. Additionally, need variance to allow use of existing gravel lot as sealed paving is cost prohibitive and all surrounding businesses already use gravel lots.

NOTE: To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.

- Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.
 - The property has an address-location conflict. Property is on Emrick Road, but has Westerville Rd address.
 - Surrounding businesses have gravel and/or dirt parking, so we are the only ones in the area not allowed that
- That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.
 - A literal interpretation on access would prevent a respectable, income generating business from operating.
 - A literal interpretation on gravel would impose cost-prohibitive standards preventing said business from operating and using existing lots which are virtually identical to lots being used by surrounding businesses.
- That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

The special circumstances and conditions of this request are not a result of the applicant.

2. 'A literal interpretation of the Zoning Resolution would render the site (unusable by applicant)'

- 4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

Granting the variance will not extend special privileges to the applicant. Other neighboring businesses

already enjoy the same priveleges that these variances will allow the applicant.

- 5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

Granting the variance will not negatively impact any of the above.

- 6. Can there be any beneficial use of the property without the variance?

No, applicant is unable to change their usage and cannot operate without the variances.

- 7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

Variances would simply allow access via existing road, and use of existing gravel lots.

- 8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

Granting these variances will have no negative effect on the neighborhood or adjoining properties.

- 9. How would the variance adversely affect the delivery of governmental services?

(e.g., water, sewer, garbage, fire, police - Verification from local authorities – i.e. fire might be required)

There would be no adverse effect; all such services are already in place and have been for years..

- 10. Did the applicant purchase the property with knowledge of the zoning restrictions?

No. Property was not purchased knowing about these restrictions.

- 11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

No, per Planning we have been told that variances are the necessary solution.

- 12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

Granting the variances would allow an existing, respectable, income generating company to continue to operate

in a location already surrounded by other businesses without any negative effect to the health, safety or peaceable operation and enjoyment of neighboring businesses or the community.

Case #
VA-3809

Affidavit

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form.

Applicant

Date

John E. Stoughton

Property Owner (Signature must be notarized)

Date

Property Owner (Signature must be notarized)

Date

*Agent must provide documentation that they are legally representing the property owner.

**Approval does not invalidate any restrictions and/or covenants that are on the property.



JOSEPH A NAGY JR
NOTARY PUBLIC - OHIO
MY COMMISSION EXPIRES 01/24/2016

[Handwritten Signature]

RECEIVED

OCT 15 2013
VA-3807

Franklin County Planning Department
Franklin County, Ohio

Great City Cars, LLC
6147 Westerville Road
Westerville, OH 43081

October 14, 2013

Great City Cars operates the car lot at 6147 Westerville Road. What was previously an unused, empty lot with a building that had fallen into disrepair is now a revived and thriving site. We at Great City take great pride in the site and the business we run, and plan to continue to maintain the improved appearance of our location and hopefully encourage an improved attention to detail and cleanliness in the area overall.

Great City is owned and operated by respectable, long time local residents. Our intent is to stay long term and continue to run a clean, conscientious, revenue generating business while ensuring that our site and standards reflect our intent. We are currently in contract to purchase the property, so our intent is long term.

Our site is located in a heavily industrial type setting. Our neighbors are landscapers, gravel pits, concrete and construction companies, vehicle repair shops and vehicle storage lots. Every neighboring business uses Emrick Road, as direct access to Westerville Road is not available. And the majority of neighboring properties have gravel parking lots as well. Great City is not asking for anything unusual for the area, nor are we asking for anything that is not already being enjoyed by all of our neighbors.

We very much appreciate your help and assistance in granting the variances that will allow us to continue to operate a good, solid company that will maintain high standards, provide jobs and generate revenue for the local economy.

Respectfully,



Timothy C. Gravely
Great City Cars, LLC



RECEIVED

Clarence E. Mingo, II
Franklin County Auditor

OCT 15 2013

VA-3809

Franklin County Planning Department

Franklin County, Ohio

Generated on 10/03/13 at 10:07:26 PM

Property Report

Parcel ID: **110-002118-00** Map Routing No: **110-0001G -004-00** Card No: **1** Location: **5147 WESTERVILLE RD**

GIS



Disclaimer

This drawing is prepared for the real property inventory within this county. It is compiled from recorded deeds, survey plats, and other public records and data. Users of this drawing are notified that the public primary information source should be consulted for verification of the information contained on this drawing. The county and the mapping companies assume no legal responsibilities for the information contained on this drawing. Please notify the Franklin County GIS Division of any discrepancies.

The information on this web site is prepared for the real property inventory within this county. Users of this data are notified that the public primary information source should be consulted for verification of the information contained on this site. The county and vendors assume no legal responsibilities for the information contained on this site. Please notify the Franklin County Auditor's Real Estate Division of any discrepancies.

