



Commissioner John O'Grady • Commissioner Paula Brooks • Commissioner Marilyn Brown
President

Economic Development & Planning Department
James Schimmer, Director

Franklin County Board of Zoning Appeals

Franklin County Courthouse
Commissioner's Hearing Room – 26th Floor
Columbus, OH 43215

Monday, July 18, 2016
1:30 p.m.

1. Call roll for board members
2. Introduction of staff
3. Swearing in of witnesses
4. Approval of minutes from the June 20, 2016 meetings
5. Old Business:

i. VA-3852 – Brad Fisher

Owner:	Orient (Harrisburg) Dohp XII, LLC C/O Jason Horowitz
Applicant:	JAS GROUP INC.
Township:	Pleasant Township
Site:	6732 Lambert Road (PID #230-000282)
Acreage:	2.18 acres
Zoning:	Neighborhood Commercial (NC) District
Utilities:	Private water and private wastewater
Request:	Requesting a Variance from Sections 670.083(a), 670.083(e), 670.0812(b), 670.083(g) of the Franklin County Zoning Resolution to allow the development of a commercial site that will fail to meet the following requirements: front setback along a primary street, building orientation, parking lot location, and primary entrance on a lot subject to the Smart Growth Overlay in an area zoned Neighborhood Commercial (NC).

6. New Business:

ii. AP-3856 – Brad Fisher

Owner:	Plumbers & Pipefitters Local #189 – Tim Ely
Applicant:	Bogden Architects Inc. - Emil Bogden
Township:	Clinton Township
Site:	1226-1250 Kinnear Road (PID #130-011663)
Acreage:	4.87 acres
Zoning:	Limited Industrial (LI) District
Utilities:	Public water and wastewater
Request:	Requesting an appeal to allow the expansion of a Non-Conforming Use in an area zoned Limited Industrial (LI).

7. Adjournment of Meeting to August 15, 2016



Commissioner John O'Grady • **Commissioner** Paula Brooks • **Commissioner** Marilyn Brown
President

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MINUTES OF THE FRANKLIN COUNTY BOARD OF ZONING APPEALS

Monday, June 20, 2016

The Franklin County Board of Zoning Appeals convened on the 26th floor, Franklin County Courthouse, 373 South High Street, Columbus, Ohio, 43215, on Monday, June 20, 2016.

Present were:

Christopher Baer, Vice Chairperson
Tim Guyton
Nancy Hunter
Paula Armentrout

Franklin County Development Department members,
Jenny Snapp, Assistant Director, Franklin County Economic Development and Planning
Matt Brown, Planning Administrator

Vice Chairperson Baer opened the meeting.

The first order of business being the roll call of members, the introduction of staff, and the swearing in of witnesses.

The next order of business was the approval of the minutes from the May 9th, 2016 meeting. Mr. Guyton made a motion to approve the minutes of the May 9th, 2016. The motion was seconded by Ms. Hunter. The motion was approved by a four-to-zero vote.

Ms. Hunter made a motion to approve the minutes of the May 16th, 2016, meeting. It was seconded by Mr. Baer. The motion was approved by a vote of three yeases and one abstention.

NEW BUSINESS:

The next item of business being Case No. VA/CU-3855. The applicant is Brittany Schroeder/The Pack, LLC. The site is in Franklin Township. The location is 1145 Hague Avenue. It is 0.76 acres in size and is served by public water and private wastewater. The request is for a Variance and Conditional Use from Section 302.035 of the Franklin County Zoning Resolution to allow for the operation of a dog daycare on a property that fails to meet the minimum lot size and property line setback for such a use in an area zoned Rural.

Mr. Brown read and presented the case to the Board of Zoning Appeals. Ms. Hunter made a motion to approve Variance Application/Conditional Use Case VA/CU-3855 with six conditions. It was seconded by Mr. Guyton. The motion was approved by a four-to-zero vote.

There being no further business coming before the Franklin Board of Zoning Appeals, Mr. Guyton made a motion to adjourn the meeting. It was seconded by Ms. Hunter.

By unanimous vote, the meeting was adjourned at 2:44 p.m.

Minutes of the June 20, 2016, Franklin County Board of Zoning Appeals hearing were approved this 18th day of July, 2016.

Signature



Commissioner John O'Grady • Commissioner Paula Brooks • Commissioner Marilyn Brown
President

Economic Development & Planning Department
James Schimmer, Director

STAFF REPORT

Board of Zoning Appeals
July 18, 2016

Case VA-3852

Prepared by: Matt Brown

Applicant:	Orient (Harrisburg) Dohp XII, Llc C/O Jason Horowitz
Owner:	Jas Group Inc
Township:	Pleasant Township
Site:	6732 Lambert Rd. (PID # 230-000282)
Acreage:	2.18 acres
Zoning:	Neighborhood Commercial (NC)
Utilities:	Private water and wastewater
Request:	Requesting a Variance from Sections 670.083(a), 670.083(e), 670.0812(b), 670.083(g) of the Franklin County Zoning Resolution to allow the development of a commercial site that will fail to meet the following requirements: front setback along a primary street, building orientation, building facade, parking lot location, and primary entrance on a lot subject to the Smart Growth Overlay in an area zoned Neighborhood Commercial (NC).

Summary

The Board of Zoning Appeals approved the Applicant's request to table the case at the May 16, 2016 Board meeting. Subsequent to the cases tabling, staff found that the denial of the initial Certificate of Zoning Compliance was in error as it was determined that the Smart Growth Overlay does not apply to the property. The applicant has since submitted a revised Certificate of Zoning Compliance which is currently being reviewed by Technical Review agencies.

Based on this information, staff recommends that the Board of Zoning Appeals **dismiss without prejudice** Variance Case #VA-3852.



Commissioner John O’Grady • Commissioner Paula Brooks • Commissioner Marilyn Brown
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Economic Development & Planning Department
James Schimmer, Director

STAFF REPORT

Board of Zoning Appeals
July 18, 2016

Case AP-3856

Prepared by: Brad Fisher

Owner:	Plumbers and Pipe Fitters Local # 189
Applicant:	Emil Bogden
Township:	Clinton Township
Site:	1226-1250 Kinnear Road (PID #130-011663)
Acreage:	4.87 acres
Zoning:	Limited Industrial
Utilities:	Public water and wastewater
Request:	Requesting an appeal under Section 110.043(3) of the Franklin County Zoning Resolution to allow the expansion of a non-conforming use in an area zoned Limited Industrial.

Summary

Section 110.043(3) allows the expansion of a non-conforming use upon approval of an Appeal to the Board of Zoning Appeals. Staff recommends approval with conditions.

Case History

An application for a certificate of zoning compliance was submitted to the Franklin County Economic Development and Planning Department on April 27, 2016 to allow for the construction of a building with a 15,982 square-foot footprint. The application was denied on May 16, 2016 with the reason for denial stating that in a Limited Industrial District educational uses are not permitted and that side setbacks and parking spaces do not meet minimum standards.

Request

The applicant is appealing to the Board of Zoning Appeals to allow the expansion of the non-conforming use. The appeal states the following:

1. The Plumbers & Pipefitters Local #189 would like to continue operation of the Columbus Union Hall and trade school and expand, creating a new facility in order to provide trade school and Union Hall functions to the community.
2. Building height has been revised from a three story building to a two story building.
3. ADA/Handicap parking spaces have been redesigned to meet parking standards.

The revised site plan dated June 9, 2016, indicates that development standards of the Limited Industrial district will be met.

Comprehensive Plan

The Clinton West Neighborhood Plan, adopted in 2012, includes a Future Land Use Map and a Vision for Guiding Growth. The Future Land Use Map recommends this site for Light Industrial and Office uses with the following corresponding zoning districts: Suburban Office (SO), Neighborhood Commercial (NC), Restricted Industrial (RI) and Limited Industrial (LI). The Visions for Guiding Growth recommend general land use, site design and transportation needs.

Keeping with the Plan, the site would be designed facing the primary street with attractive plantings, an economically sustainable outdoor lighting system and a brick façade that is similar to structures on properties to the east, south and west. The site plan however, is lacking bicycle parking and sidewalks that would accommodate pedestrians as proposed in the Design Guidelines of the Plan. Although the brick façade blends well with the surrounding architecture, vertical elements which are meant to better articulate and define a building façade are absent.

The existing use is permitted in the Suburban Office (SO) district and therefore the proposal keeps with the land use plan recommendation.

Staff review

Appeal from Section 110.043(3) - Non-Conforming Uses: The non-conforming use of a lot and/or a structure may be continued, expanded or changed, subject to the following:

- On approval of an appeal to the Board of Zoning Appeals, a non-conforming use may be expanded.
 - The Limited Industrial District does not permit educational uses.
 - The applicant proposes to construct a 2-story building for educational purposes on the property totaling 29,410 square feet. The proposal includes the removal of 3,752 square feet of existing educational space. The net square foot increase for educational purposes is 25,658 square feet.

Franklin County Drainage Engineer's Office

The Franklin County Drainage Engineer's Office has requested storm water calculations and Best Management Practices (BMP) to be included in the Storm Water Pollution Prevention Plan (SWPPP) at the time of applying for a zoning compliance.

Franklin Soil and Water Conservation District

The Franklin Soil and Water Conservation District has requested a standalone Operation and Maintenance (O&M) plan for the post construction Best Management Practices (BMP).

Staff Analysis

The proposed development complies with the development standards of the Limited Industrial (LI) district and the existing use is consistent with the Clinton-Mifflin Land Use Plan. Staff believes that the proposal promotes public health, safety and general welfare in the community by allowing for the continued and expanded use of the property consistent with the zoning district's development standards and adopted comprehensive plan.

Recommendation

Staff recommends *approval* with conditions of the appeal from Section 110.043(3) of the Franklin County Zoning Resolution to allow for the expansion of a non-conforming use in an area zoned Limited Industrial. The conditions of approval are as follows:

1. The applicant must apply for and receive a Certificate of Zoning Compliance from the Franklin County Economic Development and Planning Department.

2. The applicant must provide all necessary stormwater calculations and plans at the time of filing for a Certificate of Zoning Compliance.
3. At the time a sidewalk is installed along Kinnear Road, a pedestrian walkway must be installed connecting the existing building's primary entrance to the sidewalk along the roadway.
4. The applicant must install six (6) bicycle parking spaces near the primary entrance of each building.

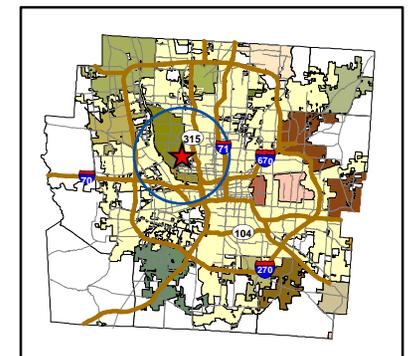


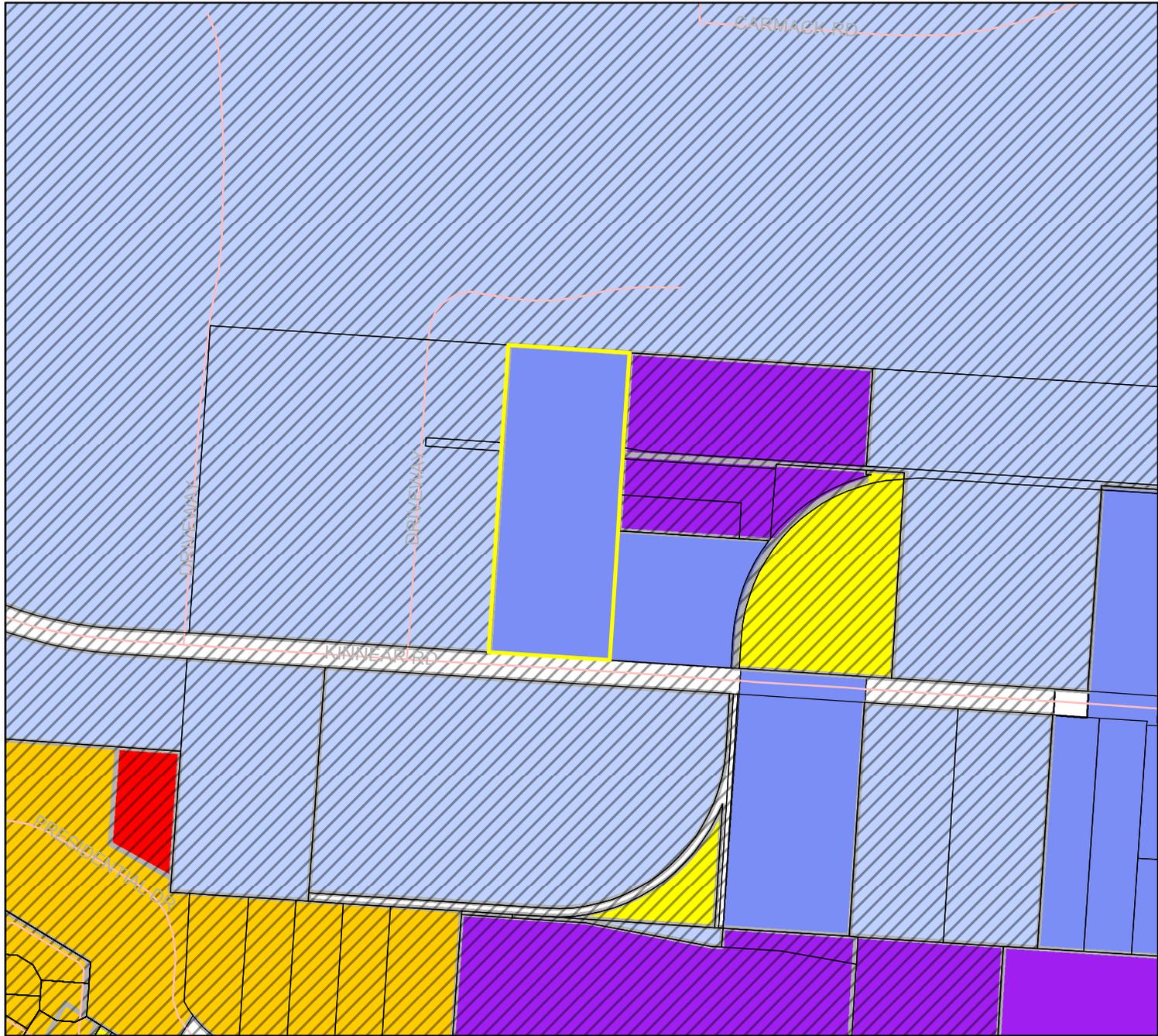
AP-3856

Requesting an appeal to allow the expansion of a Non-Conforming Use in an area zoned Limited Industrial (LI).

4.87 Acres
Clinton Township

- 1226-1250 Kinneer Road
- Parcels
- Streets





AP-3856

Requesting an appeal to allow the expansion of a Non-Conforming Use in an area zoned Limited Industrial (LI).

4.87 Acres
Clinton Township

1226-1250 Kinneary Road

Parcels

Streets

Columbus

Zoning

Limited Industrial

Columbus Zoning

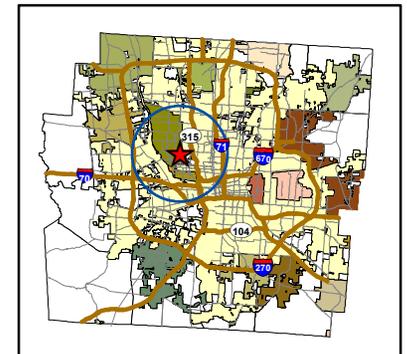
Commercial

Manufacturing

Multi-family

Research Park

Residential



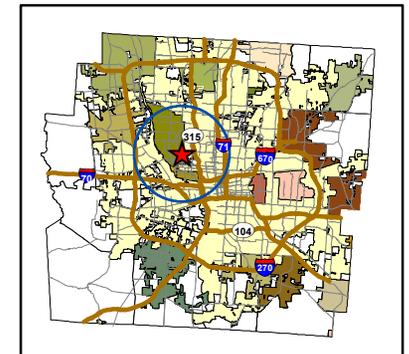


AP-3856

Requesting an appeal to allow the expansion of a Non-Conforming Use in an area zoned Limited Industrial (LI).

4.87 Acres
Clinton Township

-  1226-1250 Kinnear Road
-  Parcels
-  Streets



ZONING PLAN

1226 KINNEAR ROAD

CLINTON TOWNSHIP, FRANKLIN COUNTY, OHIO

2016

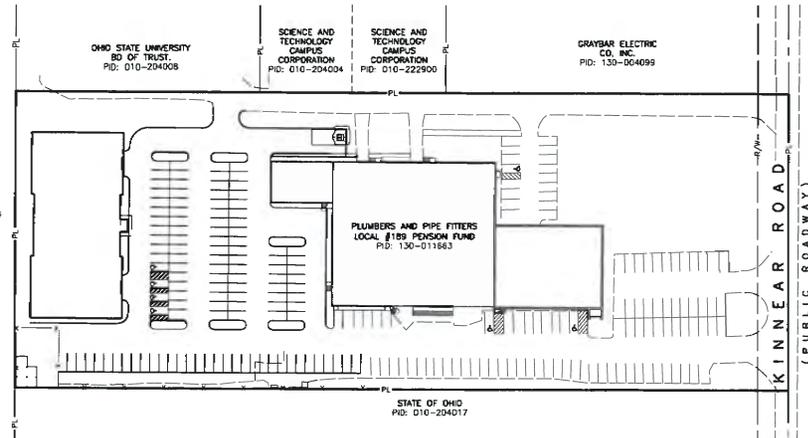
Owner/Developer Information:
 PLUMBERS AND PIPE FITTERS
 LOCAL #189 PENSION FUND
 1226 KINNEAR ROAD
 COLUMBUS, OHIO 43212

Architect Information:
 BOGDEN ARCHITECTS
 850 KING AVENUE
 COLUMBUS, OHIO 43212
 CONTACT: EMIL BOGDEN
 PH: 614-421-7774
 EMAIL: emil@bogden.com