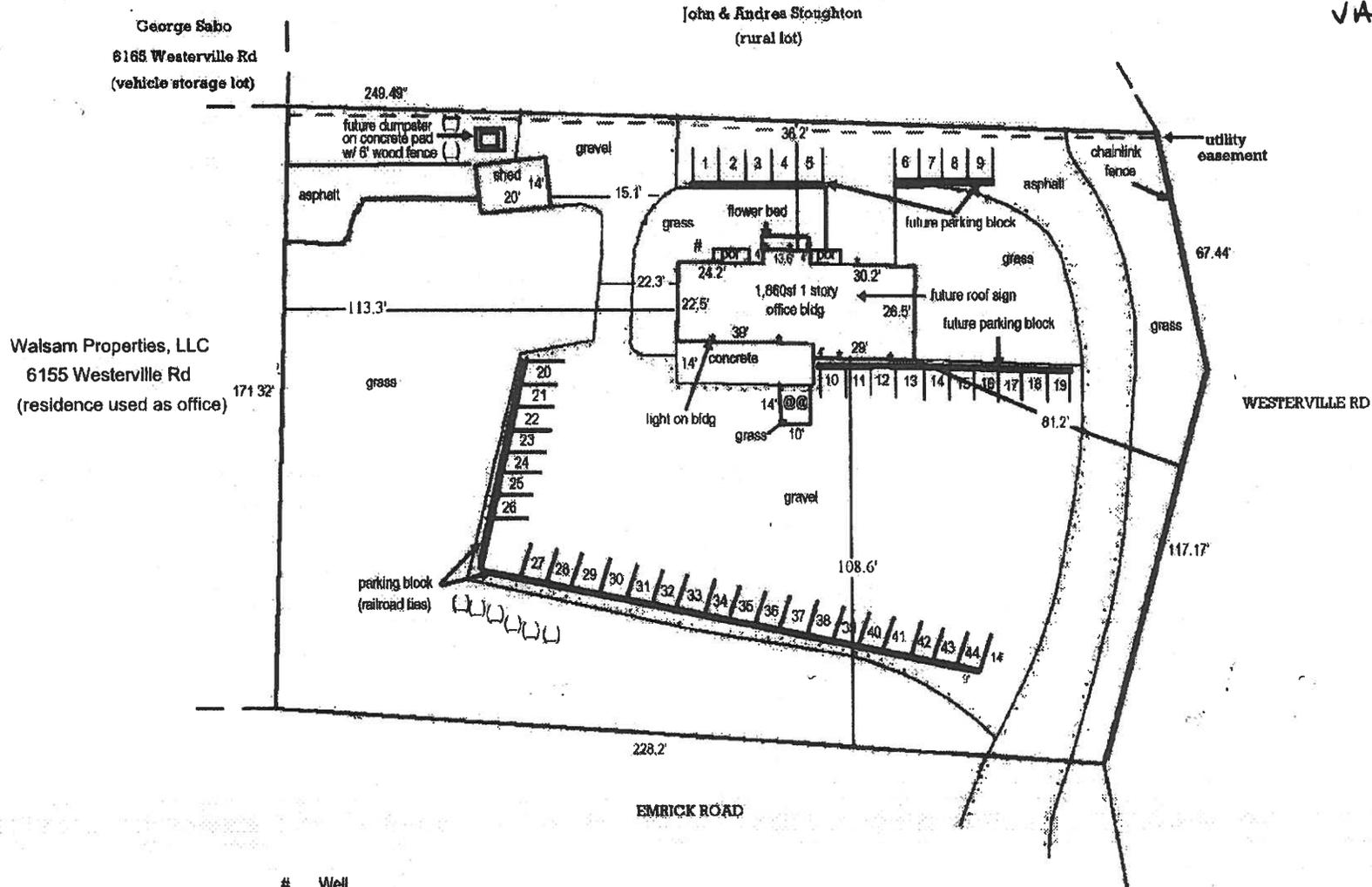
Site Plan
Great City Cars, LLC
6147 Westerville Road, Westerville, OH
Parcel No. 110-000218 Zoned: CS - Community Service

RECEIVED

OCT 15 2013

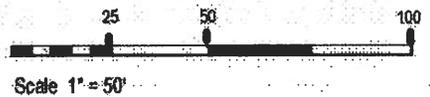
Franklin County Planning Department
 Franklin County, Ohio

JA 3809



- # Well
- @@ Septic
- () Large Trees (>10')
- Light on Bldg (typical flood light)

Parking spots 1-19 for employees/customers
 Parking spots 20-44 for display of sale vehicles