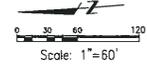
Civil Engineer Information:
 E.P. FERRIS & ASSOCIATES
 880 KING AVENUE
 COLUMBUS, OHIO 43212
 Contact: SEAN GILLILAN, P.E.
 PH: 614-299-2999
 FAX: 614-299-2992
 EMAIL: sgillilan@epferris.com



LOCATION MAP
 Not To Scale



INDEX MAP
 Scale: 1"=60'



SHEET INDEX

TITLE SHEET	1
EXISTING CONDITIONS PLAN	2-3
SITE LAYOUT PLAN	4-5
GRADING PLAN	6-7
EROSION CONTROL AND SWPP PLAN	8-9
SWPPP NOTES	10

SITE DATA TABLE:

Total Site Area:	5,000 Ac.
Pre-Developed Impervious Area:	2,265 Ac.
Ex. Gravel @ 90% Impervious:	1,334 Ac.
Post-Developed Impervious Area:	3,260 Ac.
% of Lot Area Covered by Buildings:	21.6 %
Disturbed Area:	1.76 Ac.
Total Existing Parking Spaces:	103 Spaces
Total Proposed Parking Spaces:	238 Spaces
Handicapped Parking Spaces:	7 Spaces

OHIO
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SERVICE
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 www.oups.org

RECEIVED

JUN 09 2016

Franklin County Planning Department
 Franklin County, OH

AP-3856

REVISIONS

NO.	DATE	DESCRIPTION	BY

E. P. FERRIS
 AND
ASSOCIATES
 INC.

CONTACT:
 880 KING AVENUE
 COLUMBUS, OHIO 43212
 (614) 299-2999 (Fax)
 (614) 299-2992
 www.EPFERRIS.com



**NOT FOR CONSTRUCTION -
 FOR ZONING REVIEW ONLY**

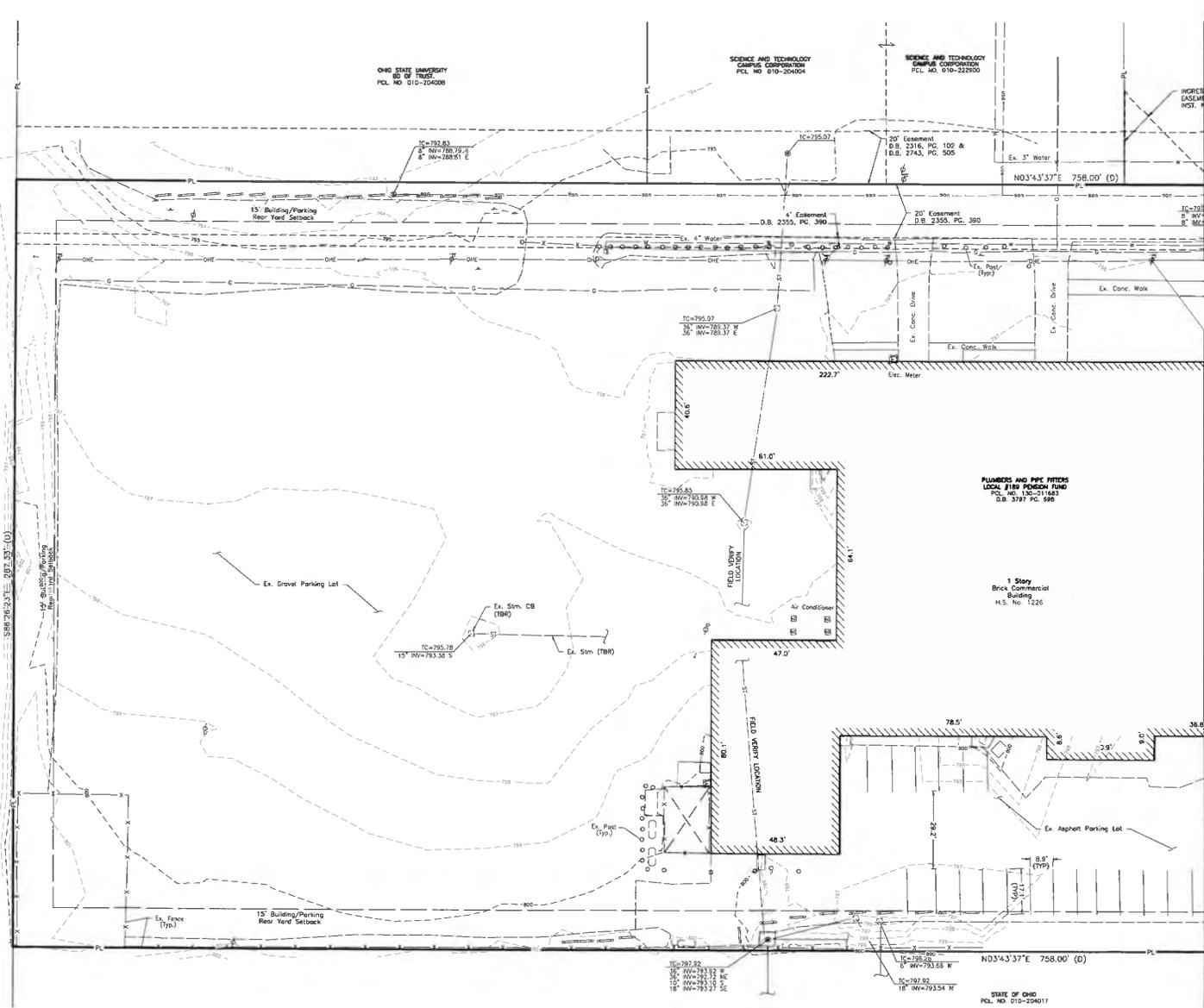
REGISTERED ENGINEER DATE

TITLE SHEET

SHEET NO	OF	DATE
1	10	06/09/16

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MATCH LINE - SEE NEXT SHEET

- LEGEND**
- AI Ex. Fire Hydrant
 - Ex. Pull Box
 - Ex. Tree
 - Ex. Catch Basin
 - ⊙ Ex. Sanitary Manhole
 - ⊙ Ex. Storm Manhole
 - ⊙ Ex. Storm Curb Inlet
 - ⊙ Ex. Utility Pole
 - ⊙ Ex. Light Pole
 - ⊙ Ex. Gas Service Valve
 - ⊙ Ex. Underground Tele. Pedestal
 - ⊙ Ex. Water Service Valve
 - ⊙ Ex. Sign
 - X Ex. Fence
 - W Ex. Water Line
 - WS Ex. Water Service
 - UGT Ex. Underground Telephone
 - G Ex. Gas
 - ST Ex. Storm
 - SA Ex. Sanitary
 - Ex. Underground Electric
 - Ex. Overhead Electric
 - Prop. Catch Basin
 - ⊙ Prop. Storm Manhole
 - Prop. Storm Sewer
 - Prop. Downspout Line
 - Prop. Sanitary
 - Prop. Sanitary Svc.
 - Prop. Water
 - Prop. Water Svc.
 - Prop. Concrete Walk/Drive
 - Prop. Clean-out
 - DND Do Not Disturb
 - ▲ Proposed Flood Route
 - Proposed Drainage Flow Directional Arrow
 - Prop. Construction Limits
- NOTE: (TBR) Shall mean to be removed.



REVISIONS	DATE	BY	CHK

E. P. FERRIS AND ASSOCIATES INC.
 Consulting Civil Engineers and Surveyors

CONTACT:
 880 KING AVENUE
 COLUMBUS, OHIO 43212
 (614) 299-2898
 (614) 299-2992 (Fax)
 www.EPFERRIS.com

CLINTON TOWNSHIP, FRANKLIN COUNTY, OHIO
1226 KINNEAR ROAD
 PLUMBERS AND PIPE FITTERS LOCAL #189 PENSION FUND

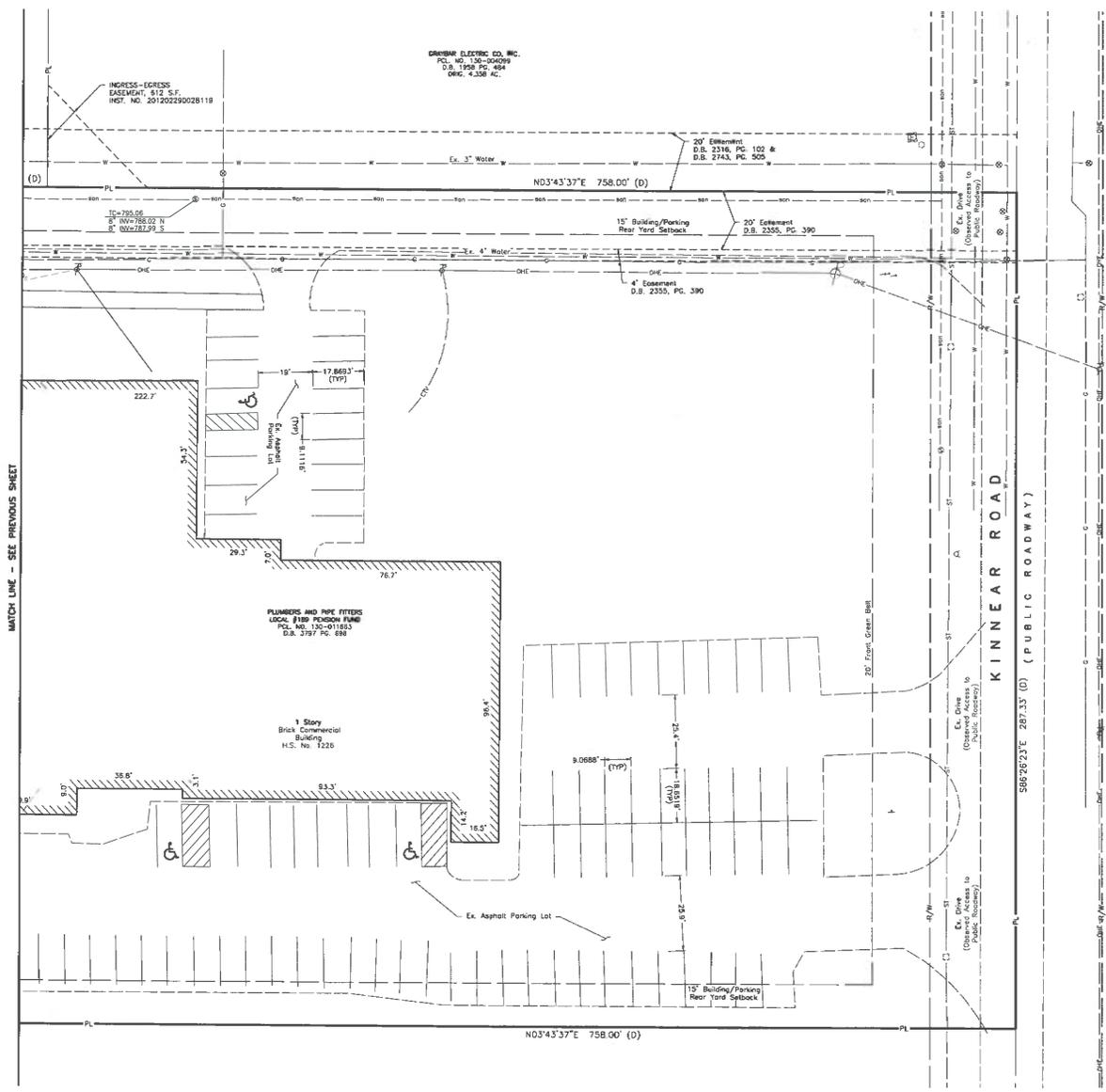
JOB NO. 670.008
 DESIGNED BY: CLP
 DRAWN BY: CLP
 CHECKED BY: SWG
 APPROVED BY:
 DATE: 04/25/16

EXISTING CONDITIONS PLAN

SCALE: 1" = 20'

SHEET NO.	OF
2	10

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- LEGEND**
- ⊠ Ex. Fire Hydrant
 - ⊠ Ex. Pull Box
 - ⊠ Ex. Trap
 - ⊠ Ex. Catch Basin
 - ⊠ Ex. Sanitary Manhole
 - ⊠ Ex. Storm Manhole
 - ⊠ Ex. Storm Curb Inset
 - ⊠ Ex. Utility Pole
 - ⊠ Ex. Light Pole
 - ⊠ Ex. Gas Service Valve
 - ⊠ Ex. Underground Ties, Pedestal
 - ⊠ Ex. Water Service Valve
 - ⊠ Ex. Sign
 - X Ex. Fence
 - W Ex. Water Line
 - WS Ex. Water Service
 - UGT Ex. Underground Telephone
 - G Ex. Gas
 - ST Ex. Storm
 - SA Ex. Sanitary
 - UG Ex. Underground Electric
 - OHC Ex. Overhead Electric
 - Prop. Catch Basin
 - ⊠ Prop. Storm Manhole
 - Prop. Storm Sewer
 - Prop. Downspout Line
 - Prop. Sanitary
 - Prop. Sanitary Svc.
 - Prop. Water
 - Prop. Water Svc.
 - Prop. Concrete Walk/Drive
 - Prop. Clean-out
 - DN Do Not Disturb
 - Proposed Flood Route
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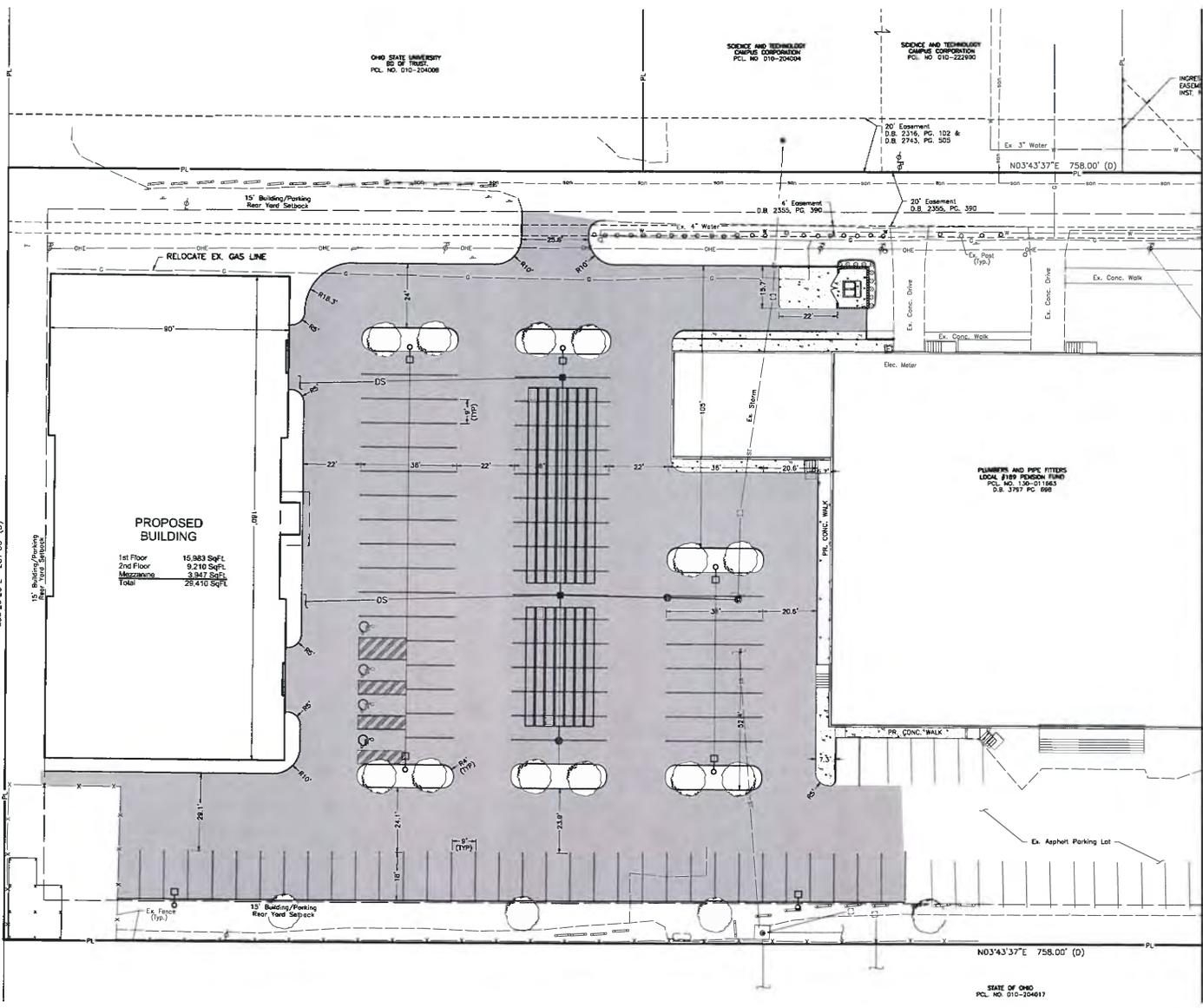
CLINTON TOWNSHIP, FRANKLIN COUNTY, OHIO
1226 KINNEAR ROAD
 PLUMBERS AND PIPE FITTERS LOCAL #189 PENSION FUND

JOB NO.	970.008
DESIGNED BY:	CLP
DRAWN BY:	CLP
CHECKED BY:	SWG
APPROVED BY:	
DATE:	04/25/16

EXISTING CONDITIONS PLAN

SCALE:	1" = 20'
SHEET NO.	OF
3	10

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- LEGEND**
- ⊙ Ex. Fire Hydrant
 - ☐ Ex. Fuel Box
 - Ex. Tree
 - ⊕ Ex. Catch Basin
 - ⊙ Ex. Sanitary Manhole
 - ⊙ Ex. Storm Manhole
 - ⊙ Ex. Storm Curb Inlet
 - ⊙ Ex. Utility Pole
 - ⊙ Ex. Light Pole
 - ⊙ Ex. Gas Service Valve
 - ⊙ Ex. Underground Tel. Pedestal
 - ⊙ Ex. Water Service Valve
 - ⊙ Ex. Sign
 - X- Ex. Fence
 - W- Ex. Water Line
 - WS- Ex. Water Service
 - UGT- Ex. Underground Telephone
 - G- Ex. Gas
 - ST- Ex. Storm
 - SA- Ex. Sanitary
 - UE- Ex. Underground Electric
 - OHE- Ex. Overhead Electric
 - Prop. Catch Basin
 - ⊙ Prop. Storm Manhole
 - ⊙ Prop. Light Pole
 - ⊙ Prop. Storm Sewer
 - DS- Prop. Downspout Line
 - SA- Prop. Sanitary
 - SS- Prop. Sanitary Svc
 - W- Prop. Water
 - WS- Prop. Water Svc
 - ⊙ Prop. Concrete Walk/Drive/Driveway/Driveway Pad
 - ⊙ Prop. Asphalt Parking Lot
 - ⊙ Prop. Clean-out
 - DND Do Not Disturb
 - ◆ Proposed Flood Route
 - Proposed Drainage Flow Directional Arrow
 - Prop. Construction Limits
- NOTE: (TBR) Shall mean to be removed.