Commissioners
 Marilyn Brown, President
 Paula Brooks
 John O'Grady

Economic Development & Planning Department
 James Schimmer, Director

Application for
**Zoning
 Variance**

Revised January 1, 2009

Franklin County Planning Department
 Franklin County, Ohio

RECEIVED

OCT 16 2013



Property Information	
Site Address 883 Plum Tree Drive	
Parcel ID(s) 250-004584 250-004585 250-004654 250-004655	Zoning R RURAL
Township SHARON	Acreage 9832 SF
Water Supply <input type="checkbox"/> Public (Central) <input checked="" type="checkbox"/> Private (Onsite)	Wastewater Treatment <input type="checkbox"/> Public (Central) <input checked="" type="checkbox"/> Private (Onsite)

Applicant Information	
Name/Company Name Juliet Bullock, Juliet Bullock Architect	
Address 1182 Wyandotte Rd Columbus, Ohio 43212	
Phone # 614.935.0944	Fax #
Email jbullock.juliet@gmail.com	

Property Owner Information	
Name/Company Name Carol Ballogg / Gary Kopp	
Address 883 Plum Tree Drive Columbus, Ohio 43235	
Phone #	Fax #
Email gpkopp@gmail.com	

Agent Information (if applicable)	
Name/Company Name	
Address	
Phone #	Fax #
Email	

Staff Use Only
Case # VA-3810
Date filed: 10/16/2013
Fee paid \$ 350.00
Receipt # 1827
Received by: A. CAMPBELL
Hearing date: 11/18/2013
Zoning Compliance:

Document Submission
The following documents must accompany this application:
<input checked="" type="checkbox"/> Completed application
<input checked="" type="checkbox"/> Fee Payment (Checks only)
<input checked="" type="checkbox"/> Auditor's map (8 1/2" x 11")
<input checked="" type="checkbox"/> Site Map (max 11" x 17")
<input checked="" type="checkbox"/> Covenants and deed
<input checked="" type="checkbox"/> Notarized signatures
<input type="checkbox"/> Proof of water & waste water supply
Please see the Application Instructions for complete details

Variance(s) Requested	
Section	512.02 Max size of accessory structure
Description	693 SF 1ST FLR 693 SF 2ND FLR
Section	512.02 MAX HEIGHT OF ACCESSORY STRUCTURE
Description	22' IN LIEU OF 18'
Section	LOT COVERAGE
Description	24% IN LIEU OF 20%

Describe the project

Construct a new detached garage with studio space above. The studio space is to be used for the owner's hobbies, and will not be used for business. The footprint of the existing home is small with porches around back (it was originally a cottage vacation home)

NOTE: To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.

The existing home has cathedral wood ceilings so a second floor addition would take away character of home. Existing porches wrap the whole back of the home. The garage is deteriorated and needs replaced. We do not want to overinvest for area, and this is a cost effective location for an addition.

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

Other properties are able to add onto much more cost effectively and simply

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

No, the home original layout limits our flexibility. Economics also come into play.

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

Other homes have similar additions with attached garages

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

No, limited affect and neighbor to the east who is most affected supports the variance.

6. Can there be any beneficial use of the property without the variance?

No, the owner has maximized the living space of the small cottage, and doesn't want to detrimentally affect the charm of the original cottage.

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

These are very minor requests

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

9. How would the variance adversely affect the delivery of governmental services?

(e.g., water, sewer, garbage, fire, police - Verification from local authorities - i.e. fire might be required)

No, services would not be affected.

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

Yes

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

No, construction of existing limits the feasibility of other options

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

Yes, fairly minor request.

Affidavit

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form.

Julie Arnold
Applicant

10/14/13
Date

Cathy Barry
Property Owner (Signature must be notarized)

10/14/13
Date



MEGAN BARRETT
Notary Public, State of Ohio
My Commission Expires 08-15-17

Megan Barrett
exp 8-15-17

Koep
Property Owner (Signature must be notarized)