MATCH LINE - SEE NEXT SHEET

STATE OF OHIO
P.C.L. NO. 010-20408

588°26'23"E 287.33' (D)

PROPOSED BUILDING
1st Floor 15,883 SqFt
2nd Floor 9,210 SqFt
Mechanical 3,947 SqFt
Total 29,040 SqFt

PLUMBERS AND PIPE FITTERS
LOCAL #189 PENSION FUND
P.C.L. NO. 136-011643
D.B. 3747, PG. 666

STATE OF OHIO
P.C.L. NO. 010-20407



REVISIONS	DATE	BY	CHK.

E. P. FERRIS AND ASSOCIATES INC.
Consulting Civil Engineers and Surveyors

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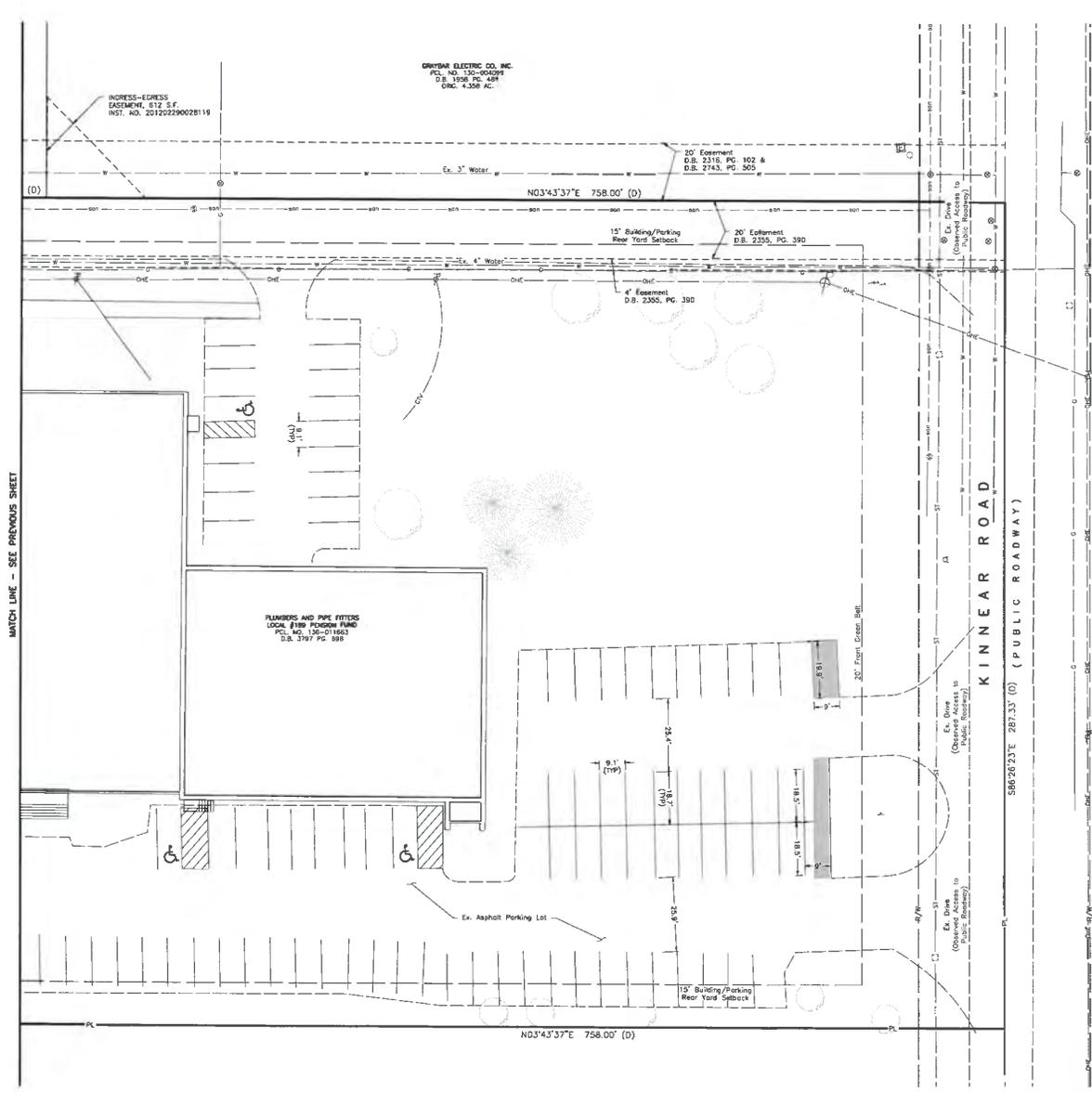
CLINTON TOWNSHIP, FRANKLIN COUNTY, OHIO
1226 KINNEAR ROAD
PLUMBERS AND PIPE FITTERS LOCAL #189 PENSION FUND

JOB NO.	970.008
DESIGNED BY	CLP
DRAWN BY	CLP
CHECKED BY	SWC
APPROVED BY	
DATE	04/25/16

SITE LAYOUT PLAN

SCALE: 1" = 20'	
SHEET NO.	OF
4	10

Drawing: 14\170008_Kinneer\DWG\Production Drawings\Site Layout_Plotting_Seed on: 04-19-18 12:48 Revised by: emiller -11Scale: 1"=20'PS



- LEGEND**
- ⊙ Ex. Fire Hydrant
 - ⊠ Ex. Pull Box
 - ⊙ Ex. Tree
 - ⊙ Ex. Catch Basin
 - ⊙ Ex. Sanitary Manhole
 - ⊙ Ex. Storm Manhole
 - ⊙ Ex. Storm Curb Inlet
 - ⊙ Ex. Utility Pole
 - ⊙ Ex. Light Pole
 - ⊙ Ex. Gas Service Valve
 - ⊙ Ex. Underground Tele. Pedestal
 - ⊙ Ex. Water Service Valve
 - ⊙ Ex. Sign
 - X- Ex. Fence
 - W- Ex. Water Line
 - WS- Ex. Water Service
 - LOT- Ex. Underground Telephone
 - G- Ex. Gas
 - ST- Ex. Storm
 - SA- Ex. Sanitary
 - UG- Ex. Underground Electric
 - OIE- Ex. Overhead Electric
 - Prop. Catch Basin
 - ⊙ Prop. Storm Manhole
 - ⊙ Prop. Light Pole
 - ⊙ Prop. Storm Sewer
 - DS- Prop. Downspout Line
 - SA- Prop. Sanitary
 - SS- Prop. Sanitary Svc
 - W- Prop. Water
 - WS- Prop. Water Svc
 - Prop. Concrete Walk/Drive/ Dumpster Pad
 - Prop. Asphalt Parking Lot
 - ⊙ Prop. Clean-out
 - DND Do Not Disturb
 - ➔ Proposed Flood Route
 - ➔ Proposed Drainage Flow Directional Arrow
 - Prop. Construction Limits
- NOTE: (TBR) Shall mean to be removed



REVISIONS	DATE	BY	CHK

E. P. FERRIS AND ASSOCIATES INC.
 Consulting Civil Engineers and Surveyors

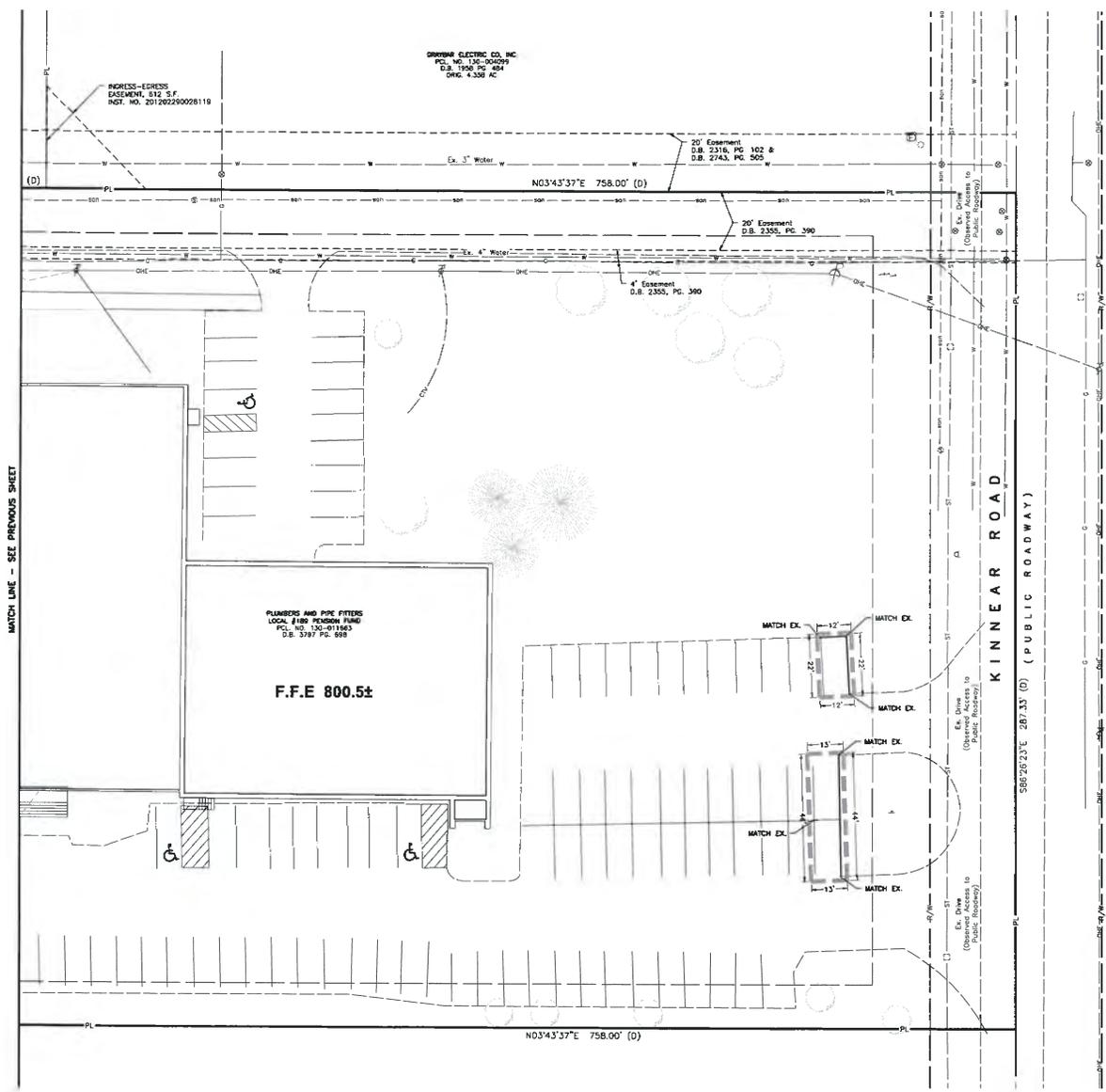
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1226 KINNEAR ROAD
 PLUMBERS AND PIPE FITTERS LOCAL #189 PENSION FUND

JOB NO.	970.008
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CHECKED BY	SWC
APPROVED BY	
DATE	04/25/16

SITE LAYOUT PLAN	
SCALE: 1" = 20'	
SHEET NO.	OF
5	10

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- LEGEND**
- 11 Ex. Fire Hydrant
 - Ex. Post Box
 - Ex. Tree
 - Ex. Catch Basin
 - Ex. Sanitary Manhole
 - Ex. Storm Manhole
 - Ex. Storm Curb Inlet
 - ⊕ Ex. Utility Pole
 - ⊕ Ex. Light Pole
 - ⊕ Ex. Gas Service Valve
 - ⊕ Ex. Sewer Service Valve
 - ⊕ Ex. Undergound Tele. Pedestal
 - ⊕ Ex. Water Service Valve
 - ⊕ Ex. Sign
 - X- Ex. Fence
 - W- Ex. Water Line
 - WS- Ex. Water Service
 - UGT- Ex. Undergound Telephone
 - G- Ex. Gas
 - ST- Ex. Storm
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 - UGE- Ex. Undergound Electric
 - DHE- Ex. Overhead Electric
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 - WS- Prop. Water Svc.
 - CO₂ Prop. Clean-out
 - DND Do Not Disturb
 - ➔ Proposed Flood Route
 - ➔ Proposed Dringnell Flow Directional Arrow
 - 788.00 Proposed Spot Grade
 - Prop. Construction Limits
- NOTE: (TR) shall mean to be removed

REVISIONS	DATE	BY	CHK

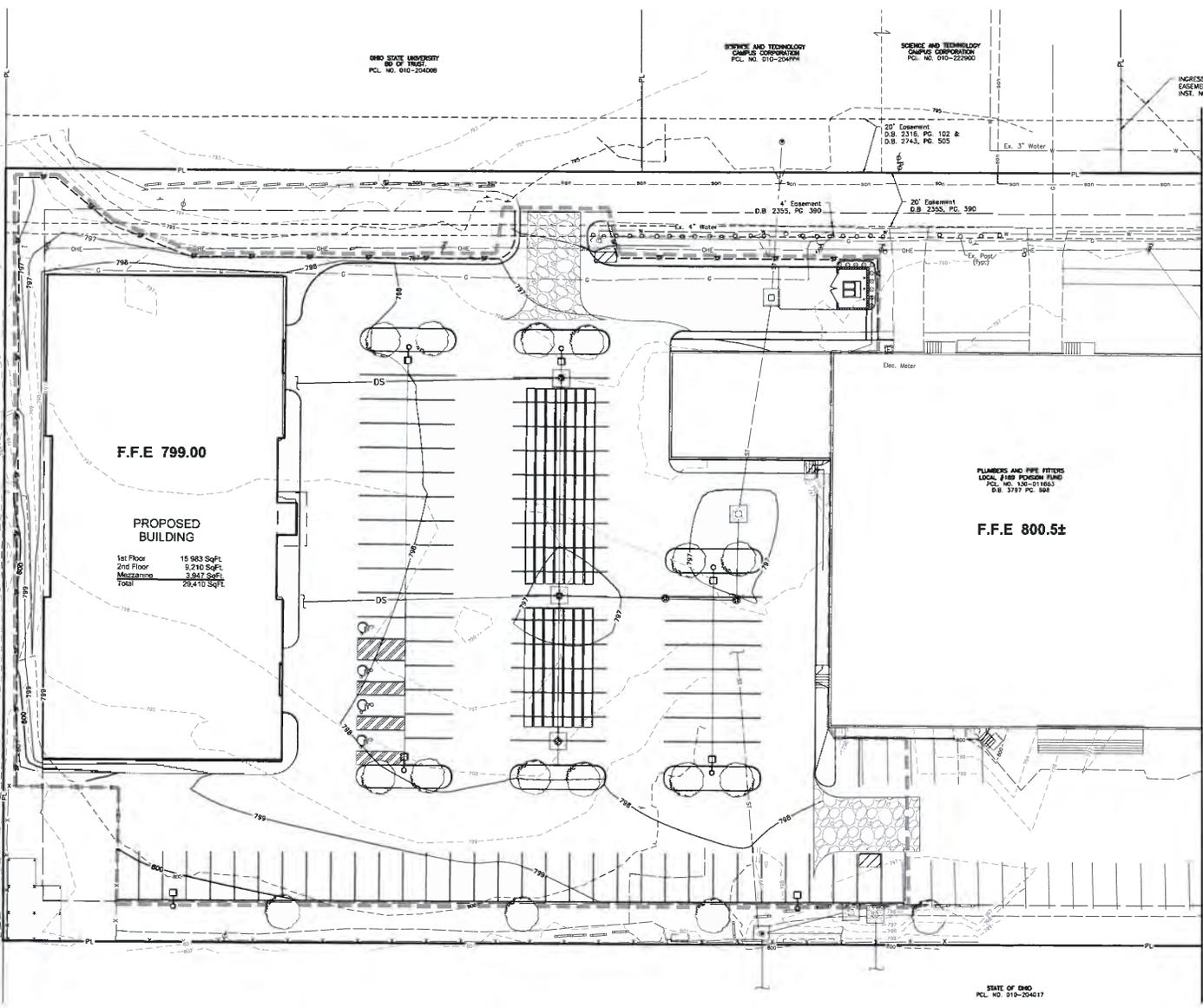
E. P. FERRIS
AND
ASSOCIATES
INC.
Consulting Civil Engineers and Surveyors