10/14/13
Date



MEGAN BARRETT
Notary Public, State of Ohio
My Commission Expires 08-15-17

Megan Barrett
exp 8-15-17

***Agent must provide documentation that they are legally representing the property owner.**

****Approval does not invalidate any restrictions and/or covenants that are on the property.**

RECEIVED

V/A-3810

OCT 16 2013

Franklin County Planning Department
Franklin County, Ohio

JULIE BULLOCK ARCHITECTS
182 WYANDOTTE RD
COLUMBUS OH 43212
614-935-0944

INDEX TO DRAWINGS

- SHEET 1 ASBUILT & PROPOSED SITE PLANS
- SHEET 2 FIRST & SECOND FLOOR PLANS
- SHEET 3 ELEVATIONS

ZONING INFORMATION

R. RURAL
 LOT AREA: 9832 SF
 PARCEL ID: 250-004654.00

EXISTING HOUSE/PORCH: 1675 SF
 EXISTING GARAGE: 491 SF
 TOTAL EXISTING: 2166 SF
 22% OF LOT AREA

EXISTING HOUSE/PORCH: 1675 SF
 PROPOSED GARAGE: 693 SF
 TOTAL W/NEW GARAGE: 2368 SF
 24% OF LOT AREA

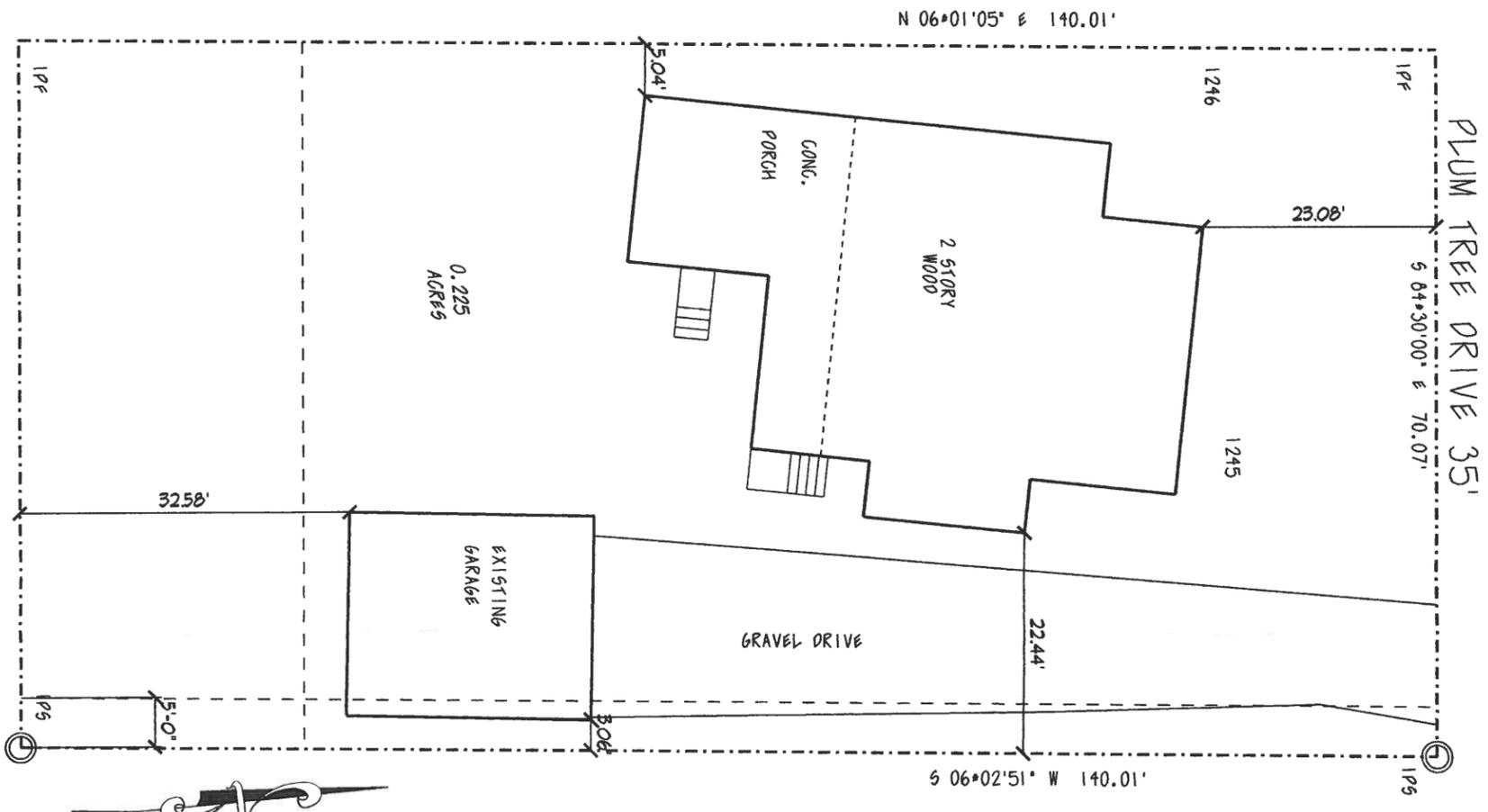
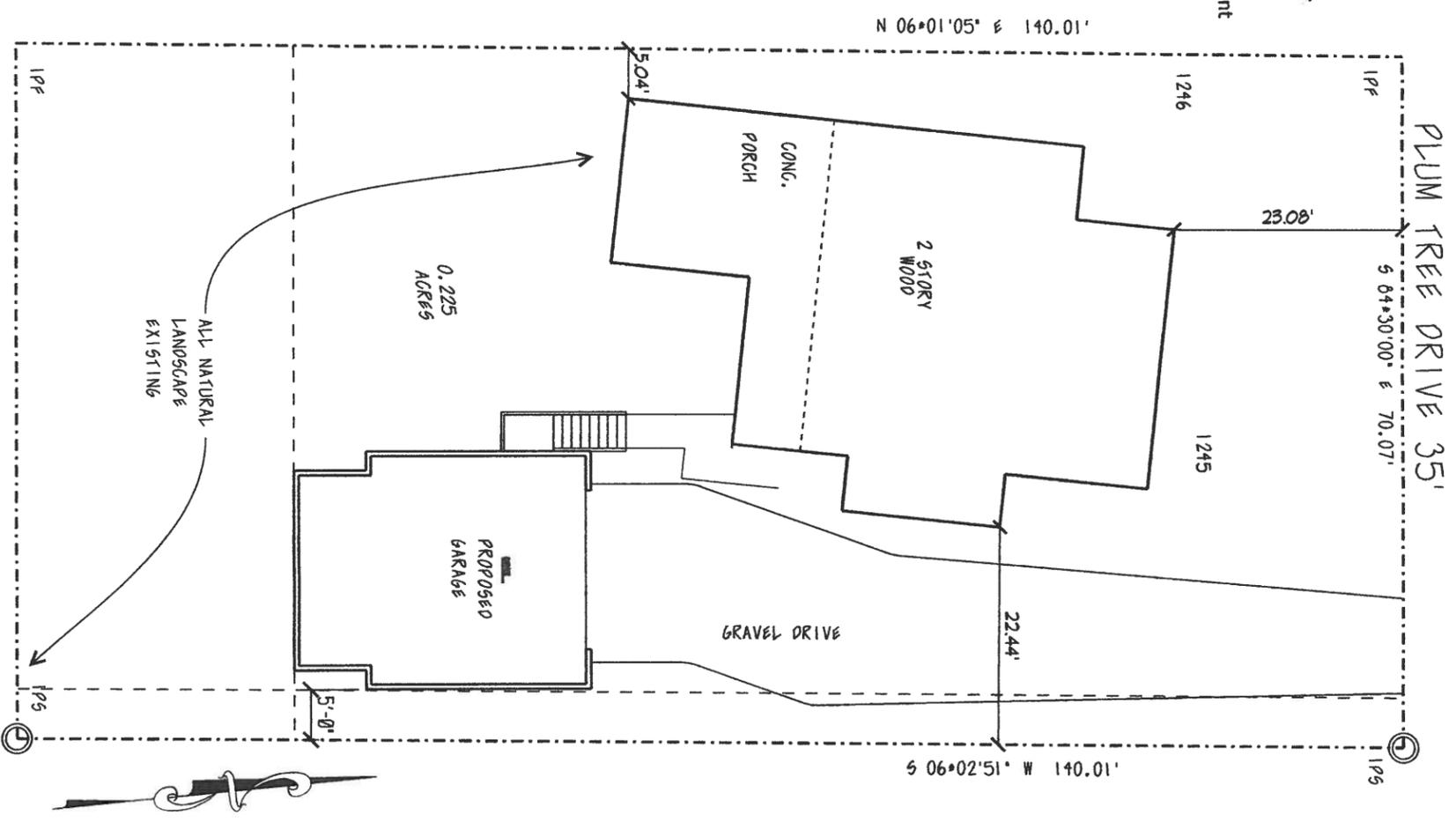
SF OF 1ST AND 2ND OF NEW ACCESSORY STRUCTURE: 693+693=1386 SF