CONTACT:
880 KING AVENUE
COLUMBUS, OHIO 43212
(614) 298-2999
(614) 298-2892 (Fax)
www.EPFERRIS.com

CLINTON TOWNSHIP, FRANKLIN COUNTY, OHIO
1226 KINNEAR ROAD
PLUMBERS AND PIPE FITTERS LOCAL #189 PENSION FUND

JOB NO.	970.008
DESIGNED BY	CLP
DRAWN BY	CLP
CHECKED BY	SWG
APPROVED BY	
DATE:	06/08/15

GRADING PLAN		SCALE: 1" = 20'
SHEET NO.	OF	
7	10	



- LEGEND**
- ⊙ Ex. Fire Hydrant
 - ☐ Ex. Pull Box
 - ☐ Ex. Tree
 - ☐ Ex. Catch Basin
 - ☐ Ex. Sanitary Manhole
 - ☐ Ex. Storm Manhole
 - ☐ Ex. Storm Curb Inlet
 - ☐ Ex. Utility Pole
 - ☐ Ex. Light Pole
 - ☐ Ex. Gas Service Valve
 - ☐ Ex. Underground Tele. Pedestal
 - ☐ Ex. Water Service Valve
 - ☐ Ex. Sign
 - X- Ex. Fence
 - W- Ex. Water Line
 - WS- Ex. Water Service
 - UGT- Ex. Underground Telephone
 - G- Ex. Gas
 - ST- Ex. Storm
 - SA- Ex. Sanitary
 - UGE- Ex. Underground Electric
 - OHE- Ex. Overhead Electric
 - ☐ Prop. Catch Basin
 - ☐ Prop. Storm Manhole
 - ☐ Prop. Storm Sewer
 - DS- Prop. Downspout Line
 - SA- Prop. Sanitary
 - SS- Prop. Sanitary Svc
 - W- Prop. Water
 - WS- Prop. Water Svc
 - ☐ Prop. Clean-out
 - DND Do Not Disturb
 - ☐ Proposed Flood Route
 - ☐ Proposed Drainage Flow Directional Arrow
 - SF- Filter Fabric Fence
 - ☐ Inlet Protection
 - ☐ Concrete Washout Area
 - ☐ Stabilized Construction Entrance
 - ☐ Prop. Construction Limits

MATCH LINE - SEE NEXT SHEET



STATE OF OHIO
P.L. NO. 010-203944

STATE OF OHIO
P.L. NO. 010-204017

OHIO STATE UNIVERSITY
603 OF TRUST
P.L. NO. 010-204008

SCIENCE AND TECHNOLOGY
CORPUS CORPORATION
P.L. NO. 010-204009

SCIENCE AND TECHNOLOGY
CORPUS CORPORATION
P.L. NO. 010-204000

INGRESS-EGRESS
EASEMENT, 812 S.F.
INST. NO. 20120220028119

20' Easement
D.B. 2318, PG. 102 &
D.B. 2743, PG. 503

4' Easement
D.B. 2355, PG. 350

20' Easement
D.B. 2355, PG. 350

F.F.E 799.00

PROPOSED BUILDING

1st Floor 15,983 SqFt
2nd Floor 9,210 SqFt
Mezzanine 3,817 SqFt
Total 29,010 SQFT

**PLUMBERS AND PIPE FITTERS
LOCAL #189 PENSION FUND**
P.L. NO. 030-011603
D.B. 3377, PG. 168

F.F.E 800.5±

Drawing: M:\370000_01\merris\DWG\Production Drawings\Grading\Plan.dwg Saved on: 04/14/16 14:25. Revised by: emiller - L:\cisco: 1 - 2nd scale: 1"=1' 1/2" / PS

REVISIONS	DATE	BY	CHK.

**E. P. FERRIS
AND
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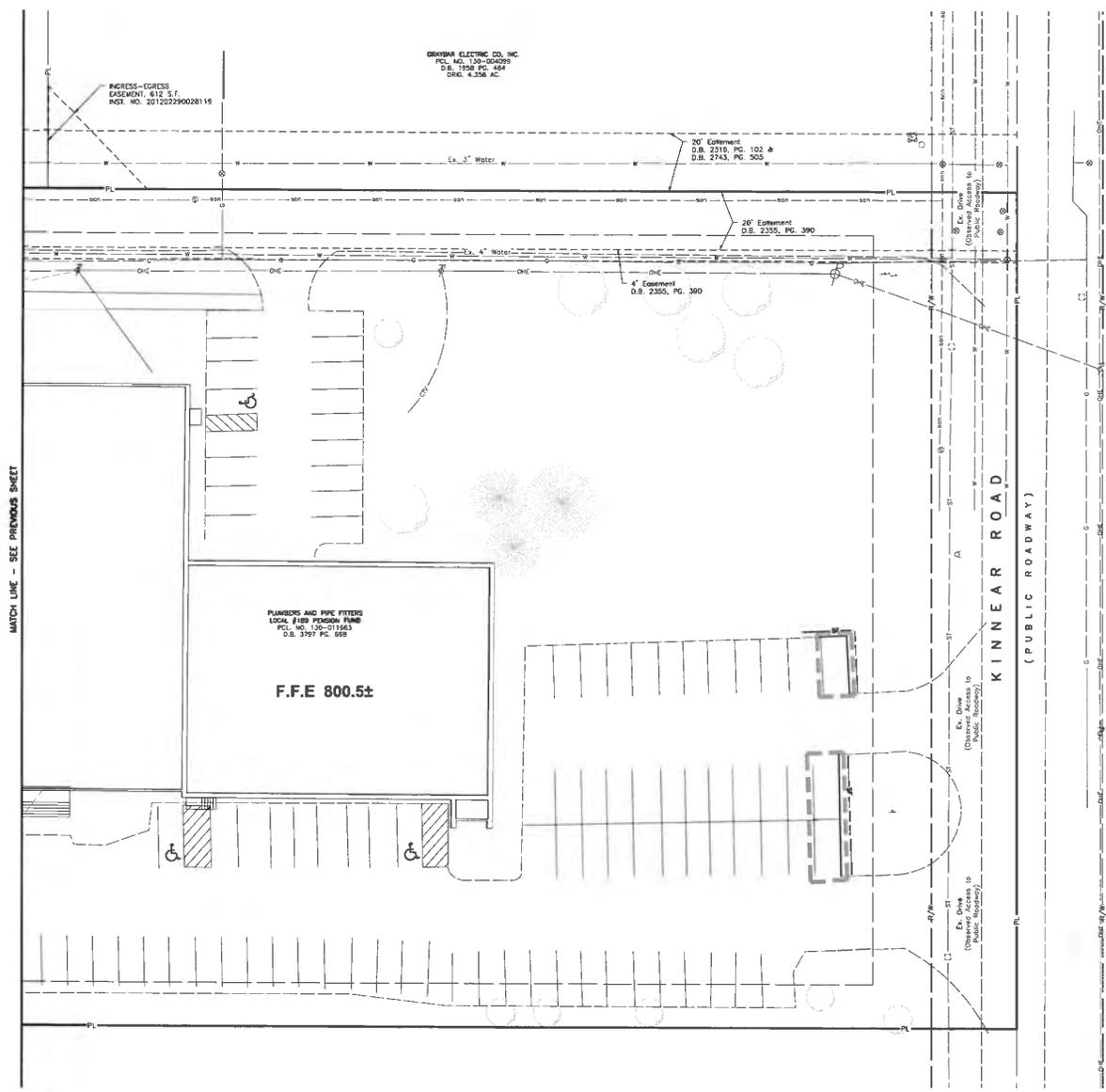
CLINTON TOWNSHIP, FRANKLIN COUNTY, OHIO
1226 KINNEAR ROAD
PLUMBERS AND PIPE FITTERS LOCAL #189 PENSION FUND

JOB NO.	870.008
DESIGNED BY	CLP
DRAWN BY	CLP
CHECKED BY	SWC
APPROVED BY	
DATE	06/08/16

**EROSION CONTROL AND
SWPP PLAN**

SCALE:	1" = 20'
SHEET NO.	OF
8	10

Drawing: I:\370000_Kinneer\DWG\Production Drawings\Grading\Planning Sheet 04-14-16 1425 Revised by: emiller -1- E:\proj scale 1=1 1/8"=1'



- LEGEND**
- AA Ex. Fire Hydrant
 - ☐ Ex. Pull Box
 - ☐ Ex. Tree
 - ☐ Ex. Catch Basin
 - ☐ Ex. Sanitary Manhole
 - ☐ Ex. Storm Manhole
 - ☐ Ex. Storm Curb Inlet
 - ☐ Ex. Utility Pole
 - ☐ Ex. Light Pole
 - ☐ Ex. Gas Service Valve
 - ☐ Ex. Undergound Tlm. Pedestal
 - ☐ Ex. Water Service Valve
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 - DND Do Not Disturb
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 - SF- Filter Fabric Fence
 - ☐ Inlet Protection
 - ☐ Concrete Washout Area
 - ☐ Stabilized Construction Entrance
 - Prop. Construction Limits



REVISIONS	DATE	BY	CHK.