VARIANCES

512.02 MAX. SIZE ACCESSORY STRUCTURE TO ALLOW FOR 1386 IN LIEU OF 720 (THOUGH FIRST FLOOR FOOTPRINT IS 693 SF),

512.02 MAX. HEIGHT TO ALLOW FOR 22 IN LIEU OF 18'

LOT COVERAGE: ALLOW FOR 24% IN LIEU OF 20% (THOUGH PROPERTY IS 4 SEPARATED LOTS, CALCULATED AS SINGLE LOT.)



PROPOSED
 SITE PLAN
 SCALE: 1/16" = 1'-0"
 NORTH

ASBUILT
 SITE PLAN
 SCALE: 1/16" = 1'-0"
 NORTH

KOPP RESIDENCE
 883 PLUM TREE DRIVE
 COLUMBUS OHIO

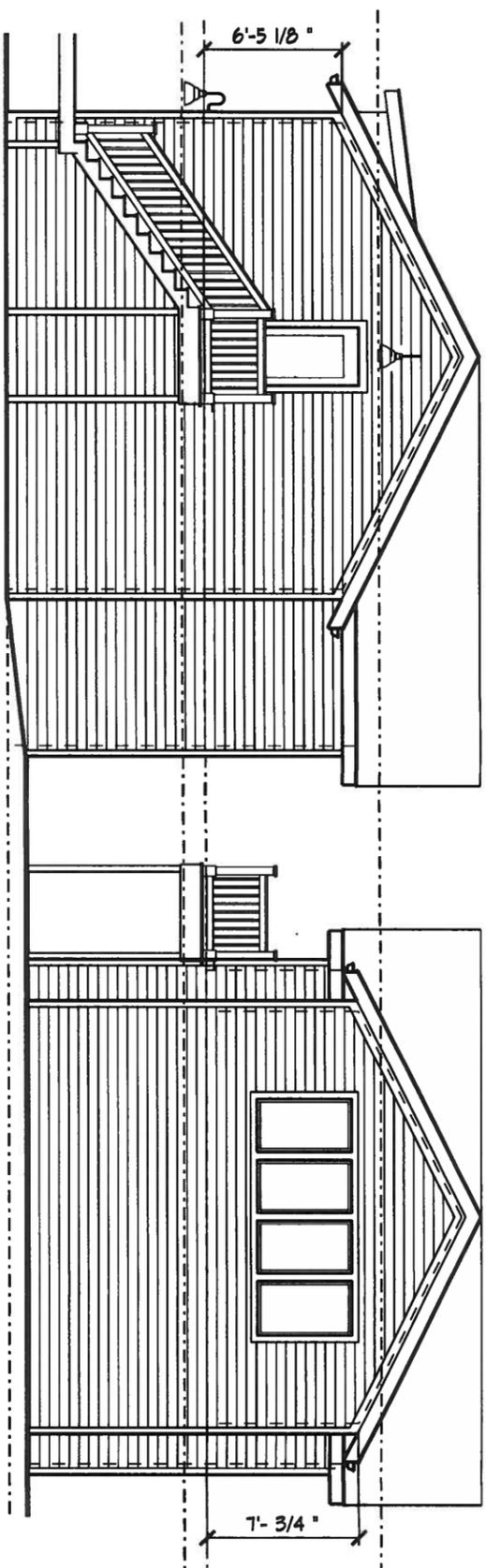
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VA-3810

OCT 16 2013

Franklin County Planning Department
Franklin County, Ohio

JULIET BULLOCK ARCHITECTS
1182 WYANDOTTE RD
COLUMBUS OH 43212
614-935-0944

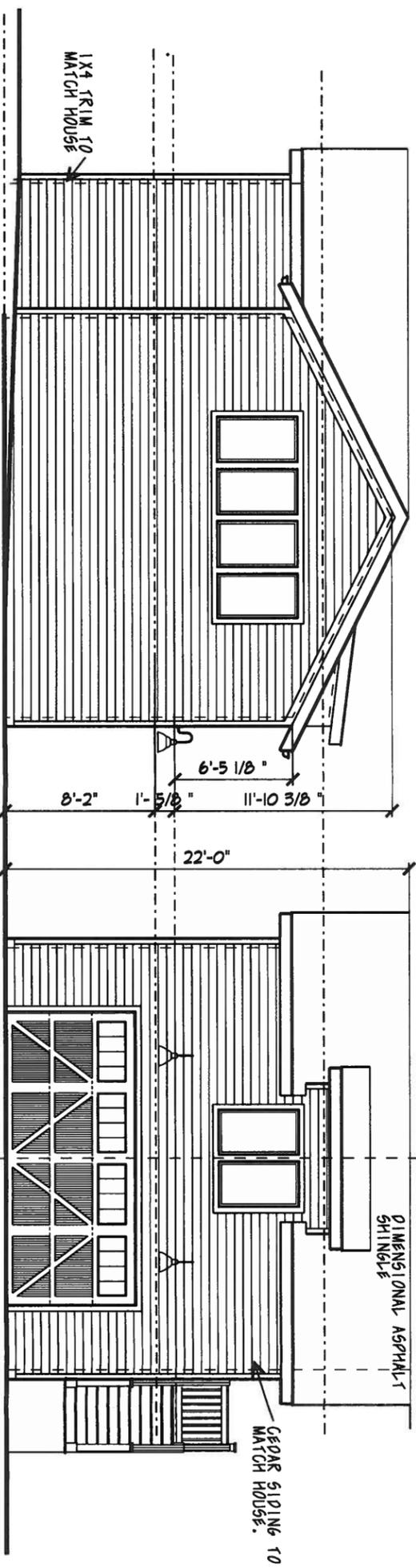


WEST ELEVATION

SCALE: 1/8" = 1'-0"

SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

NORTH ELEVATION

SCALE: 1/8" = 1'-0"

KOPP RESIDENCE
883 PLUM TREE DRIVE
COLUMBUS OHIO

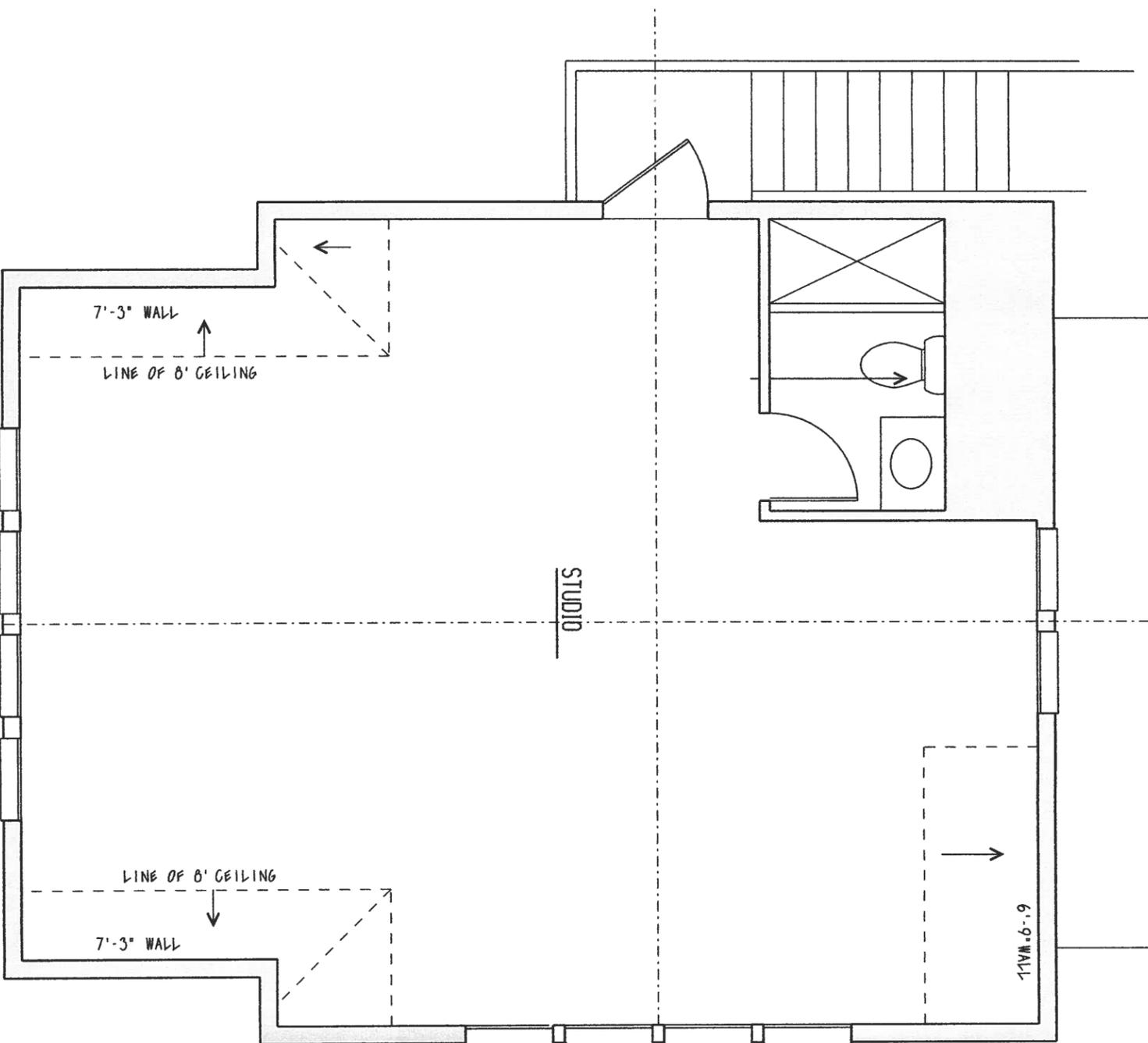
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VA-3810