E. P. FERRIS AND ASSOCIATES INC.
 Consulting Civil Engineers and Surveyors

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CLINTON TOWNSHIP, FRANKLIN COUNTY, OHIO
1226 KINNEAR ROAD
 PLUMBERS AND PIPE FITTERS LOCAL #189 PENSION FUND

JOB NO. 970.D08
 DESIGNED BY: CLP
 DRAWN BY: CLP
 CHECKED BY: SWG
 APPROVED BY: _____
 DATE: 06/08/16

EROSION CONTROL AND SWPP PLAN

SCALE: 1" = 20'

SHEET NO.	OF
9	10

CONSULTANTS

SEAL

**Plumbers and Pipefitters
Local #189 New Building**
1250 Kinnear Road
Columbus, OH 43212



EXISTING BUILDING PLAN

SCALE: 1/16" = 1'-0"

EXISTING BUILDING SQ FT		
Use	Area SqFt	
1st FLOOR		
Assembly Hall	9,879	
Lab/Classroom	16,065	
Office	11,241	
	37,205 sq ft	



02	06-09-2016	Zoning Compliance Revised Building
01	04-23-2016	Zoning Compliance
MARK	Date	DESCRIPTION
PROJECT NO: 15125.00		
DESIGNED BY: DK		
DRAWN BY: DK		
CHECKED BY: EB		

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SHEET TITLE
EXISTING FLOOR PLAN

P:\1125.00_Kinnear and Pipefitters\1125.00_15125.00_15125.00_Kinnear-2_1st Floor Existing.dwg, 06/09/2016

CONSULTANTS

SEAL

**Plumbers and Pipefitters
Local #189 New Building**
1250 Kinnear Road
Columbus, OH 43212



PROPOSED EXISTING BUILDING PLAN

SCALE: 1/16" = 1'-0"

EXISTING BUILDING SQ. FT. ALTERED		
	USE	Area SqFt
1st FLOOR	Assembly Hall	9,879
	Lab/Classroom	12,260
	Office	11,241
		33,380 sq ft



02	06-09-2016	Zoning Compliance Revised Building
01	04-22-2016	Zoning Compliance
MARK	Date	DESCRIPTION
PROJECT NO: 15125.00		
DESIGNED BY: DK		
DRAWN BY: DK		
CHECKED BY: EB		

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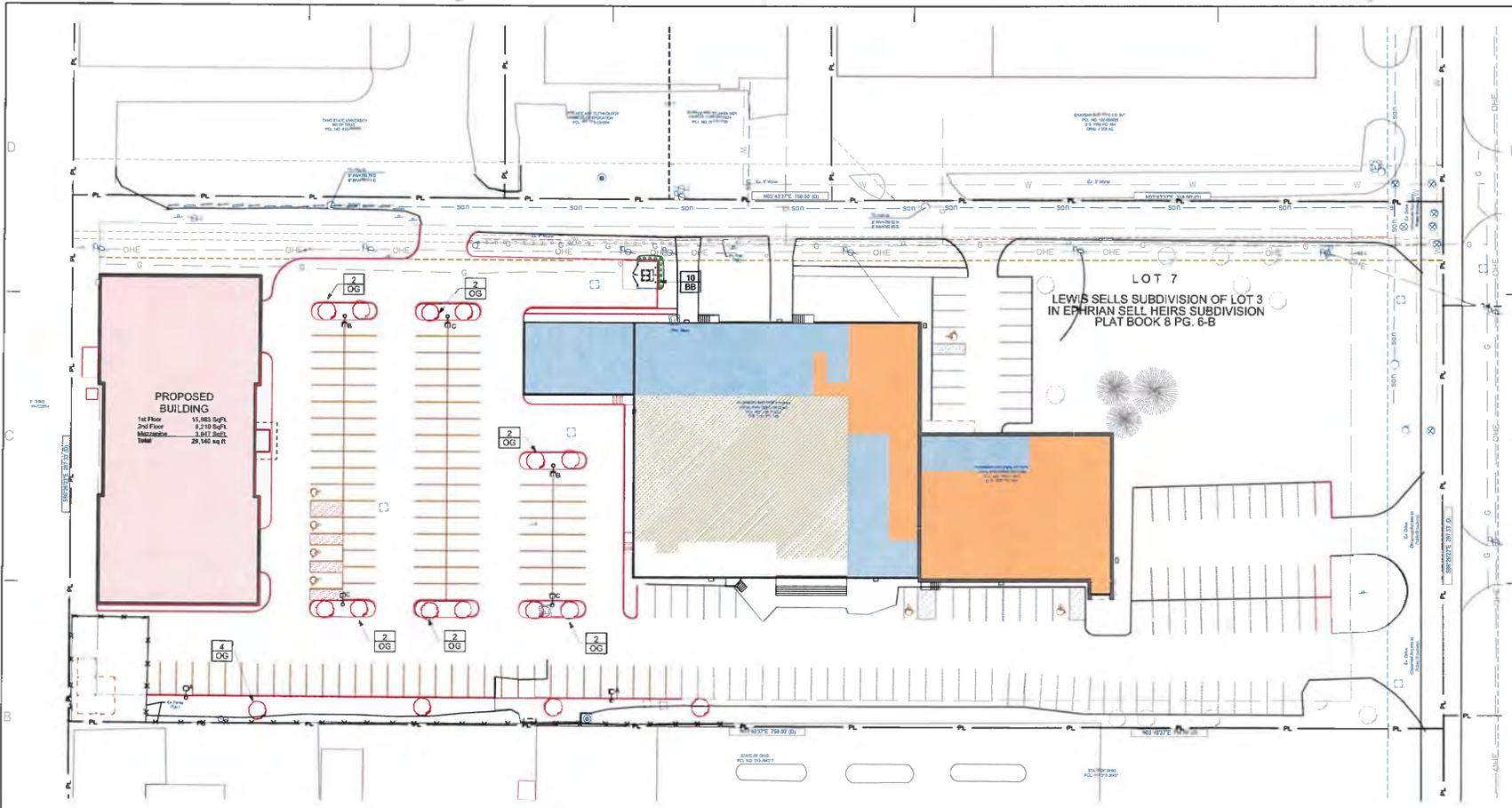
SHEET TITLE
**EXISTING BUILDING
FLOOR PLAN ALTERED**

P:\15125\15125-00\Drawings\Arch\15125-00-100-Floorplan-2-1506-2016.dwg (15125-00-100-Floorplan-2-1506-2016.dwg)

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**Plumbers and Pipefitters
Local #189 New Building**
1230 Kirmear Road
Columbus, OH 43212



PROPOSED LANDSCAPE PLAN
SCALE: 1" = 30'

PLANT SCHEDULE

QTY	CODE	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	SPACING
16	OG	<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	2 1/2" B&B	As shown
12	BB	<i>Euonymus alata</i> 'Compactus'	Compact Winged Burning Bush	36" B&B	5' O C

NOTE: See planting details this sheet and planting specifications for additional information.

PLANTING LEGEND



LANDSCAPE GENERAL NOTES

- Contractor shall notify the Columbus City & Franklin County Engineer's office, (2) two working days prior to construction. Prior to start, Contractor shall verify the locations of the existing utilities with the Owner and Tenant's construction representative and the utility companies. Ohio Utilities Protection Service: Phone 1-800-362-2764. Contractor to repair all damage to existing utilities, curbs, pavement, etc. resulting from landscape installation occurring during the construction.
- Contractor shall verify the size and location of all site elements and immediately inform the Owner and Tenant's construction representative of any discrepancy between the drawings and/or specifications and actual conditions. No work shall be done in any area where there is a discrepancy without Owner and Tenant's construction representative approval.
- Plant locations and beds shall be located by the Contractor and approved by the Owner's representative prior to plant installation.
- Bed lines are to be 18" from base of plant material unless otherwise indicated on the drawings.
- Final grade topsoil to be seeded. Refer to Specifications Section 32.9219.

LANDSCAPE KEYNOTES

DIVISION 1 GENERAL REQUIREMENTS

- See General Notes on Cover Sheet for additional information.
- Refer to specifications for additional information.

DIVISION 32 SITE CONSTRUCTION

- 32-1 Provide seed in this area per specifications.
- 32-2 Reseed into existing undisturbed lawn area.
- 32-3 Provide mulch in this area per specifications.

PARKING TREE DATA

Proposed parking spaces	270
Required Trees (1 Tree per 10 parking spaces)	27
Trees provided	29

02 06-09-2016 Zoning Compliance Revised Building

01 04-22-2016 Zoning Compliance

MARK Date DESCRIPTION

PROJECT NO: 15125.00

DESIGNED BY: DK

DRAWN BY: DK

CHECKED BY: EB

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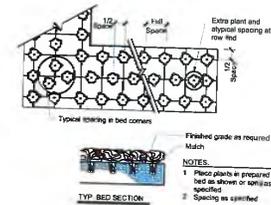
SHEET TITLE

PROPOSED LANDSCAPE PLAN

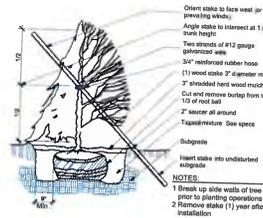
CONSULTANTS

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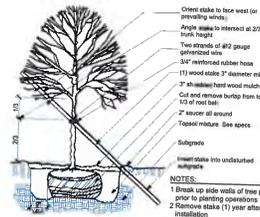
**Plumbers and Pipefitters
Local #189 New Building**
1250 Kinnear Road
Columbus, OH 43212



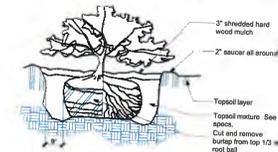
B5 SHRUB PLANTING LAYOUT
SCALE: 3/8" = 1'-0"



A3 EVERGREEN/ORNAMENTAL DETAIL
SCALE: 3/8" = 1'-0"



A4 DECIDUOUS PLANTING DETAIL
SCALE: 3/8" = 1'-0"



A5 SHRUB PLANTING DETAIL
SCALE: 3/8" = 1'-0"

MARK	Date	DESCRIPTION
02	06-09-2016	Zoning Compliance Revised Building
01	04-22-2016	Zoning Compliance

PROJECT NO: 15125.00
DESIGNED BY: DK
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SHEET TITLE
LANDSCAPE DETAILS