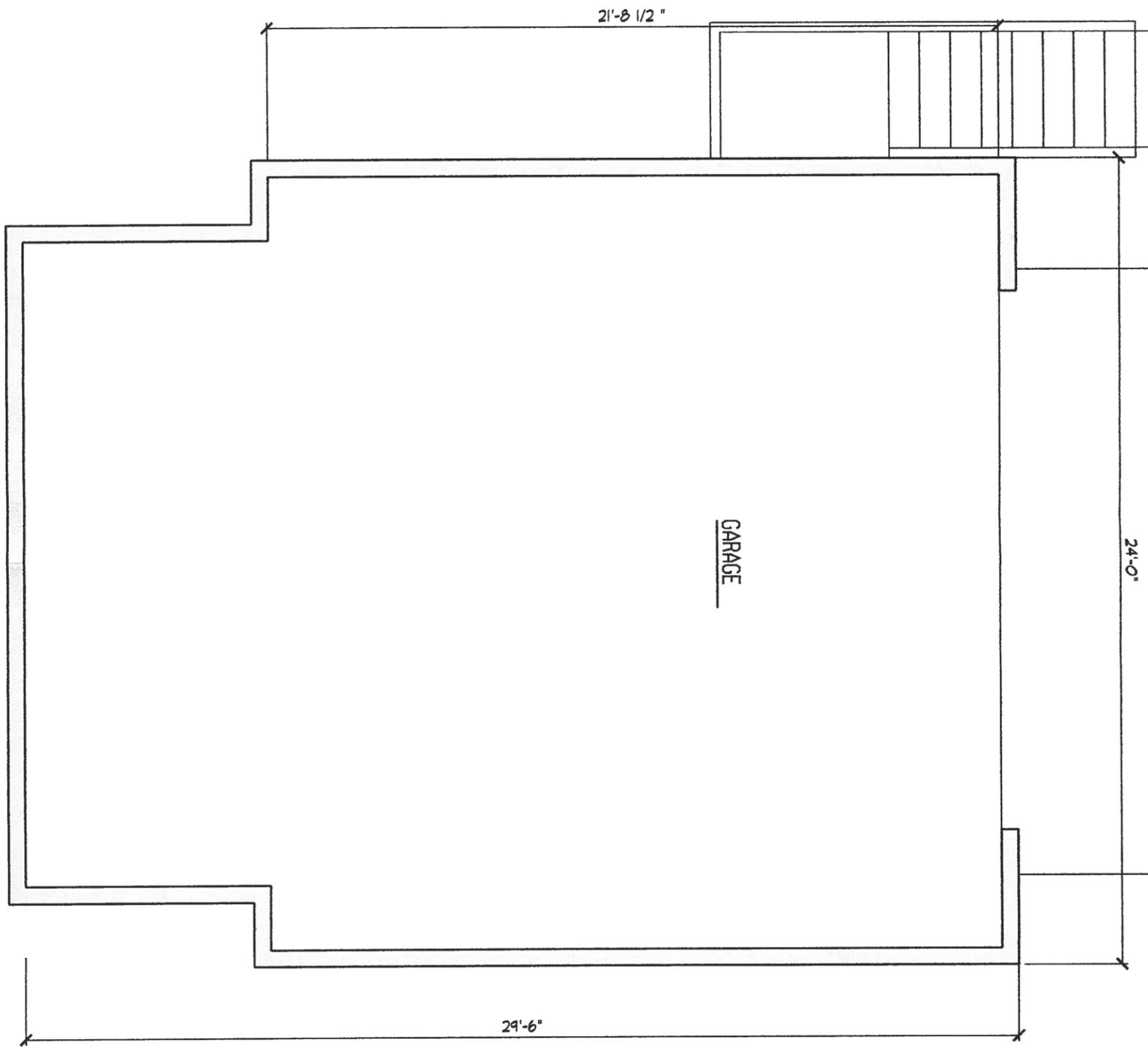
OCT 16 2013

Franklin County Planning Department
Franklin County, Ohio

JULIE BULLOCK ARCHITECTS
182 WYANDOTTE RD
COLUMBUS OH 43212
614-935-0944



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



KOPP RESIDENCE
883 PLUM TREE DRIVE
COLUMBUS OHIO

Ulrich, Scott T.

Franklin County Planning Department
Franklin County, Ohio

From: Lynch, Jim T.
Sent: Wednesday, October 16, 2013 4:36 PM
To: Ulrich, Scott T.
Subject: 883 Plumtree Dr

Scott,

I understand there are proposed changes for this property. It is currently served by an aeration system, which is located behind the house. The aeration system can treat up to 500 gallons per day and discharges to a storm sewer along the road in front of the house. Since the house is small and only has one bedroom and one bathroom, another bath should not affect the functionality of the existing system. I would be concerned about what would be going down the drains if it's to be an art studio. NO paints, chemicals, clay, concrete, etc. or other materials that might be used in an art studio should go down the drains-only what is found in a normal household should be discharged into the septic system. The structure must be 10' from the aeration system. Any plumbing added to the structure would require a permit from this house. Adding a bathroom or sink would also require a sewage system alteration permit from this office. A plot plan to scale should be submitted to verify locations of structures and the waste water treatment system.

Let me know if you have any further questions.

Jim

James Lynch R. S.
Franklin County Public Health
Water Quality Program
280 E. Broad Street
Columbus, Ohio 43215

(614) 525-3929 phone
(614) 525-3851 fax
www.myfcph.org

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